

KEY PLAN

New glazing and stall riser required to accommodate adjusted height of the glass in this location and fixed to new steel beam in accordance with structural engineers specification

Proposed flat roof to be constructed with Icopal Universal bitumen single layer membrane system or similar approved.

Single-ply membrane to be fitted with 150mm upstand lap above finished flat roof level, glued with Icopal Single-ply spray adhesive and mechanically fixed around the perimeter of the roof according to manufacturer's guidelines (by Icopal or similar approved)

120mm Celotex Crown Bond insulation board fully bonded on Vapour Control Layer (to BS6229:2003) on 18mm plywood decking on furring pieces laid to falls of 1:60 over timber joists. 150mm cavity between joists.

Joists to structural engineers specification. System to achieve U-value of 0.17 W/m²k

Existing beam as specified by structural engineer

Proposed stair nosings to be installed from second floor half-landing to fifth floor. Stair nosing to Gradus DDA4 PVC-U Channel with PVC Xtra-grip Insert. Channel colour Black (LRV 4.99). Insert Glacier Interior (LRV 42.09).

Proposed steel balustrade with mesh infill panels to form handrail. See balustrade details 527-AS.14

Existing window to be retained with restrictors added to limit opening tilt on window

Timber post as specified by structural engineer concealed with timber partition wall

All existing walls to be thoroughly cleaned and repaired where necessary before painting throughout with undercoat and painted with Dulux Trade Vinyl Silk, colour: Traffic White (RAL 9016)

Existing steel beam to be retained

42mm Ø steel handrail to be fixed to stair as part of Contractor Design Portion (CDP) from second floor half-landing to fifth floor and to be painted in colour: Ref: Dulux 50GY 07/036 (Dark Grey). See balustrade details 527-AS.14

SaarFloor Noppe stud rubber safety flooring in colour: Anthracite 102 to replace all existing stair covering from the ground to fifth floor from Polyflor or similar approved

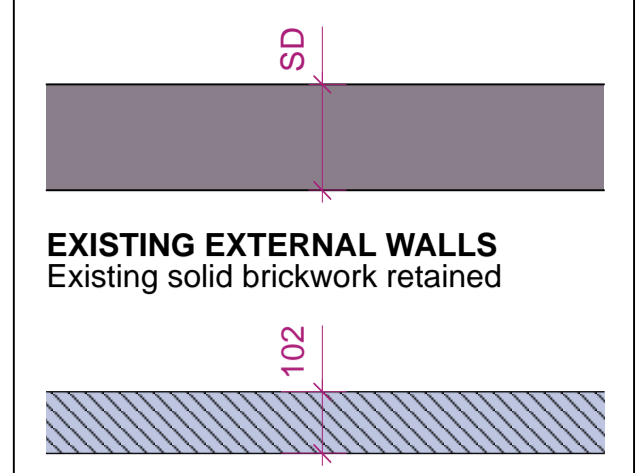
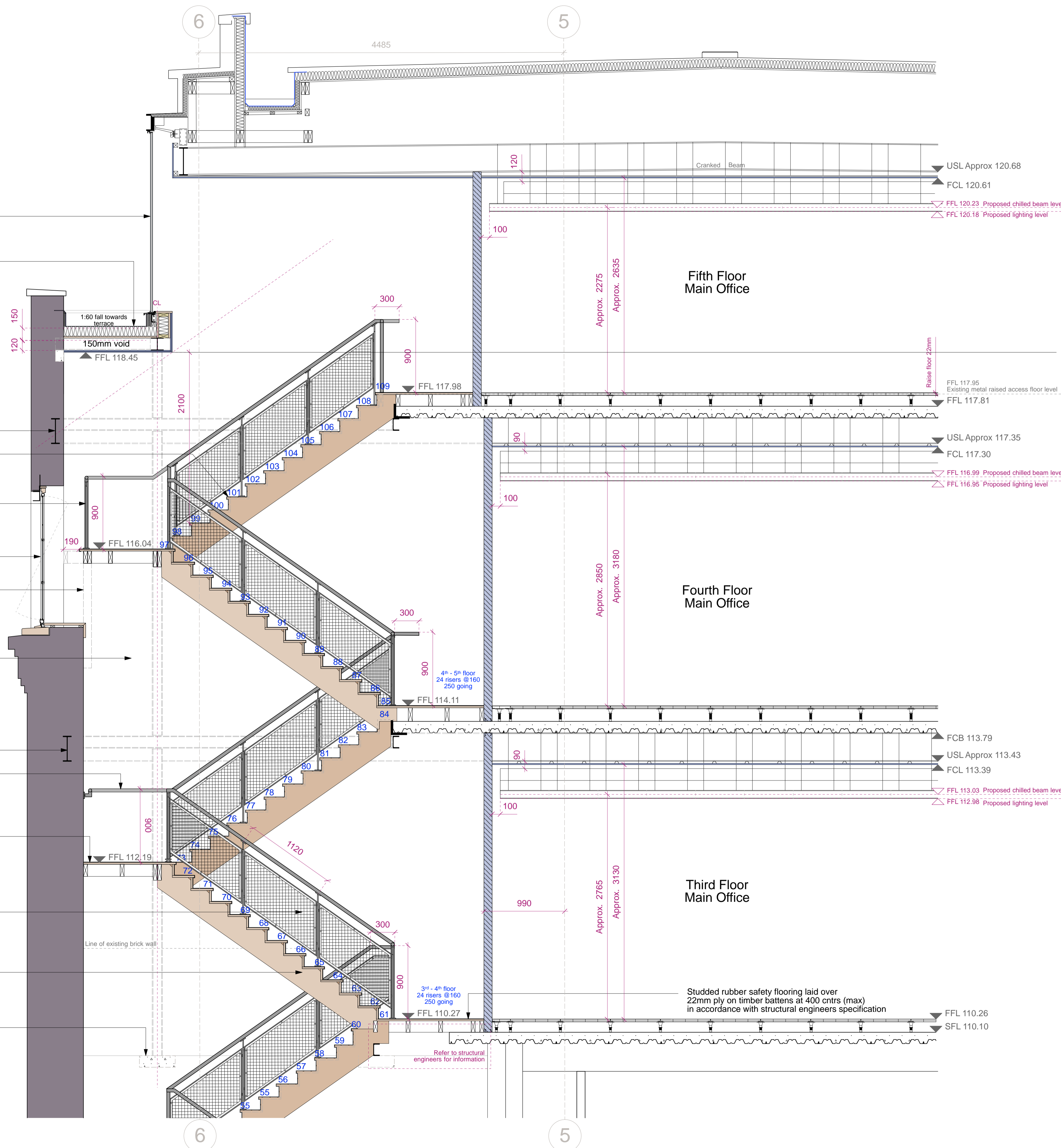
Proposed steel balustrade with mesh infill panels to form handrails. See balustrade details 527-AS.14

Proposed new timber stair stringers to match existing from second floor half-landing to fifth floor and to form part of the Contractors Design Portion (CDP)

New padstones to take structural steel work in accordance with structural engineers specification

PLANNING

PROPOSED SECONDARY STAIR SECTION CC



Where partition wall is enclosing supporting steel, set double stud either side of steel. Total build up to increase subject to steel size by structural engineer.

| rev. | date | notes |
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CLIENT **PEC NEAL LTD, C/O CBRE GI**

PROJECT **SEVEN DIALS WAREHOUSE LONDON WC2**

TITLE **PROPOSED STAIR SECONDARY SECTION CC**

DWG NO **527-AS.28** REV

DRAWN BY **SF** SCALE

CHECKED BY **DS** DATE **MAR 2017**

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FILE NAME PRINT SIZE **A1**



EARLAM STREET ENTRANCE CLOSE UP ELEVATION
(Scale 1:50)

KEY

1. Original brick facade.
2. Black paint to be removed from brick facade. Brick and mortar joints returned to original condition. Black paint to be removed by a specialist using a method that does not result in harm to the historic brickwork below. A non-abrasive removal method should be specified to protect the brick fireskins. The exact method of removal to be established by conducting test trails carefully chosen in consultation with a specialist
3. Single glazed modern doors removed to be replaced with heritage style metal double glazed doors, with fixed side and top panes
4. Stone plinth to be maintained.
5. Stone surround to be maintained.
6. Modern windows to be removed and replaced with heritage style metal fixed glazed window, to match all the other ground floor level windows on the Earlam Street elevation towards Neal Street. See precedents on Design Statement for details.
7. 3no. metal framed projecting signs, internally illuminated (only letters illuminated) above the main entrance doors.
8. Existing dry riser inlet box to be renewed with black powder coated steel cover.

Metal framed, projecting internally illuminated sign. Frame fixed to brick using anchor bolts (sized by fabricator). Frame finish: Powder coated in graphite black RAL 9011. Opal acrylic panels to both sides, with the letters/logo illuminated only. Background is masked with solid (blackout) external grade vinyl film, finished in graphite black RAL 9011. See drawing no. 527-AS.31 for details

BELGO RESTAURANT
Fire exit
(No Change)

