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# APPENDIX 16.0

IN RELATION TO THE DISCHARGE OF CONDITIONS 14 & 15

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Planning Condition 14 + 15 Privacy Screens:

14 Prior to first occupation of any flats in blocks A or B, details of measures, such as privacy screens, to the roof terraces at third floor level and above, to protect the privacy of occupants of the development, shall be submitted to and approved in writing by the local planning authority.

All such measures shall be implemented prior to first occupation of the development and shall be permanently retained.

No part of the roofs to Blocks A and B, other than the areas identified on the approved drawings as terraces, shall be used as outdoor amenity space.

Reason: In order to prevent unreasonable overlooking of neighbouring premises in accordance with the requirements of policy CS5 of the London Borough of Camden Local Development Framework Core Strategy and policy DP26 of the London Borough of Camden Local Development Framework Development Policies.

15 Prior to first occupation of any flats in Block C, the details of measures, such as privacy screens shall be submitted to and approved in writing by the local planning authority. Such details to include:

a. Privacy measures to the roof terraces at first floor level to protect the privacy of occupants of the development and

b. The privacy screen to the 2nd floor terrace to protect the privacy of neighbours

All such measures shall be implemented in accordance with the approved details prior to first occupation of the development and shall be permanently retained.

No part of the roofs to Block C, other than the areas identified on the approved drawings as terraces, shall be used as outdoor amenity space.

Reason: In order to prevent unreasonable overlooking of neighbouring premises in accordance with the requirements of policy CS5 of the London Borough of Camden Local Development Framework Core Strategy and policy DP26 of the London Borough of Camden Local Development Framework Development Policies

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Note: At planning stage Blocks A,B,C correspond to current RSL, A,B,C,D

Locations screens are required at:

Core RSL - Floor 04

Core A - Floor 04, 05

Core B - Floor 02

Core C - Floor 01, 05

Core D - Floor 01, 02



1  
220

CONSOLIDATED ROOF PLAN  
Proposed Privacy Screen Layout

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Key

Indicating location of raised part of balustrade to form screening to 1700mm (refer to drawing 1-529-A-PL-253).

