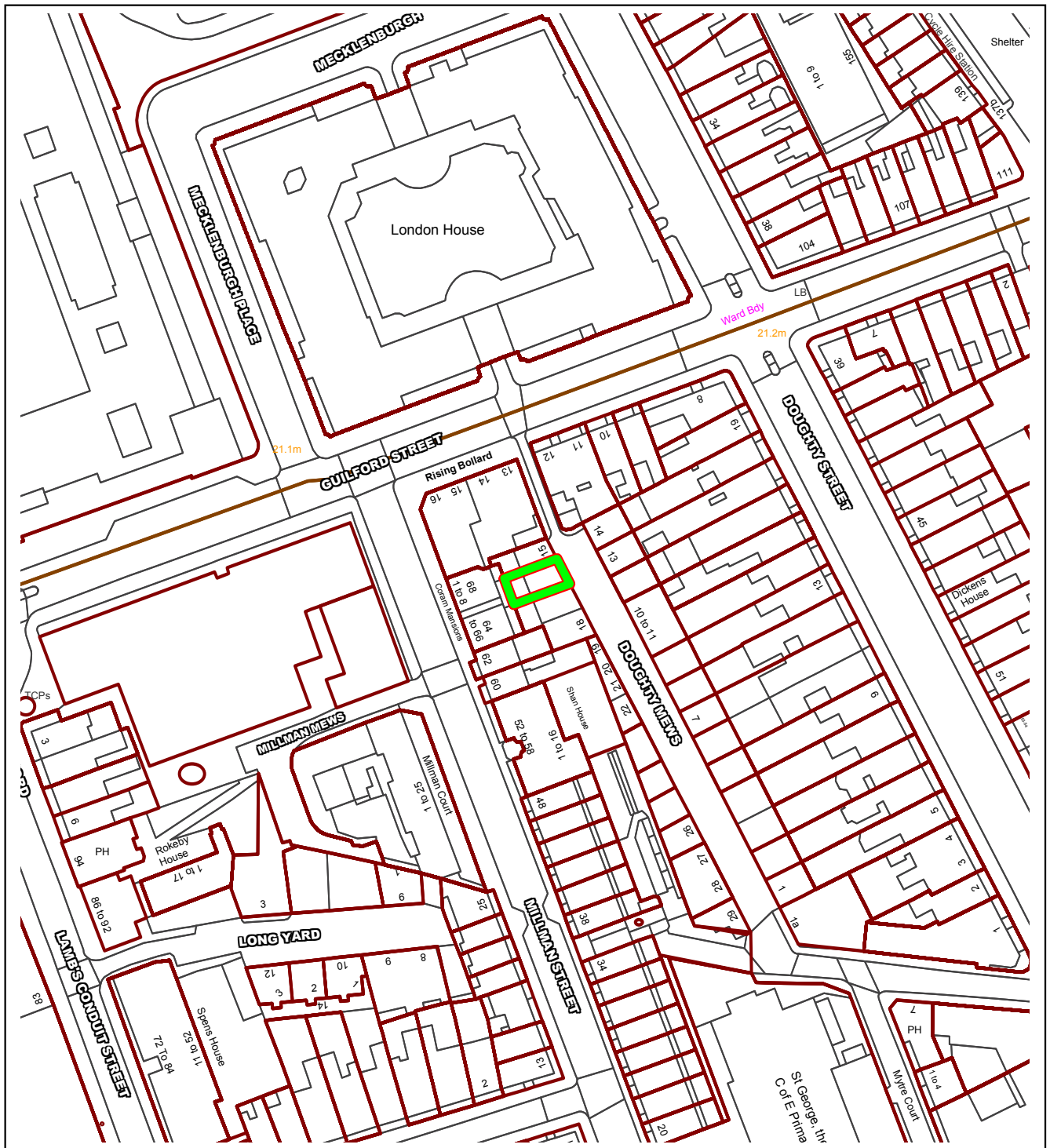


16 Doughty Mews 2016/5355/P



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Photo 1: Application building (centre)