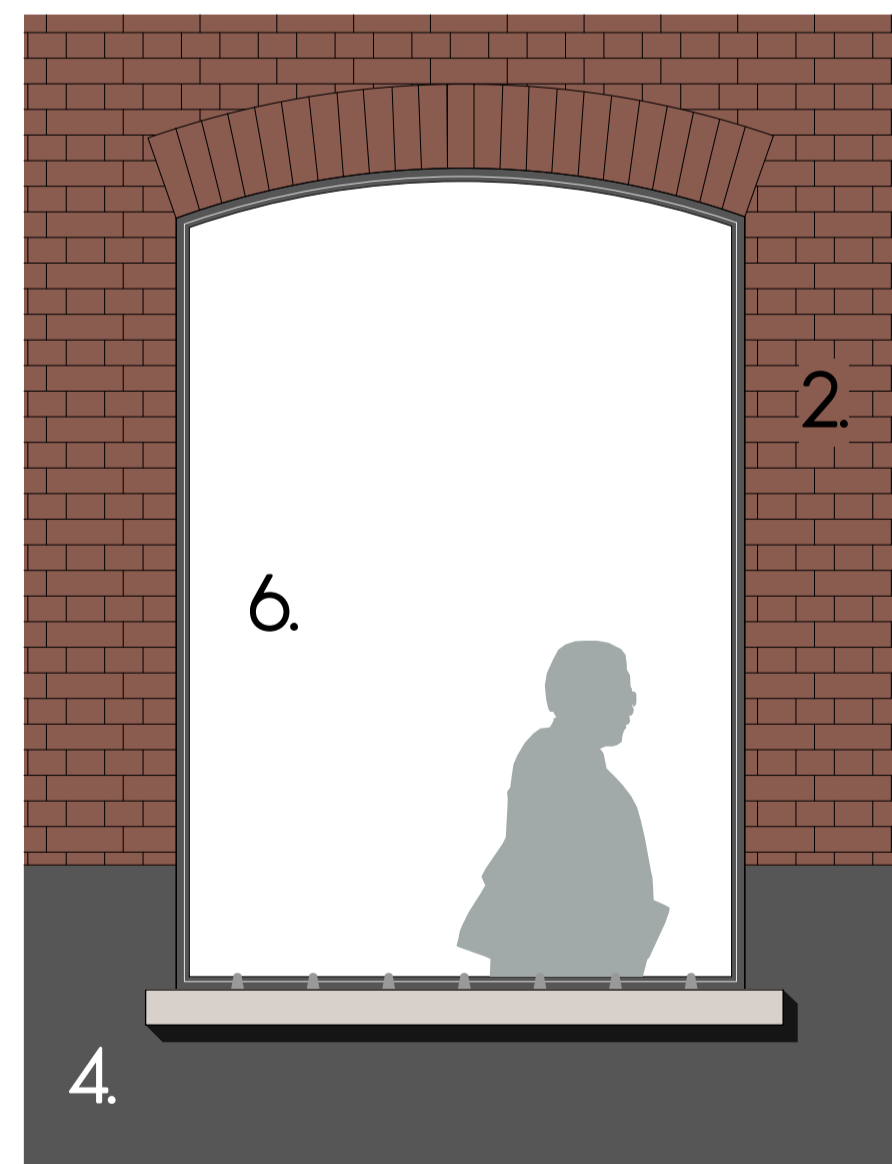
44 EARLAM STREET
Studio B1 Office

AREA OF ALTERATIONS AT GROUND FLOOR
(Street level)

42 EARLAM STREET
Warehouse B1 Office

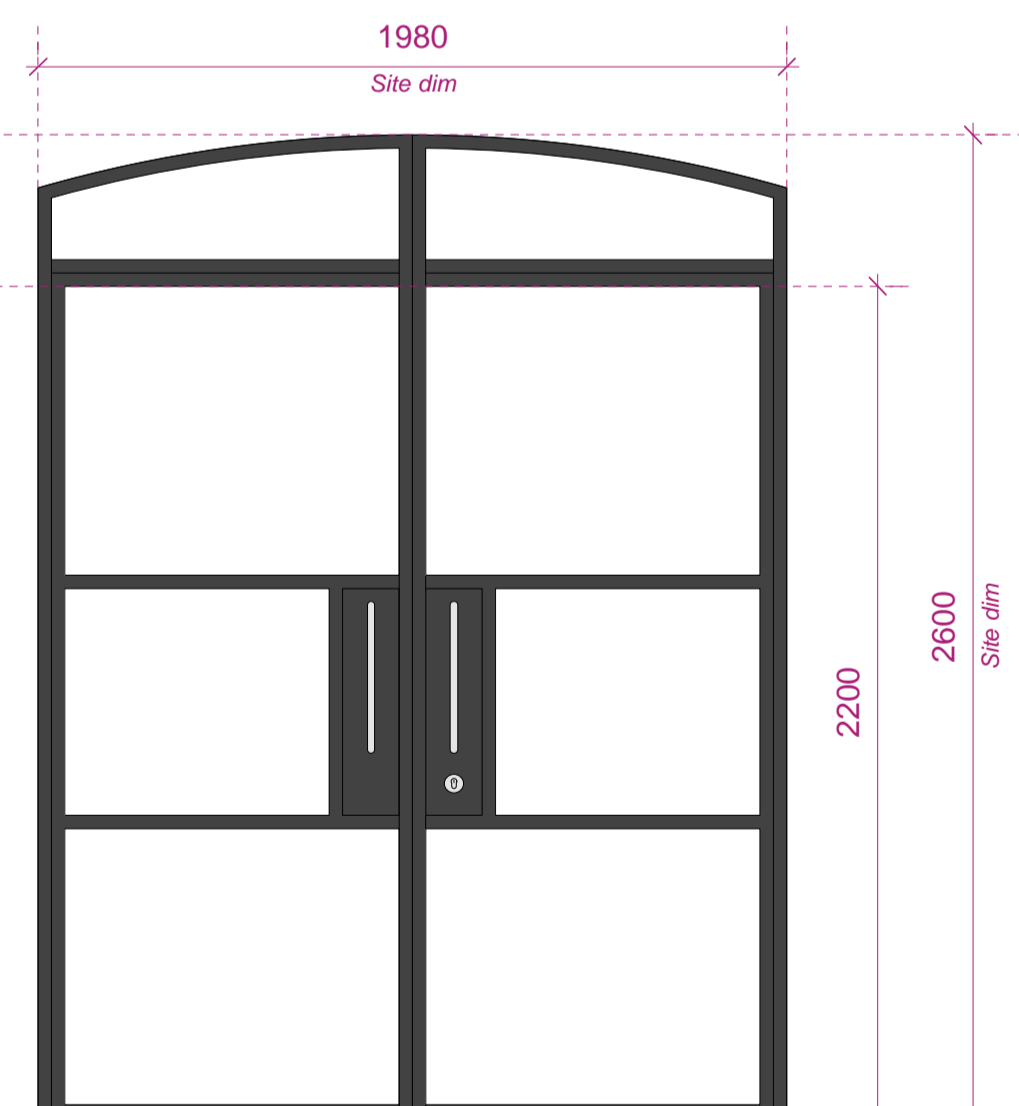
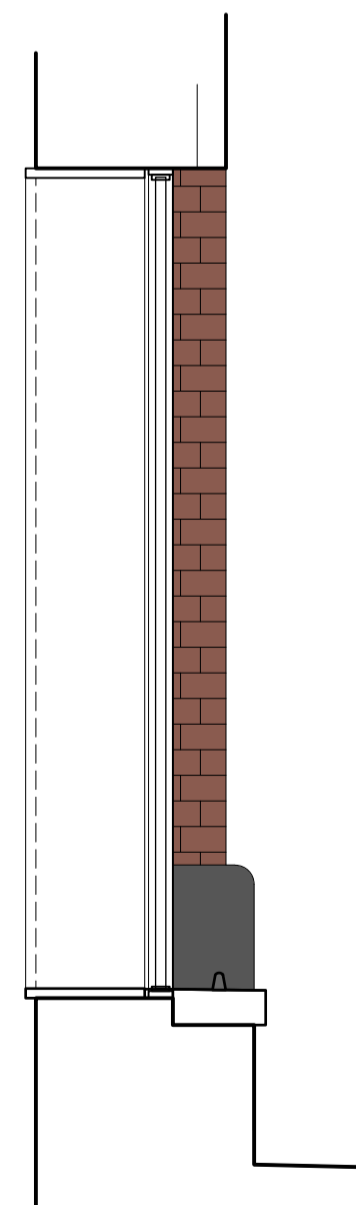
SEVEN DIALS CLUB
Entrance

Heritage style steel window frame with double glazed pane to existing opening. Ref: Secco Metal OS2 system by Wrightstyle Ltd. Frame finish in RAL 9011 Graphite Black. Existing internal window opening to be lined with 25mm softwood, painted in Dulux Trade, Satinwood; Brilliant White. Existing concrete window sill to be retained. Stainless steel studs to be installed Ref: KSS/35 supplied by Kent Stainless Ltd

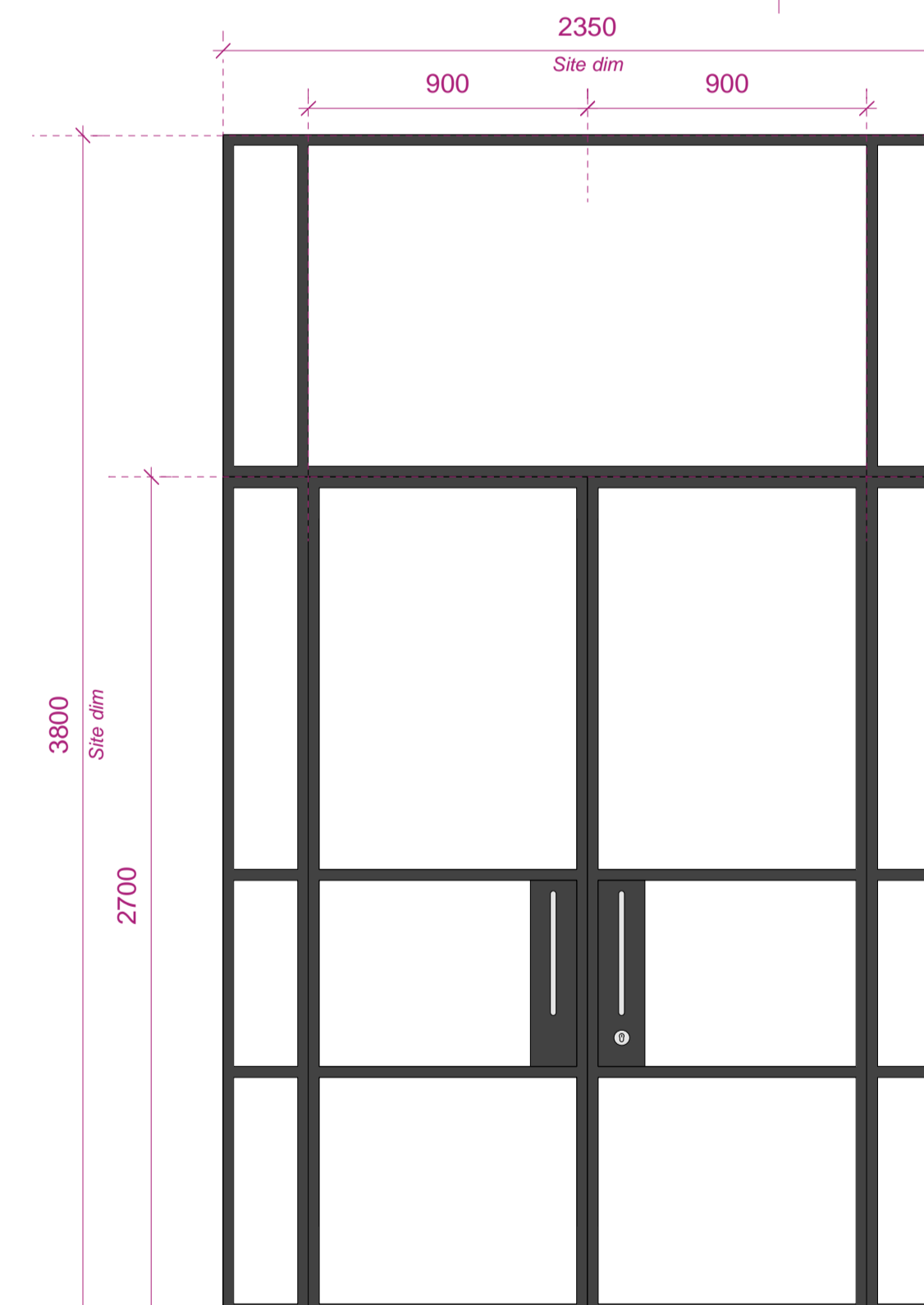


GROUND FLOOR WINDOW DETAIL
(Scale 1:20)