REV NOTES

DATE

CHK

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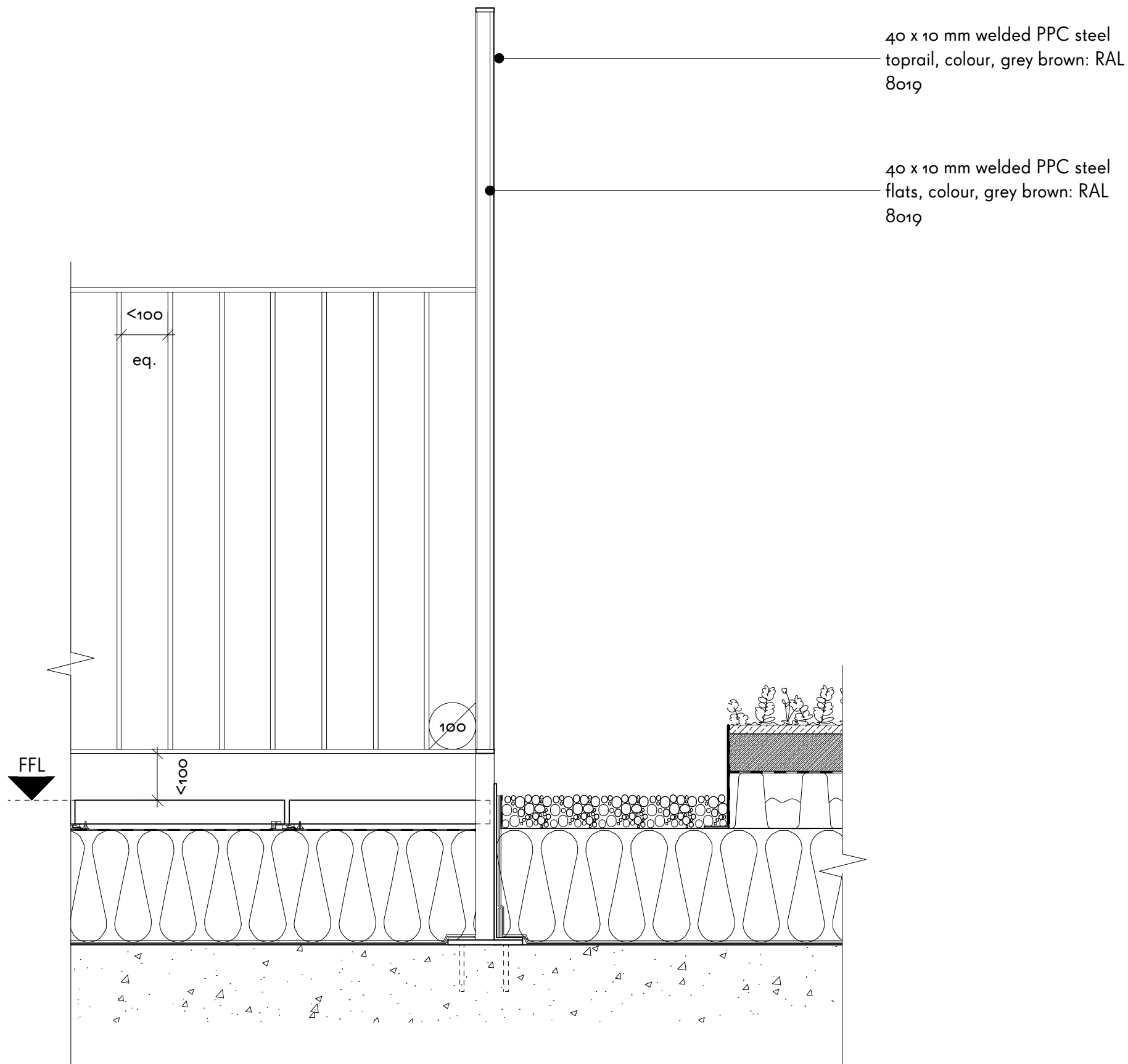
77 LEONARD STREET LONDON EC2A 4QS  
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STATUS