Photo 2: Application building and no.15



Photo 3: View from the northern end of Doughty Mews



Photo 4: View from outside no.17



Photo 5: View from the southern end of Doughty Mews

Delegated Report		Analysis sheet		Expiry Date:	09/03/2017
(Members Briefing)		N/A / attached		Consultation Expiry Date:	14/02/2017
Officer			Application Number(s)		
Laura Hazelton			2016/5355/P		
Application Address			Drawing Numbers		
16 Doughty Mews London WC1N 2PF			Please refer to draft decision notice		
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature		
Proposal(s)					
Variation of condition 3 (approved drawings) of planning permission ref 2015/1164/P (dated 17/04/2015) for the 'replacement of the existing mansard roof extension, rooflights and roof covering, introduction of high level windows to the rear of the first floor', namely the installation of 1 x AC unit at roof level (retrospective) with acoustic enclosure.					
Recommendation(s):		Grant conditional planning permission			
Application Type:		Variation or Removal of Condition(s)			

Conditions or Reasons for Refusal:	Refer to Draft Decision Notice					
Informatives:						
Consultations						
Adjoining Occupiers:	No. notified	00	No. of responses	07	No. of objections	07
			No. Electronic	00		
Summary of consultation responses:	<p>The application was advertised in the local press on 19/01/2017 (expiring 0902/2017) and a site notice was displayed between 24/01/2017 and 14/02/2017.</p> <p>6 objections from neighbouring residents were received on design and amenity grounds from neighbouring properties at 12a, 13a-14a, 15 Doughty Mews and Flat 4 Coram Fields Mansions, 64-68 Millman Street. Their objections are summarised as follows:</p> <ul style="list-style-type: none"> • The AC unit would considerably change the character (both the appearance and quiet nature) of the mews and conservation area. • The size of the unit is excessively large and will produce excessive noise. • Given the size of the unit, it will be easily viewed from the street, surrounding areas and rooftop areas. • Would there be imposed restrictions on the hours of use of the unit? • Environmental impacts. • Will cause noise disturbance to neighbouring roof terraces. <p><i>Officer response</i></p> <ul style="list-style-type: none"> • <i>Please see section 4 for full design assessment.</i> • <i>Please see section 5 for full amenity assessment.</i> • <i>Hours of use of the AC unit are not specified, nor restricted. However, the noise impact assessment demonstrates that the unit would comply with Camden's noise standards following the installation of a noise attenuation enclosure. The installation and retention of this would be secured by condition.</i> • <i>Environmental impacts resulting from the installation of one AC unit would not be sufficient to warrant refusal of the application.</i> 					
CAAC/Local groups* comments: *Please Specify	No response was received from the Bloomsbury Conservation Area Advisory Committee (CAAC).					

Site Description

The application site comprises a two storey 19th Century Mews house with a mansard roof extension. The building is located on the southern side of Doughty Mews in a predominantly residential area.

The application building is not listed, but is located within the Bloomsbury Conservation Area and falls within an archaeological priority area.

Relevant History

M15/12/27/14546 - Conversion of roof space to form additional living accommodation. Granted 16/10/1972.

2006/4578/P- The enlargement of the existing garage door incorporating the replacement of the existing roller shutter with timber garage doors as an alteration to the existing single family dwelling house. Granted 28/11/2006.

2015/1164/P - Replacement of the existing mansard roof extension, rooflights and roof covering, introduction of high level windows to the rear of the first floor. Granted 17/04/2015.

Relevant policies

National Planning Policy Framework 2012

The London Plan March 2016

LDF Core Strategy

CS5 (Managing the impact of growth and development)

CS14 (Promoting high quality places and conserving our heritage)

LDF Development Policies

DP24 (Securing high quality design)

DP25 (Conserving Camden's heritage)

DP26 (Managing the impact of development on occupiers and neighbours)

DP28 (Noise and Vibration)

Camden Planning Guidance 2011/2015

CPG1 (Design)

CPG6 (Amenity)

Bloomsbury conservation area appraisal and management strategy 2011

Camden Local Plan Submission Draft 2016

The emerging Local Plan is reaching the final stages of its public examination. Consultation on proposed modifications to the Submission Draft Local Plan began on 30 January and ends on 13 March 2017. The modifications have been proposed in response to Inspector's comments during the examination and seek to ensure that the Inspector can find the plan 'sound' subject to the modifications being made to the Plan. The Local Plan at this stage is a material consideration in decision making, but pending publication of the Inspector's report into the examination only has limited weight.

The following policies are considered relevant:

A1 Managing the impact of development
A4 Noise and Vibration
D1 Design
D2 Heritage

Assessment

1.0 Background

1.1 Planning permission dated 17/04/2015 (ref: 2015/1164/P) approved the replacement of the existing mansard roof extension, installation of rooflights and roof covering, and the introduction of high level windows to the rear of the first floor.