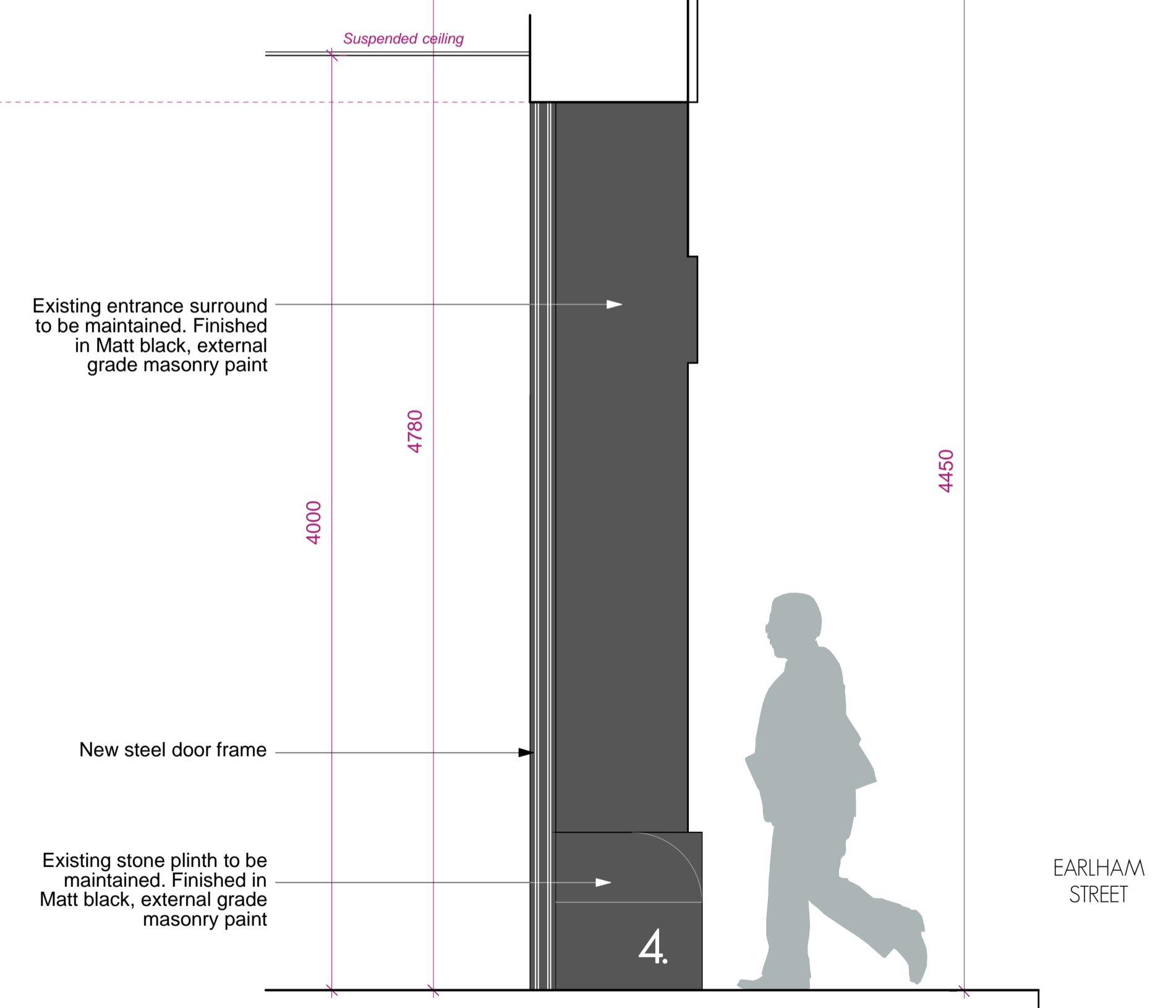
Heritage style steel door frame with double glazed panes to existing opening. Ref: Secco Metal OS2 system by Wrightstyle Ltd. Frame finish in RAL 9011 Graphite Black.
Hardware:
(To be confirmed by Supplier and approved by Architect)
Inward opening door hinges supplied as part of the door system, Euro key lock, door closers, flush bolt (LHS) pull handles & internal overhead maglock inked to building management access control and entry system in accordance with M&E Engineer's specifications



SD STUDIO ENTRANCE DOOR
(Scale 1:20)



SD WAREHOUSE ENTRANCE DOOR
(Scale 1:20)



PROJECTING SIGN DETAILS
(Scale 1:20)

