

DESIGN & ACCESS STATEMENT

Address : 12 Earlham Street, London, WC2H 9LN

Description : Replacement and relocation of shopfront to match building line of neighbouring 10 Earlham Street

Date : 29th March 2017



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1.0 Introduction

This Design & Access Statement is part of a Section 73 application to amend a permitted planning application (2016/5744/P) for works to 12 Earlham Street, London, WC2H 9LN.

The following drawings should be read in conjunction with this statement:

- Existing, Permitted and Proposed Ground Floor Plan (1/50)
- Existing, Permitted and Proposed Front Elevation (1/100)
- Existing, Permitted and Proposed Sections A-A (1/50)
- Permitted and Proposed ground floor front elevation/section (1/20)

The proposal involves:

- The replacement of the existing ground floor elevation to bring the building line level with that of neighbouring 10 Earlham Street. This is to prevent loitering in the existing alcove in front of the residential property and the resulting disturbance to the occupiers' amenity.



10 and 12 Earlham Street seen from the junction of Earlham Street and Tower Street. The elevation of 10 Earlham Street has been remodelled - see image on page 5

1.1 Site Context

12 Earlham Street is situated on the south side of Earlham Street between Seven Dials and Shaftesbury Avenue. The property is a 5-storey residential property (single dwelling) and sits within the Seven Dials (Covent Garden) Conservation Area. The property is not listed. Together with the neighbouring 10 Earlham Street (Marlborough House), the post-war building has a 4 story brick front elevation with an additional storey at mansard level.

The Seven Dials Conservation Area Statement identifies the special character of Earlham Street and the surrounding streets as the range and mix of building types and their uses. The statement goes on to state -

'The benefits of having a mix of residential and commercial activities has been widely acknowledged for maintaining the vitality of areas and safety at night. However, it is this combination of activities which can also create problems. A number of the pubs, bars and restaurants that have increased in the area have been the cause of complaints about increased noise and smells. Generally, this is caused by people leaving bars, noise and smells generated from ventilation equipment, refuse and late opening'

Whereas the majority of the residential accommodation in the area sits above a ground floor level of retail, residential and entertainment uses, 12 Earlham Street is a single residential property with living accommodation also at ground floor level.

With the ground floor elevation set back from the main building line, an alcove exists within which passers by pause for sit down, a cigarette or a conversation. This has a significant impact on the ground floor living room.



10 & 12 Earlham Street front facades . Facade of 10 Earlham Street under-going redevelopment

1.2_Property Background and Planning History

12 Earlham Street

2016 - 2016/5744/P
Planning permission has recently been granted to pull the front elevation of 12 Earlham Street level with the existing building line of 10 Earlham Street to prevent the recessed elevation being used as a stopping point for passing pedestrians.



12 Earlham Street with public use of setback front facade to detriment of residential occupiers

10 Earlham Street

2016 - 2016/3158/P
Permission has been granted and works recently commenced to bring the ground floor shopfront elevation of 10 Earlham Street beyond the building line of the front elevation. This will mean that even once the development allowed under planning permission 2016/5744/P is completed, the front elevation of 12 Earlham Street will still be recessed back from neighbouring elevation and once again used as a space for loitering by passers-by.



New shopfront to 10 Earlham Street projecting past existing building line as permitted 2016/3168/P

2.0_Planning Considerations

The following Camden Development Policies 2010-2025 from Camden's Local Development Framework have been taken into consideration in the proposed design:

- Policy DP 24 - Securing High Quality Design
- Policy DP 25 - Conserving Camden's Heritage
- Policy DP 26 - Managing the impact of development on occupiers and neighbours
- Policy DP 30 - Shopfronts

The following policies from the Seven Dials Conservation Area Statement have been taken into consideration in the proposed design:

- SD 1 - New Development
- SD 2 - Design
- SD 7 - Materials and Maintenance
- SD 28 - Rear Extensions



Old shopfront to 10 Earlham Street



New shopfront to 10 Earlham Street projecting past existing building line as permitted 2016/3168/P