2.0 Proposal

- 2.1 The current application seeks to amend the originally approved scheme by installing one air conditioning unit at rooftop level (retrospective) and an associated noise attenuation enclosure (proposed). The air conditioning unit would measure 840mm long, 330mm wide and 710mm high.
- 2.2 The proposed enclosure would measure 1070mm long, 630mm wide and 810mm high, and would be constructed of metal. The air conditioning unit is located on the flat part of the roof adjacent to the parapet wall that separates the application property from no. 17. It would be set back approximately 6.2m from the ridge of the roof fronting Doughty Mews and 1.1m from the ridge of the roof facing the rear of the properties at Coram Mansions, Millman Street.

2.3 Revisions

The proposal originally included an acoustic enclosure measuring 1650mm long, 950mm wide and 1000mm high. This was reduced in size at the officer's request to reduce its visibility.

3.0 Assessment

3.1 The main planning considerations in the assessment of this application are:

- Design (the impact that the proposal has on the character of the host property as well as that of the wider Bloomsbury Conservation Area); and
- Amenity (the impact of the proposal on the amenity of adjoining occupiers in terms of privacy, outlook, daylight and noise).

4.0 Design and Impact on Conservation Area

4.1 Policy CS14 aims to ensure the highest design standards from developments. Policy DP24 also states that the Council will require all development, including alterations and extensions to be of the highest standard of design and to respect the character, setting, form and scale of the neighbouring properties as well as the character and proportions of the existing building. Furthermore, Policy DP25 seeks to preserve and enhance the character and appearance of conservation areas.

4.2 The proposed AC unit and enclosure would be located at rooftop level set back towards the rear of the roof behind the chimney stack. The enclosure would measure 1070mm long, 630mm wide and 810mm high. The enclosure would only sit marginally higher (170mm) than the existing raised party

wall between nos.16 and 17. The enclosure would not be visible from street level along the length of Doughty Mews and would only be subject to private views from the upper storeys of nearby neighbouring buildings.

4.3 The development would not be visible from the nearby listed buildings along Doughty Street to the east and is not considered to cause harm to their setting or special character.

4.4 The Council's conservation officer does not object to the development provided the acoustic enclosure is painted black to match the roof tiles to reduce its visual impact from private views from neighbouring properties. This would be secured by condition should planning permission be granted.

4.5 On balance, the AC unit and associated enclosure are not considered to cause such harm to the character and appearance of the host building, surrounding terrace or wider Bloomsbury Conservation Area to warrant refusal of the planning application on design grounds.

5.0 Amenity

5.1 Policy CS5 seeks to protect the amenity of Camden's residents by ensuring the impact of development is fully considered. Furthermore, Policy DP26 seeks to ensure that development protects the quality of life of occupiers and neighbours by only granting permission for development that would not harm the amenity of neighbouring residents. This includes privacy, outlook and implications on daylight and sunlight. Policy DP28 provides guidance on the installation of plant and Camden's noise standards.

5.2 Due to the location and nature of the proposals, they are not considered to cause any harm to neighbouring amenity in terms of overlooking, loss of daylight or outlook.

5.3 The applicant has submitted a noise impact assessment (NIA) to assess the potential noise impact from the AC unit upon the closest noise sensitive windows, which were identified as the first floor bedroom windows of the neighbouring property no.17 to the south. Please note that this property was incorrectly labelled as no.18 in the NIA due to the consecutive street numbering on Doughty Mews.

5.4 The most affected windows would be located approximately 4m away from the AC unit. Although no.15 has a large raised skylight at roof level, because the AC unit is positioned adjacent to the boundary with no.17, the first floor windows are actually closest to the unit. It is assumed that if the impact of the AC unit is acceptable when measured from these windows, then it should be significantly lower at all other noise sensitive windows.

5.5 Hours of use have not been specified for the AC unit; however, as the property is a residential home, it is likely that it could be used sporadically at any time of the day and night. The Council would therefore expect it to comply with Camden's noise standards for 24 hour use.

5.6 Background noise levels were measured over a 24-hour period (with the AC unit not in operation) and the lowest background noise level was found to be 40.5db. The noise impact assessment calculated that the AC unit would measure 6.0db above the prevailing background noise levels which would not comply with Camden's requirements for plant to be lower than the lowest existing background noise level by at least 5dBA, or by 10dBA where the source is tonal.