PROPOSED EARLAM STREET ENTRANCE FACADE ALTERATIONS

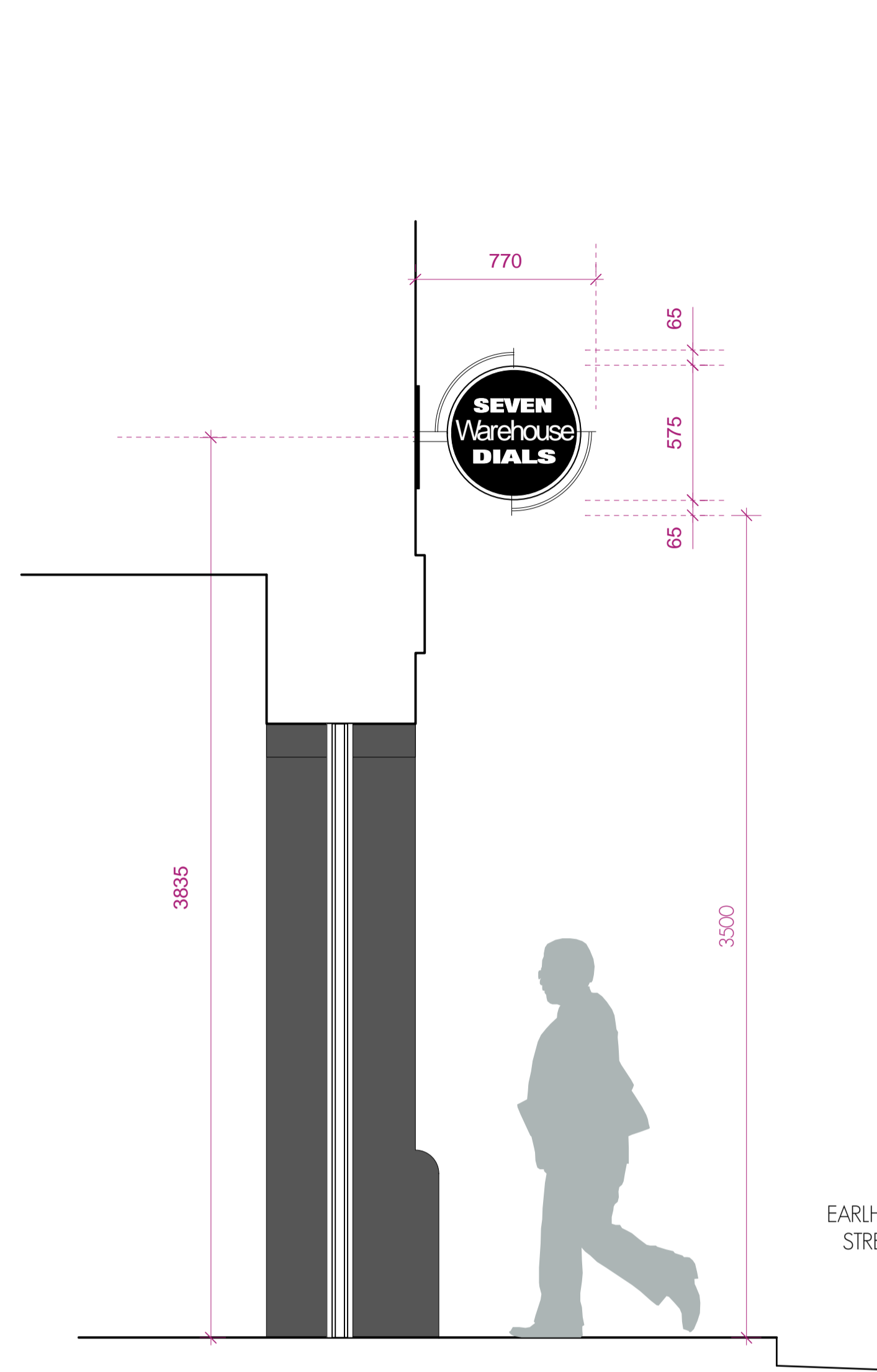


PLANNING

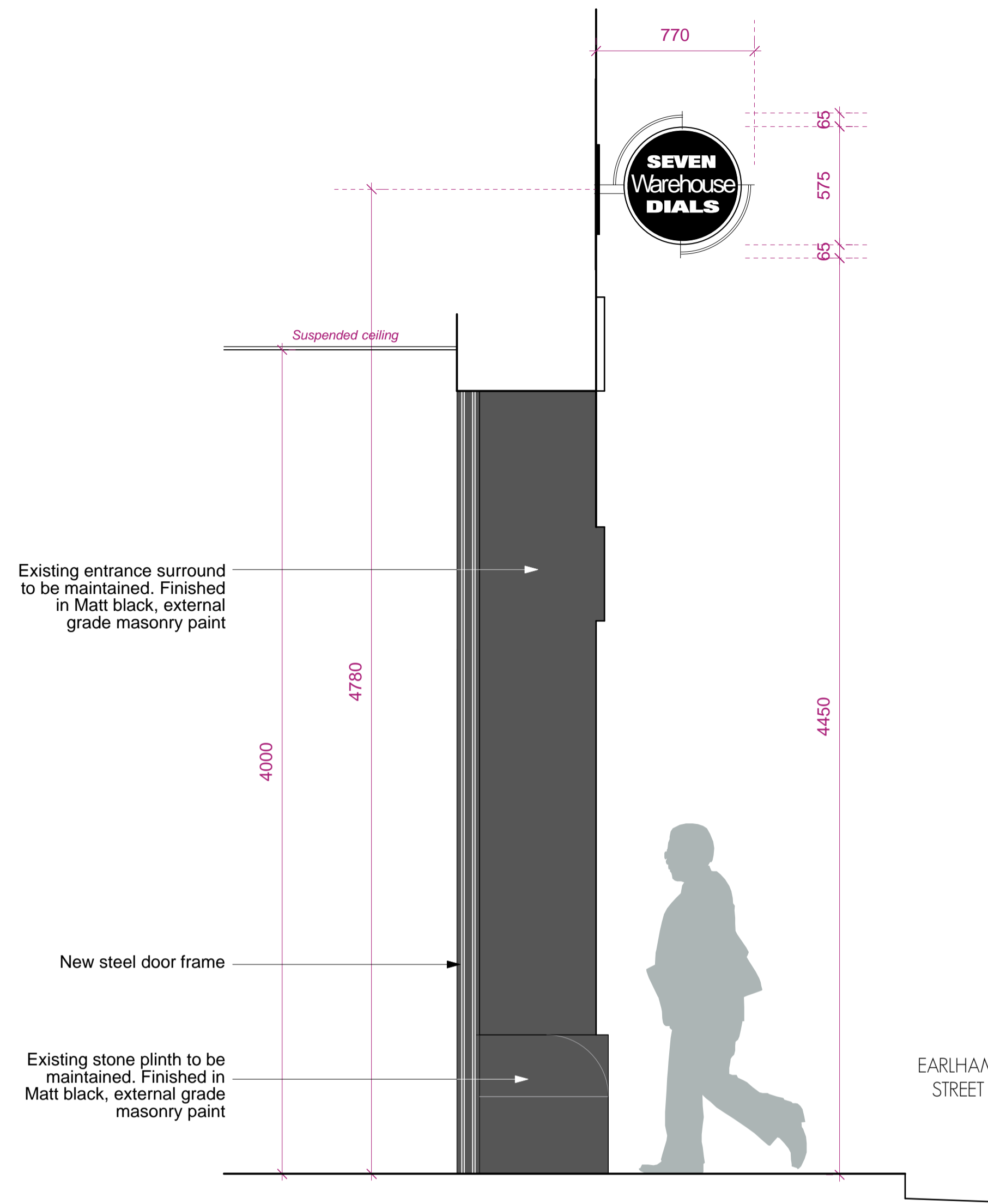
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| PROJECT | SEVEN DIALS WAREHOUSE LONDON WC2 | | |
| CLIENT | PEC NEALE LTD | | |
| SCALE | 1:50 & 1:20 @ A1 | DATE | MAR 17 |
| CHKD. | DWG NO. | DWG BY | SF / DS |
| | | REV. | |
| | 527-AS.29 | | |

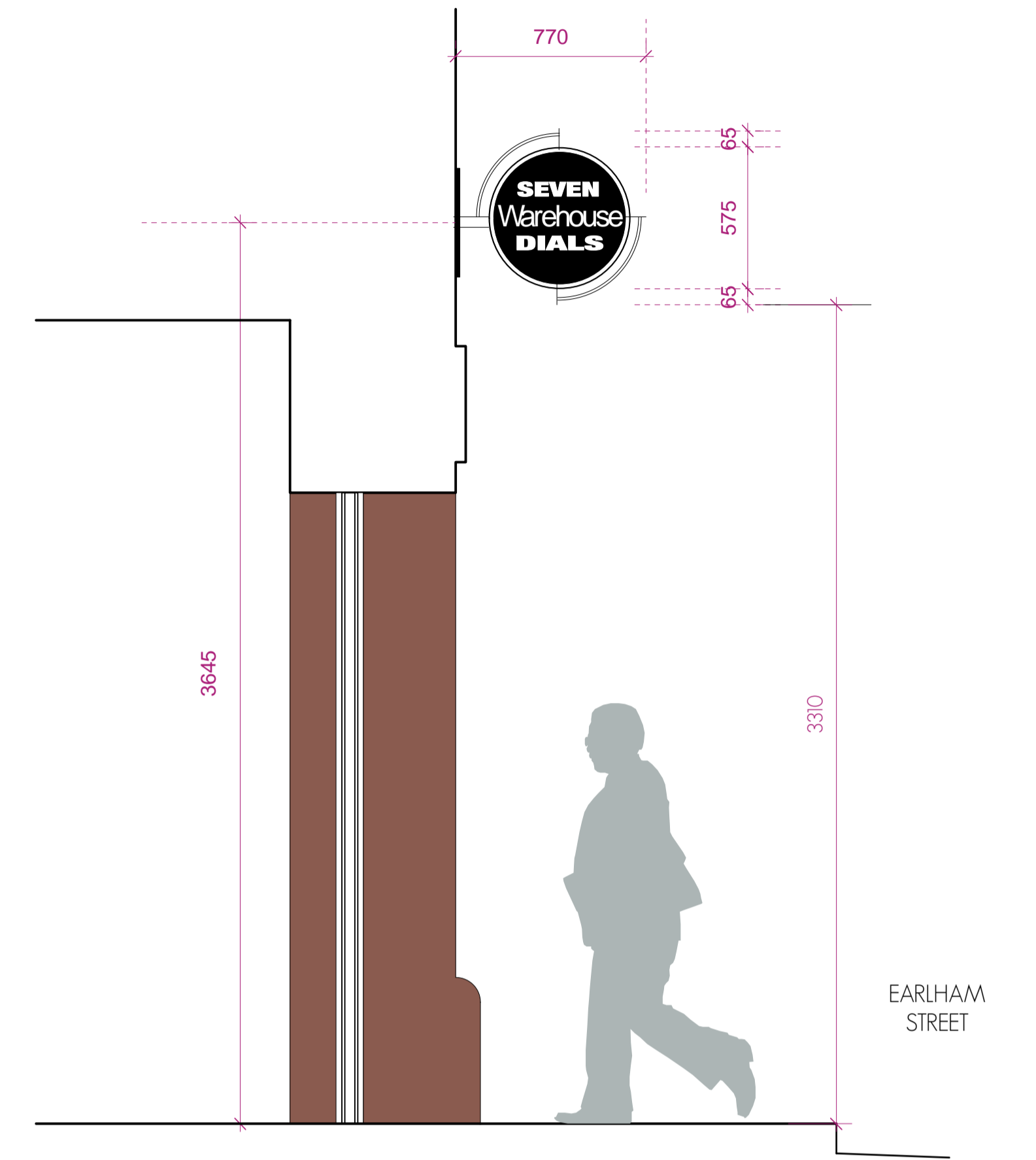
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| DRAWING TITLE | PROPOSED EARLAM STREET ENTRANCE FACADE ALTERATIONS | | |
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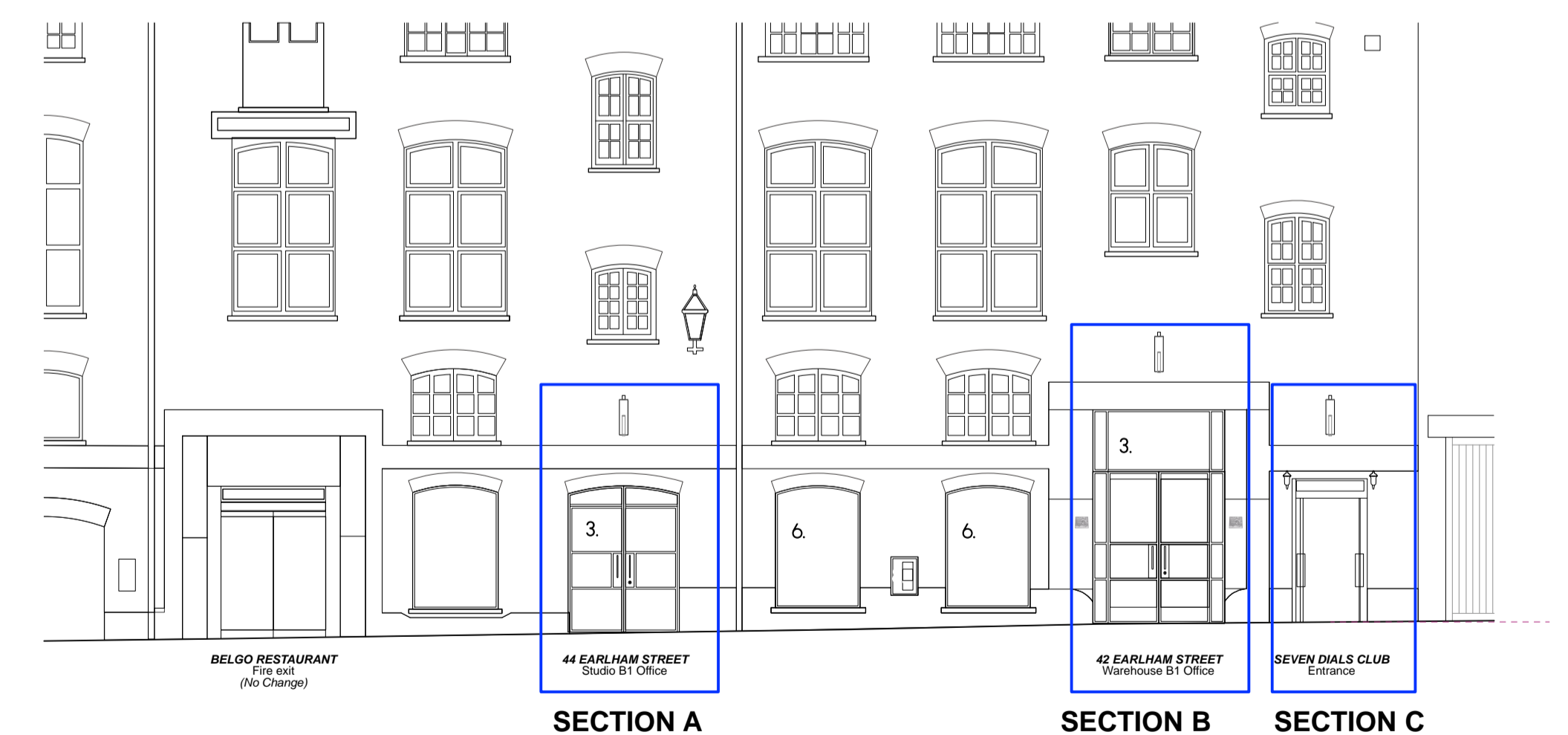
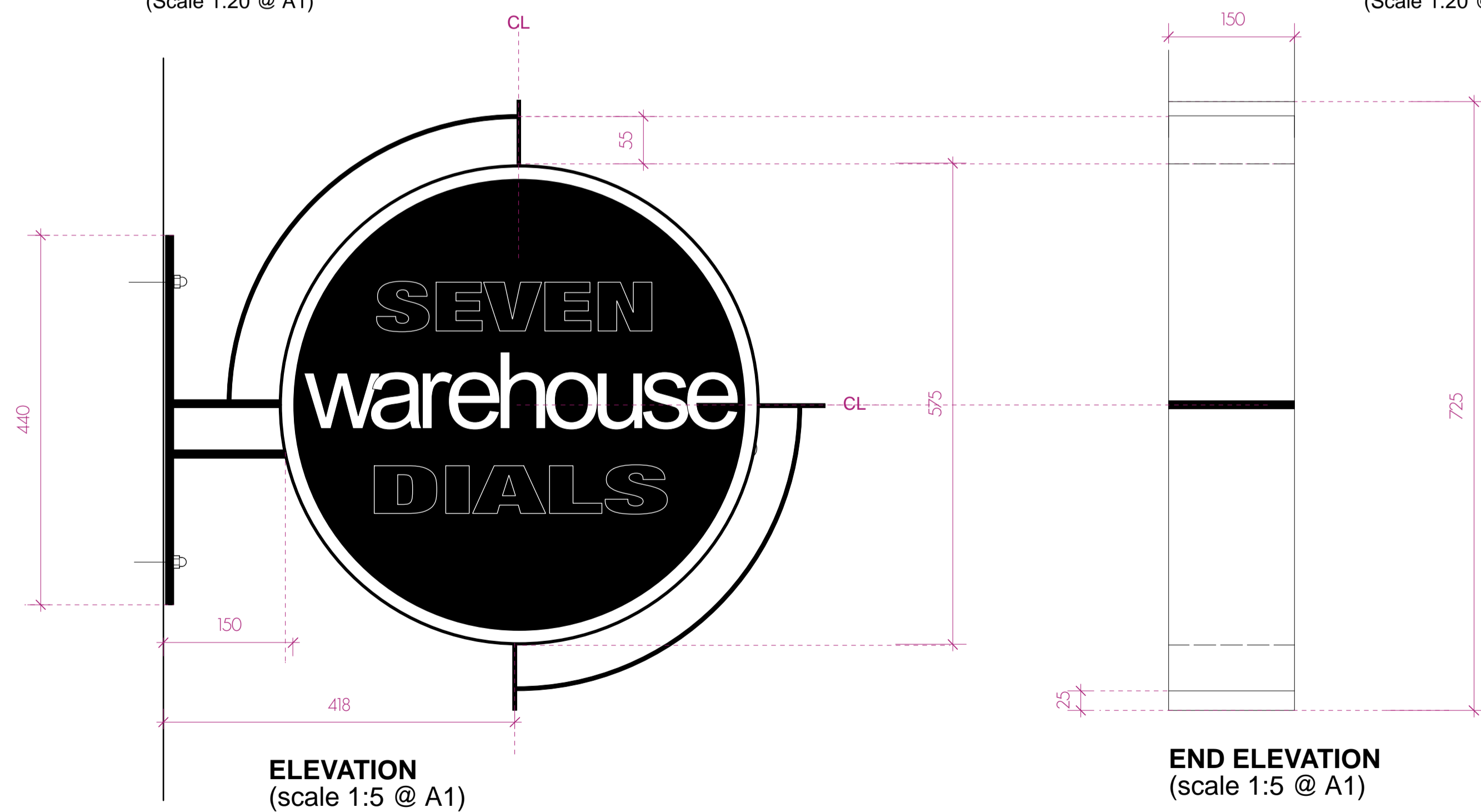
SECTION A - SEVEN DIALS STUDIO
(Scale 1:20 @ A1)