3.0_Design Proposal

Front Elevation

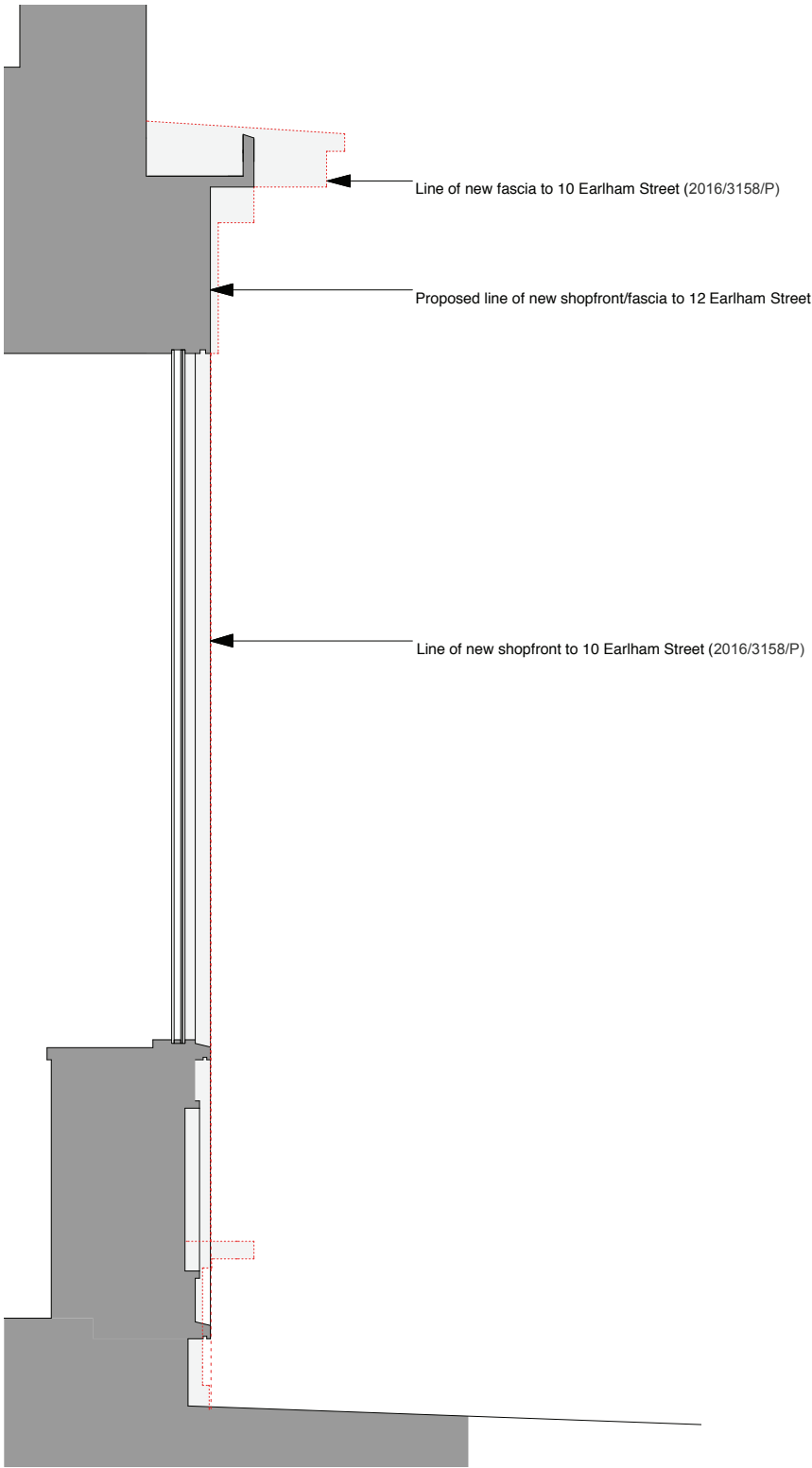
The proposal involves pulling the ground floor front elevation once again forward so it sits in line with the recently remodelled neighbouring ground floor elevation of 10 Earlham Street. The works at 10 Earlham Street have pushed their elevation approximately 17cm beyond the principal elevation. Our proposal projects the elevation the same distance forward from the front elevation.

Otherwise the design of the new shopfront has undergone minor detail changes to enure it (and the fascia panel above) work in harmony with the redeveloped elevation at 10 Earlham Street.

It is noted there is a shopfront of merit, 14 Earlham Street, to the other side of the property. It is proposed to keep the new elevation away from this shopfront and ensure that it is set back from its building line so as to not impact on its appearance and appreciation.

4.0_Conclusion

To conclude, in light of the recent development of the front elevation of 10 Earlham Street, the proposal seeks to repeat the move permitted by planning application 2016/5744/P in aligning the elevation of 12 Earlham Street with that of 10 Earlham Street to reduce the impact of passers by on the amenity of the residential occupiers.



1/20 Section through proposed ground floor front elevation with line of recently recently constructed 10 Earlham Street beyond (red dotted line)