5.7 The NIA concluded that the AC unit would only comply with Camden's noise standards if an acoustic enclosure was provided which reduced the noise generated by 15dB. The applicant has submitted details of an acoustic louvre which would offer a 15dB reduction, and shown this on the submitted drawings.

5.8 The Council's Environmental Health Officer has assessed the proposals and does not object to the development subject to the condition that a post-installation noise assessment shall be carried out prior to the use of the installation to confirm compliance with the noise criteria.

6.0 Recommendation

6.1 Grant conditional planning permission

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 27th March 2017, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

Mr David Crosthwait
Lipton Plant Architects
Seatem House
39 Moreland Street
London
EC1V 8BB

Application Ref: **2016/5355/P**
Please ask for: **Laura Hazelton**
Telephone: 020 7974 **1017**

21 March 2017

DRAFT

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Variation or Removal of Condition(s) Granted

Address:
16 Doughty Mews
London
WC1N 2PF

DECISION

Proposal:

Variation of condition 3 (approved drawings) of planning permission ref 2015/1164/P (dated 17/04/2015) for the 'replacement of the existing mansard roof extension, rooflights and roof covering, introduction of high level windows to the rear of the first floor', namely the installation of 1 x AC unit at roof level (retrospective) with acoustic enclosure.

Drawing Nos: 400.(1).3.001 Rev. C, 400.(1).3.003 Rev. B, 400.(1).1.004 Rev. C, Mitsubishi MXZ-4D72VA: Inverter heat pump manufacturer's specification sheet, SL150 Acoustic Enclosure specification sheet, Slimshield Acoustic Louvre SL-150 manufacturer's details, and Noise Impact Assessment dated 06/12/2016.

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of the original planning permission (ref: 2015/1164/P) dated 17

Executive Director Supporting Communities



April 2015.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policy DP24 and DP25 of the London Borough of Camden Local Development Framework Development Policies and policies D1 and D2 of the Camden Local Plan Submission Draft 2016.

- 3 For the purposes of this decision, condition no.3 of planning permission 2015/1164/P shall be replaced with the following condition:

REPLACEMENT CONDITION 3

The development hereby permitted shall be carried out in accordance with the following approved plans:

400.(1).1.001, 400.(1).1.002, 400.(1).1.003, 400.(1).1.004 Rev. C, 400.(1).2.001, 400.(1).2.002, 400.(1).3.001 Rev. C, 400.(1).3.002, 400.(1).3.003 Rev. B.

Reason: For the avoidance of doubt and in the interest of proper planning.

- 4 Prior to use of the installation, details shall be submitted to and approved in writing by the Council, of the external noise level emitted from plant/ machinery/ equipment and mitigation measures stated in report ref: 1099MH, dated 06/12/2016. The measures shall ensure that the external noise level emitted from plant, machinery/ equipment will be lower than the lowest existing background noise level by at least 5dBA, by 10dBA where the source is tonal, as assessed according to BS4142:2014 at the nearest and/or most affected noise sensitive premises, with all machinery operating together at maximum capacity. A post installation noise assessment shall be carried out where required to confirm compliance with the noise criteria and additional steps to mitigate noise shall be taken, as necessary. The approved details shall be implemented prior to use of the installation and thereafter be permanently retained.

Reason: To safeguard the amenities of the adjoining premises and the area generally in accordance with the requirements of policy CS5 of the London Borough of Camden Local Development Framework Core Strategy and policies DP26 and DP28 of the London Borough of Camden Local Development Framework Development Policies and policy A4 of the Camden Local Plan Submission Draft 2016.

- 5 The acoustic enclosure hereby approved shall be painted black and permanently maintained as such.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policy DP24 and DP25 of the London Borough of Camden Local Development Framework Development Policies and policies D1 and D2 of the Camden Local Plan Submission Draft 2016.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts which cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Argyle Street WC1H 8EQ, (tel: 020-7974 6941).
- 2 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Noise and Licensing Enforcement Team, Camden Town Hall, Argyle Street, WC1H 8EQ (Tel. No. 020 7974 4444 or on the website <http://www.camden.gov.uk/ccm/content/contacts/council-contacts/environment/contact-the-environmental-health-team.en> or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.
- 3 This approval under Section 73 of the 1990 Act effectively varying the relevant condition of the previous planning permission is subject otherwise to the same terms, drawings, conditions (and obligations where applicable) as attached to the previous planning permission. This includes condition 1 providing for a 3 year time period for implementation which for the avoidance of doubt commences with the date of the original decision (and not this variation).

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

Director of Regeneration and Planning