SECTION B - SEVEN DIALS WAREHOUSE
(Scale 1:20 @ A1)



SECTION C - SEVEN DIALS CLUB
(Scale 1:20 @ A1)



ELEVATION KEY
(Scale 1:100)

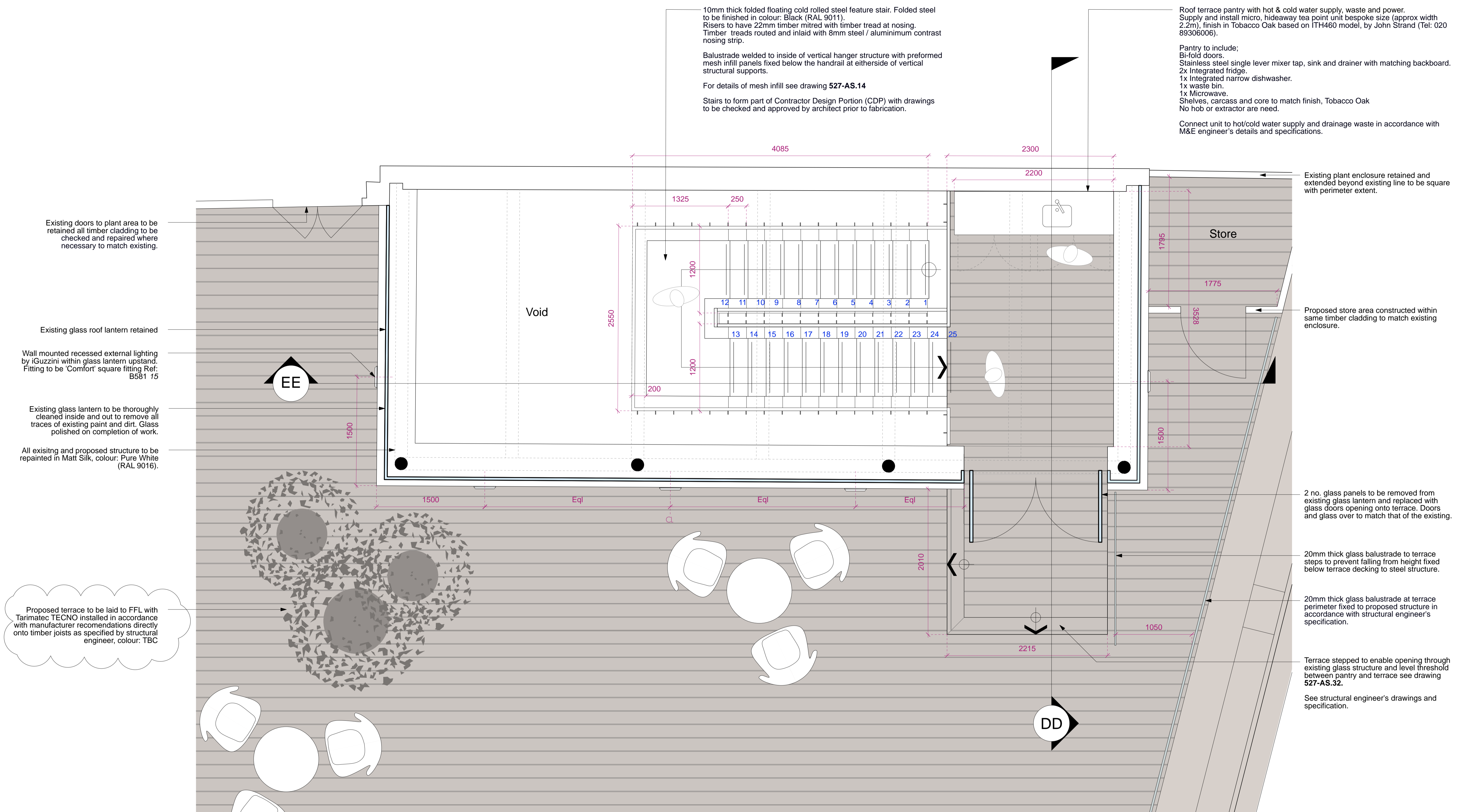
PROPOSED PROJECTING SIGNAGE DETAILS

TO BE READ IN CONJUNCTION WITH
DRG. NO. 527 AS.29



PLANNING

| | | | | | |
|--|-----------------------------|--------------------------|---|--|--|
| PROJECT SEVEN DIALS WAREHOUSE LONDON WC2 | | | DRAWING TITLE PROPOSED PROJECTING SIGNAGE DETAILS | | |
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PROPOSED TERRACE ACCOMODATION STAIR PLAN



All finishes and surface materials to be applied and or laid in accordance with the manufacturer's specifications and appropriate BS standards.

PLANNING

| | | |
|------|----------|-------------------------|
| rev. | date | notes |
| A | 21.03.17 | Revised terrace decking |

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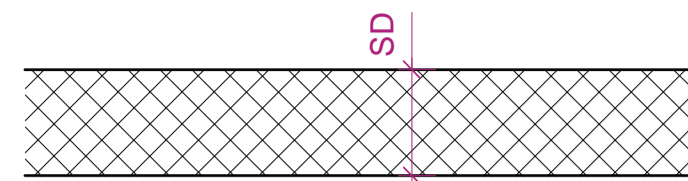
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| PROJECT | SEVEN DIALS WAREHOUSE LONDON WC2 | | |
| CLIENT | PEC NEAL LTD, C/O CBRE GI | | |
| SCALE | 1:25@A1 | DATE | MAR 2017 |
| CHKD. | DS | DWG NO. | 527-AS.31 |
| REV. | A | DWG BY | SF |

DRAWING TITLE: **PROPOSED TERRACE ACCOMODATION STAIR PLAN**

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EXISTING BLOCK WALL
Existing solid Block wall retained

Existing plant enclosure screen to be modified and brought forward so it parallel with the existing parapet wall. Height and finish to be maintained as existing