PLANNING

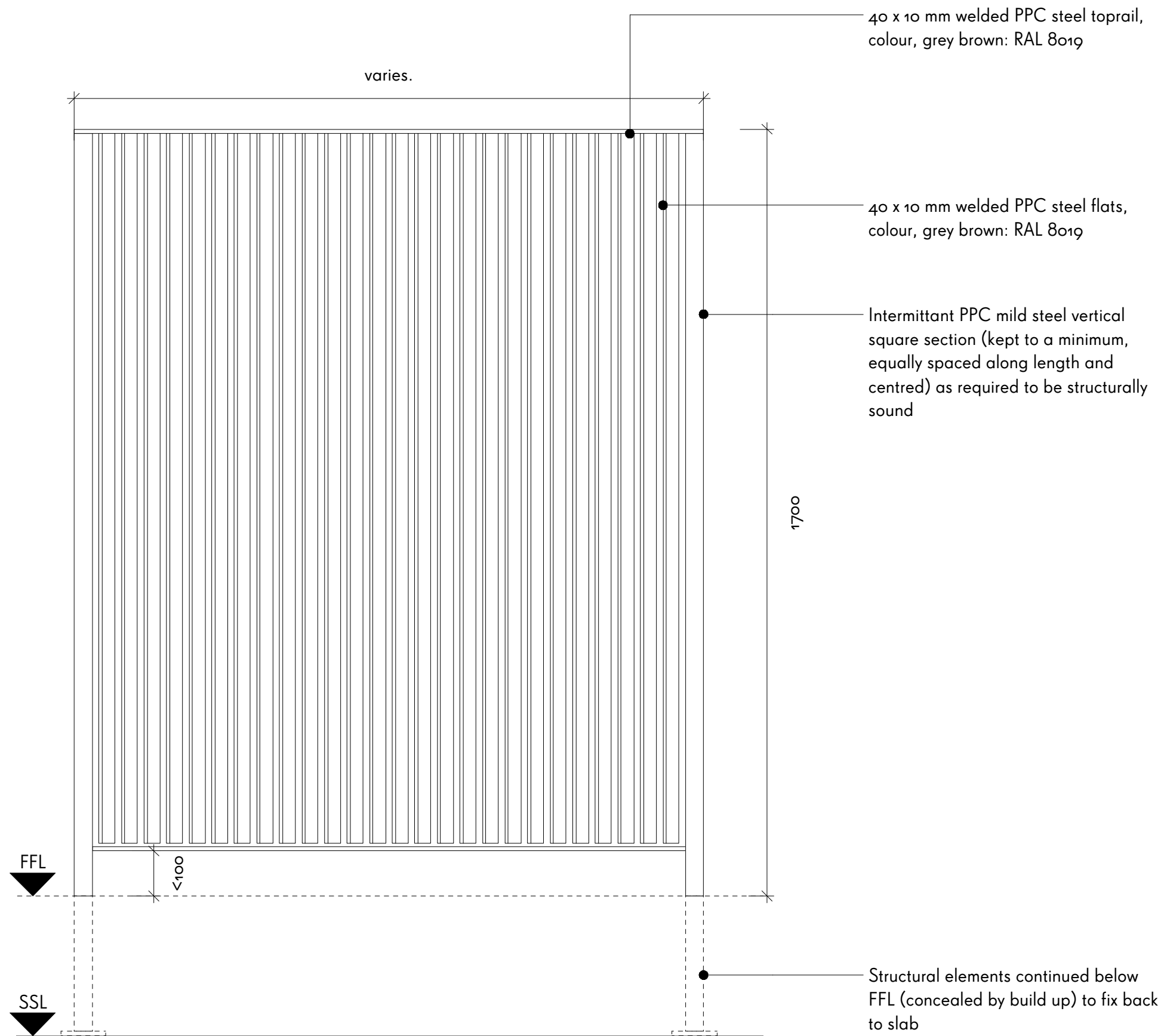
Job 277a Gray's Inn Road  
Title Planning Condition 14 + 15 Privacy Screen  
Date December 2016  
Scale 1:100 @ A0 / 1:200 @ A2  
Drawn JY

1\_529-A-PL-522



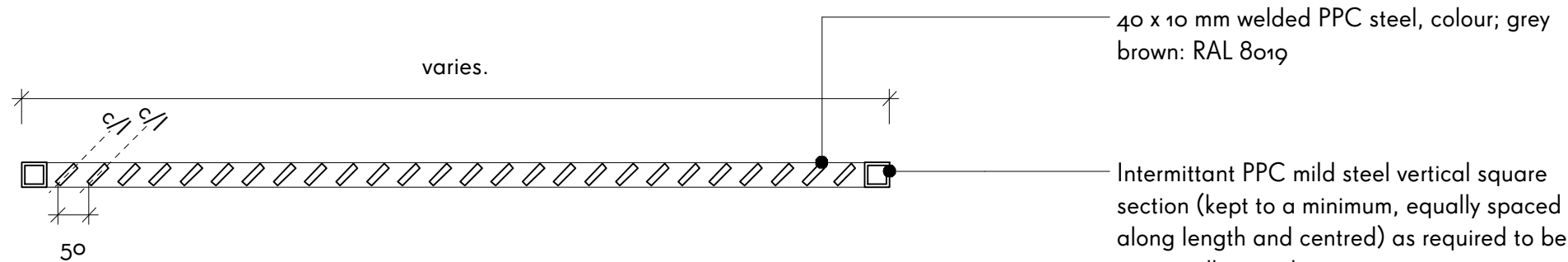
1  
523

**SECTION A**  
Typical Privacy Screen to terrace



2  
523

**ELEVATION A**  
Typical Privacy Screen to terrace



3  
523

**PLAN**  
Typical Privacy Screen to terrace

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NOTES

REV NOTES

DATE

CHK

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STATUS

**PLANNING**

**Job** 277a Gray's Inn Road  
**Title** Typical Privacy Screen Detail  
Sheet 9 of 9  
**Date** February 2016  
**Scale** 1:10 @ A2  
**Drawn** JY

1\_529-A-PL-523