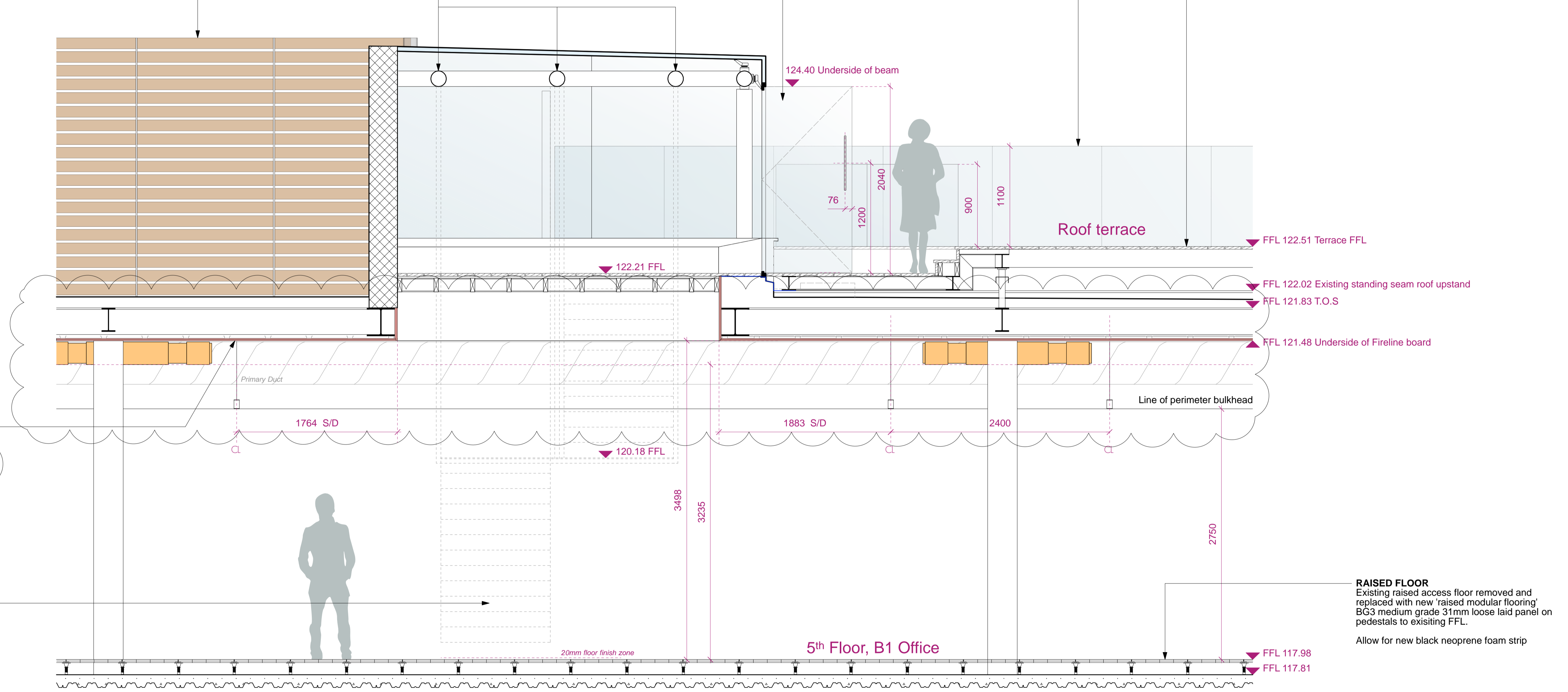
Additional steel CHS between existing steel structure to support proposed floating folded steel stair in accordance with structural engineers specification

All existing and proposed structure to be repainted in Matt Silk, colour: Pure White (RAL 9016).

Form and opening in the glass lantern edge wall (Subject to further investigation following strip-out works) Remove part of the double glazed lantern windows to form the new opening. Install new double glazed (structural glazing type) to new opening. Modifications in accordance with structural engineer's specifications in conjunction with: Site survey, structural design and fabrication drawings as part of CDP.

Proposed frameless glass balustrade set back away from building parapet edge so to not be visible from street level. Glass balustrade, toughened and laminated clear low iron glass, fixed to supporting steel structure in accordance with structural engineer to terrace perimeter frame. Site survey, structural design and fabrication drawings as part of CDP

Proposed terrace to be laid to FFL with Tarimatec TECNO installed in accordance with manufacturer recommendations directly onto timber joists as specified by structural engineer, colour: TBC



Allow for 2 layers 12.5mm Fireline finish to underside of steels on gyframe MF system, boards taped and jointed and decorated in Dulux Trade Diamond Matt, Colour RAL 9016 Traffic White.

60 mins fire resistance to timber floor construction
Ref: C106003

10mm thick folded floating cold rolled steel feature stair. Folded steel and suspended structure to be finished in colour: Black (RAL 9011).

Risers to have 22mm timber mitred with timber tread at nosing. Timber treads routed and inlaid with 8mm steel / aluminium contrast nosing strip.

Balustrade welded to inside of vertical hanger structure with preformed mesh infill panels fixed below the handrail at eitherside of vertical structural supports. For details of mesh infill see drawing 527-AS.14

Stairs to form part of Contractor Design Portion (CDP) with drawings to be checked and approved by architect prior to fabrication.

RAISED FLOOR
Existing raised access floor removed and replaced with new 'raised modular flooring' BG3 medium grade 31mm loose laid panel on pedestals to existing FFL.
Allow for new black neoprene foam strip

PROPOSED ACCOMODATION STAIR SECTION DD

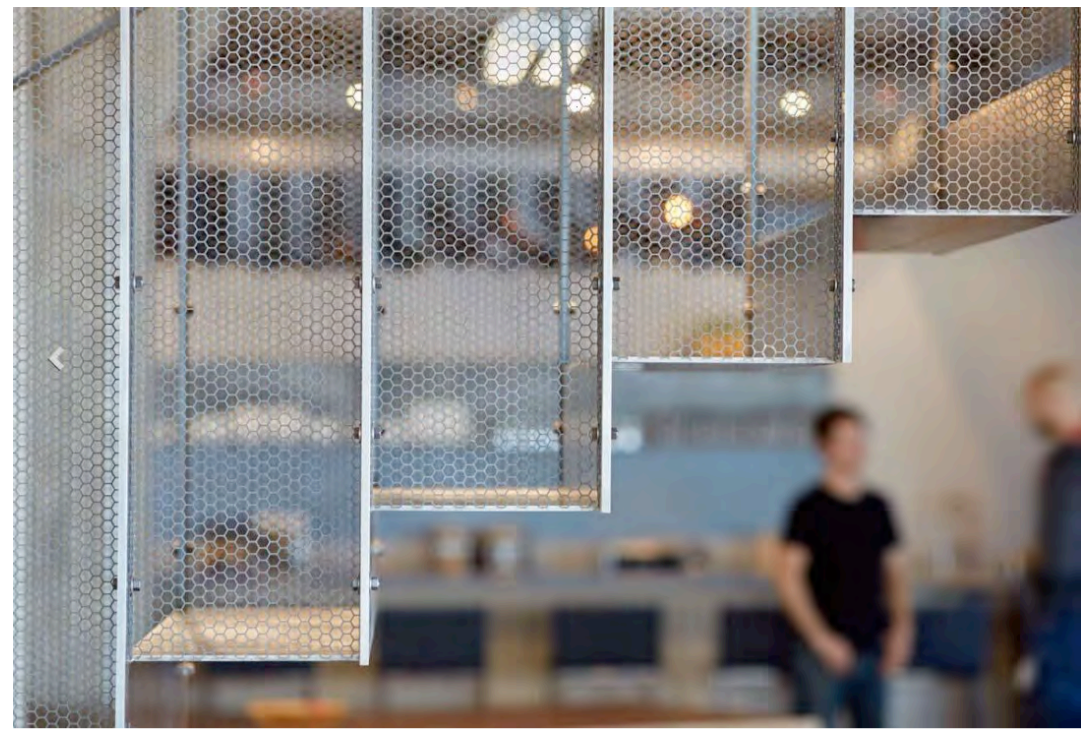
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PLANNING

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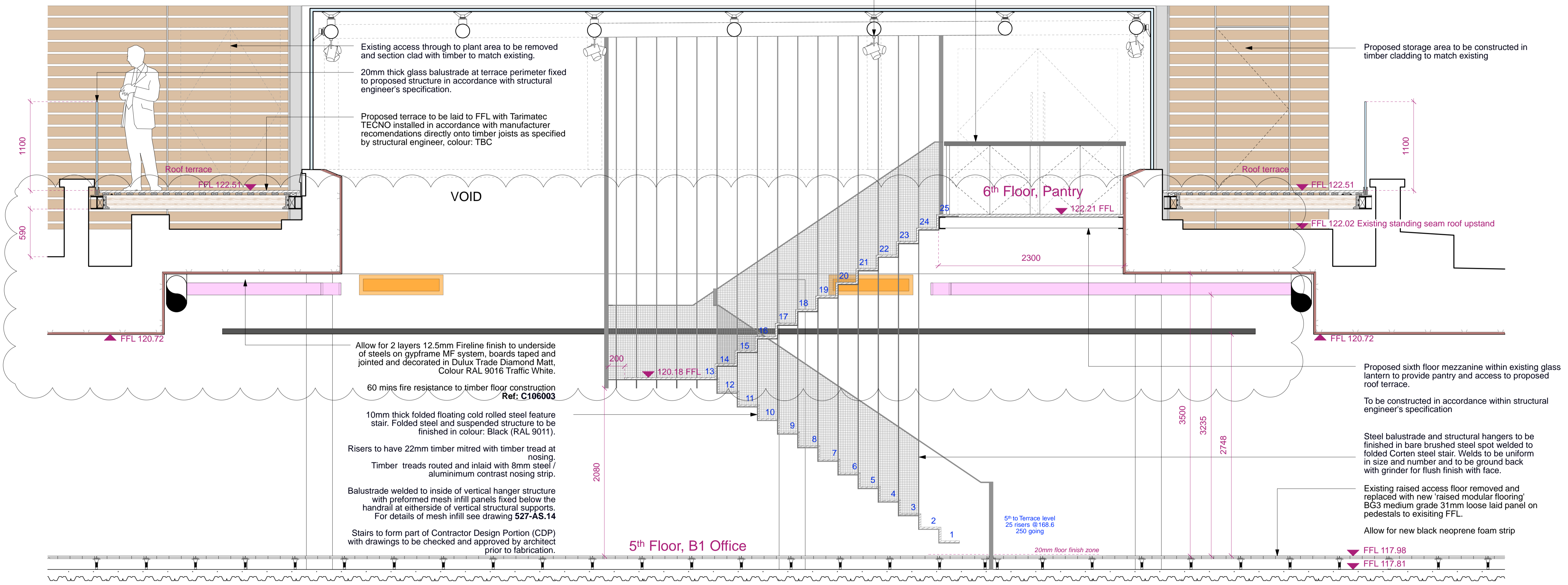


DETAIL Feature stair mesh infill detail

Existing glass lantern and structure to be retained.
 Additional structural support proposed to match that of the existing CHS in accordance with structural engineer's specification to support suspended staircase.
 All existing and proposed structure to be repainted in Matt Silk, colour: Pure White (RAL 9016).
 LED track lights to be mounted on existing steel structure within glass lantern to provide adjustable flood lighting.

Roof terrace pantry with hot & cold water supply, waste and power. Supply and install micro, hideaway tea point unit bespoke size (approx width 2.2m), finish in Tobacco Oak based on ITH460 model, by John Strand (Tel: 020 89306006).
 Pantry to include:
 Bi-fold doors.
 Stainless steel single lever mixer tap, sink and drainer with matching backboard.
 2x Integrated fridges.
 1x Integrated narrow dishwasher.
 1x waste bin.
 1x Microwave.
 Shelves, carcass and core to match finish, Tobacco Oak
 No hob or extractor are need.
 Connect unit to hot/cold water supply and drainage waste in accordance with M&E engineer's details and specifications.

Existing glass lantern to be thoroughly cleaned inside and out to remove all traces of existing paint and dirt. Glass polished on completion of work.



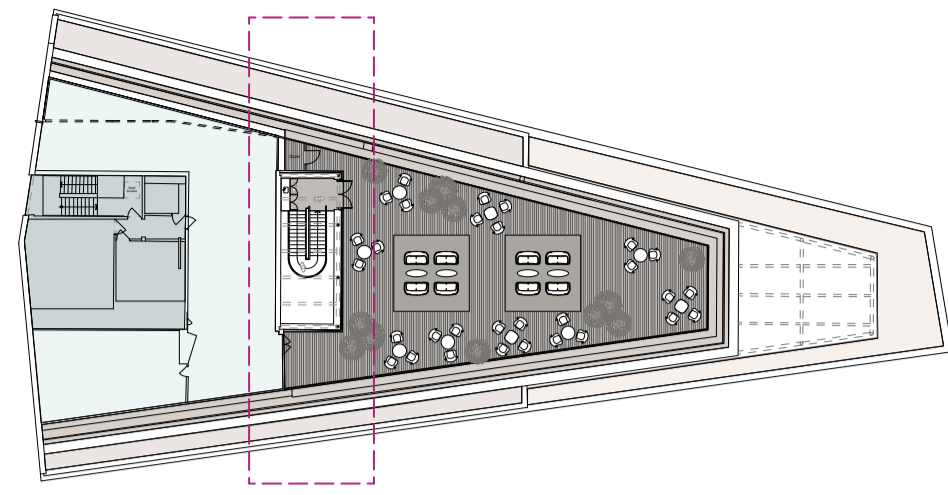
PROPOSED ACCOMODATION STAIR SECTION EE



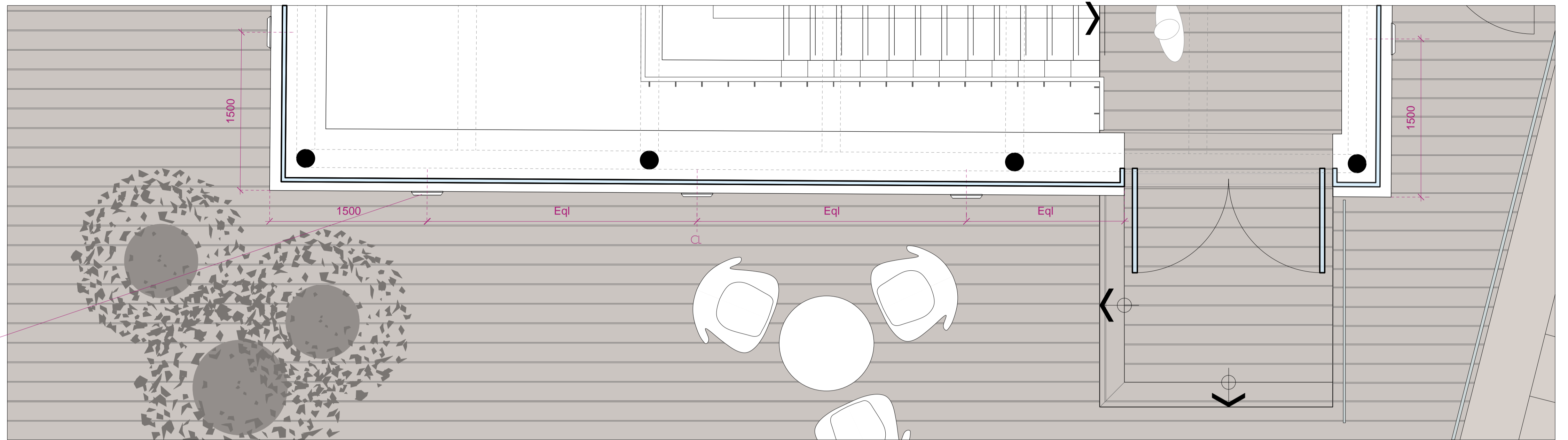
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PLANNING

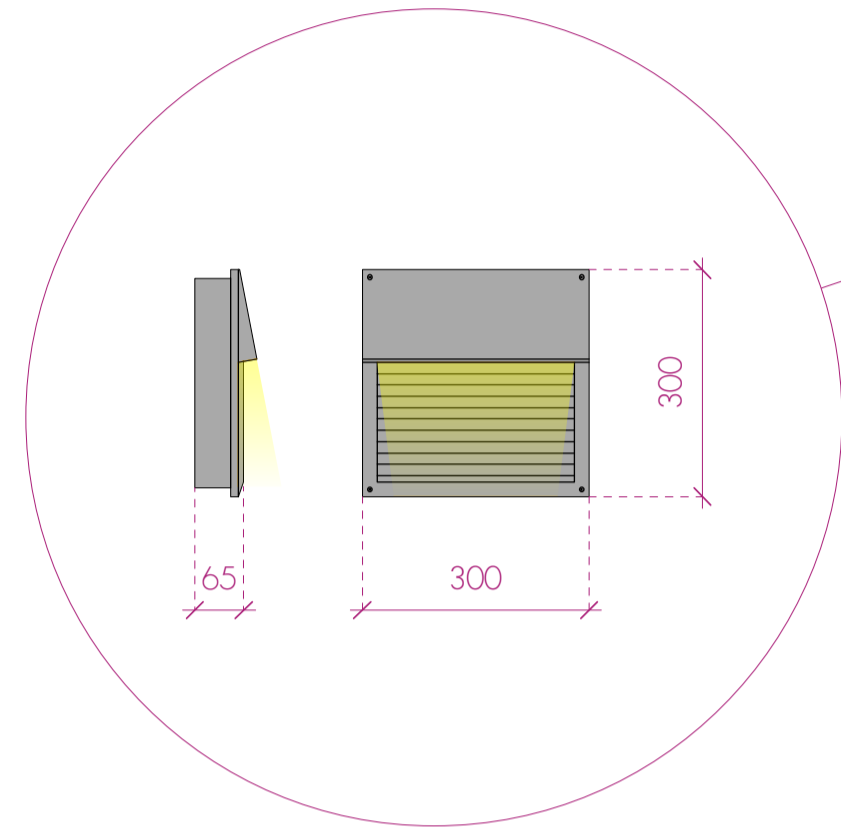
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| PROJECT SEVEN DIALS WAREHOUSE LONDON WC2 | | | DRAWING TITLE PROPOSED TERRACE STAIR SECTION EE | |
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KEY PLAN

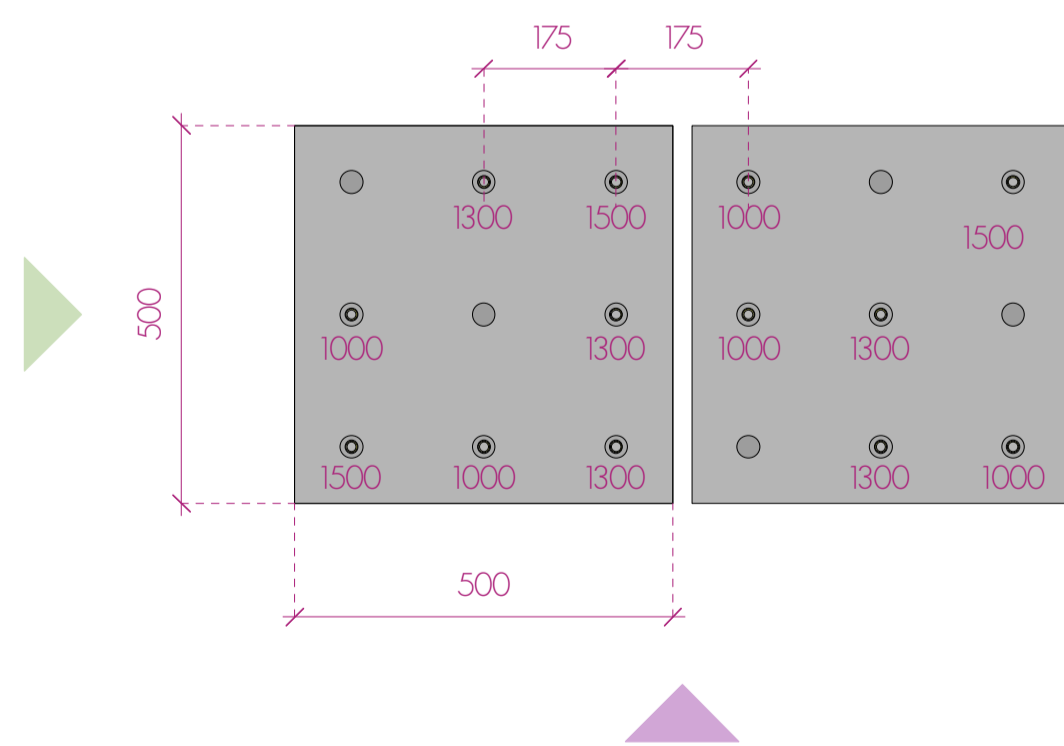


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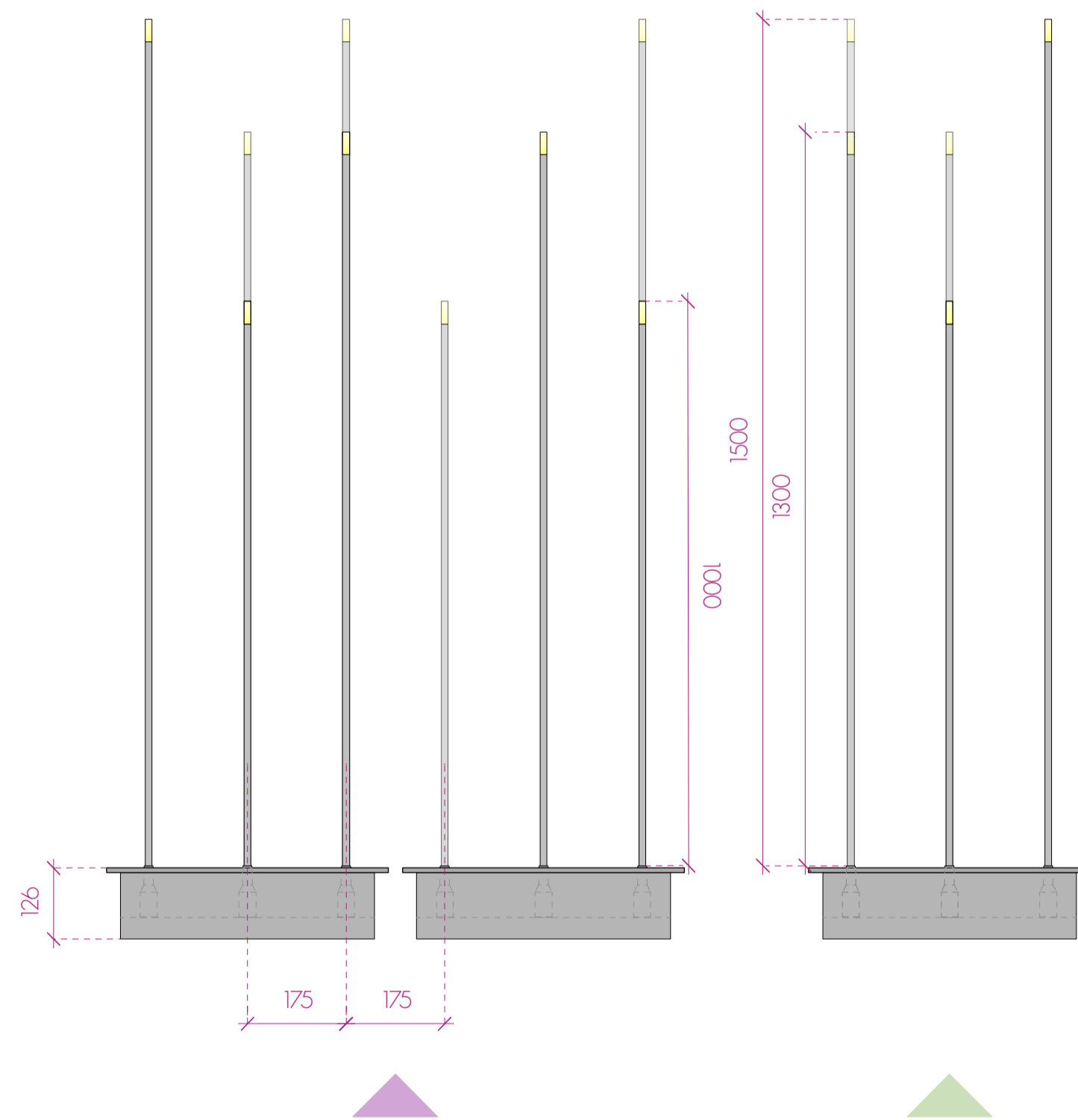


DETAIL iGuzzini 'Comfort' square luminaire
Ref: B581 15 (Scale 1:10)

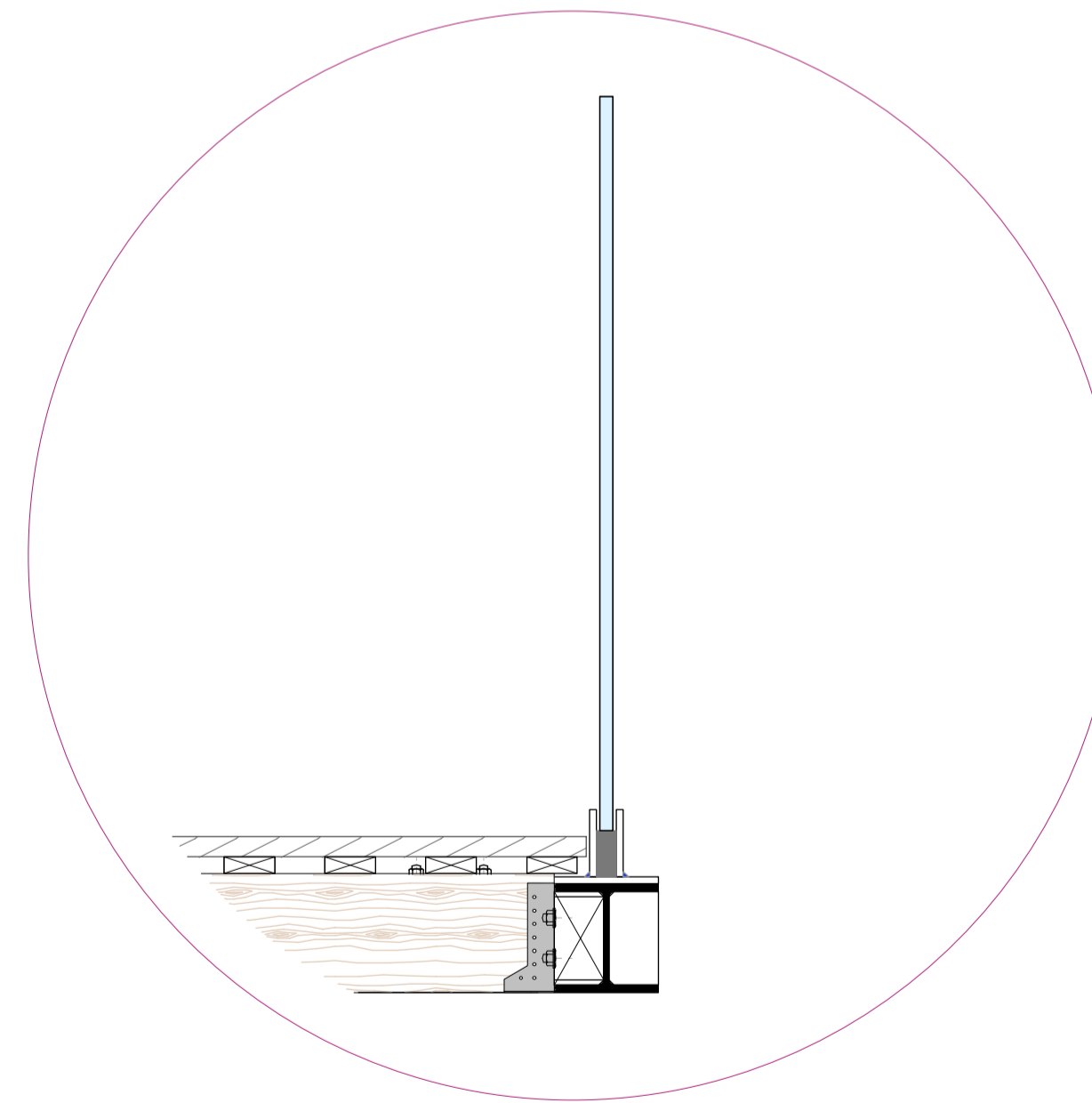
Terrace lighting feature made up from a combination of 13 'Comfort' iGuzzini luminaire arranged according to layout within 2 stainless steel support bases to be mounted beneath the composite deck boards.



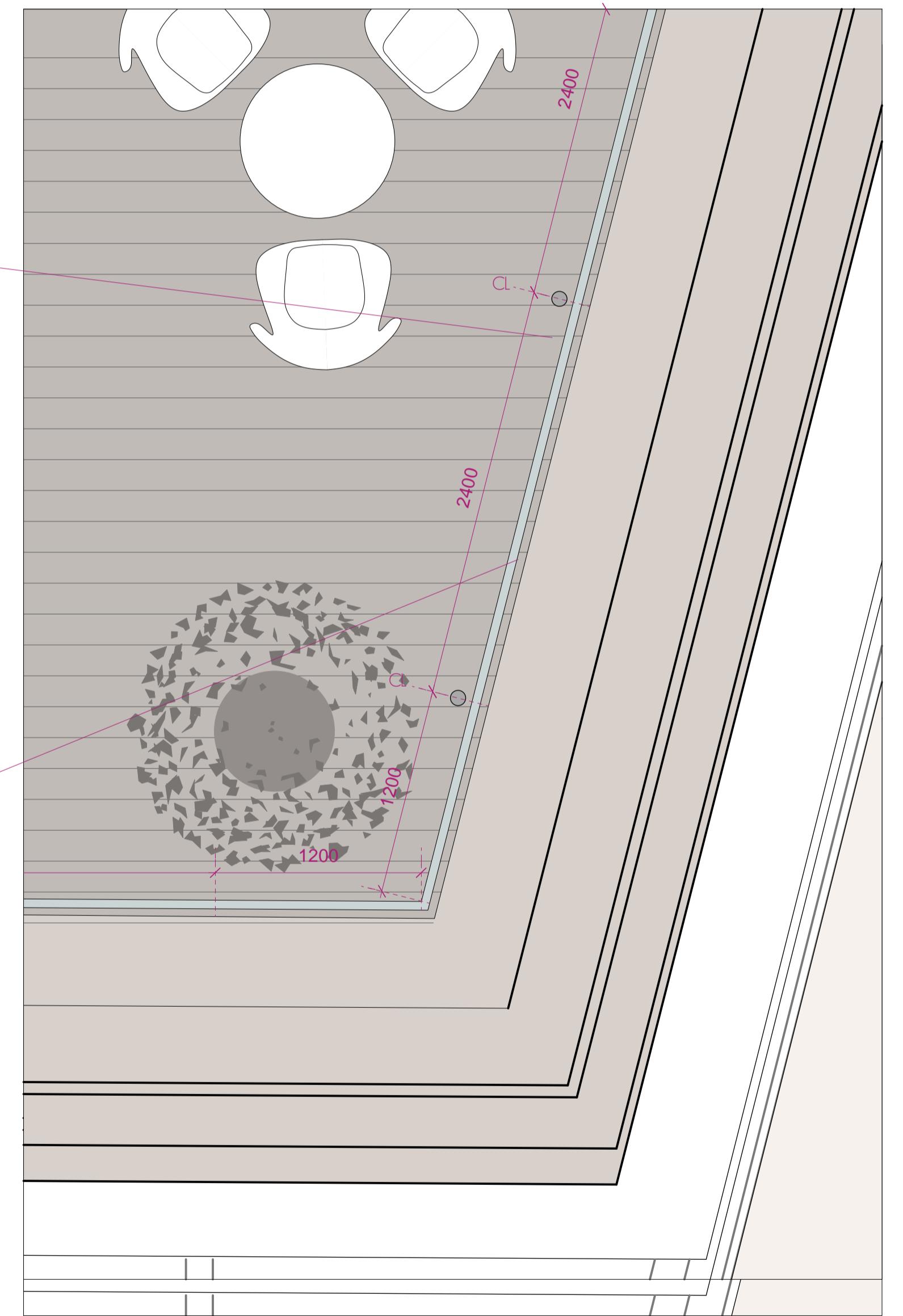
DETAIL iGuzzini 'Typha' 13 Feature Luminaires
Combination of Ref: T415 13, ADT3 13, ADT4 13 & ADT5 13
(Scale 1:10)



DETAIL iGuzzini 'Pencil' circular luminaire
Ref: BN37 15 (Scale 1:10)



DETAIL Perimeter terrace balustrade
Scale 1:10



Scale 1:25

PROPOSED TERRACE DETAILS

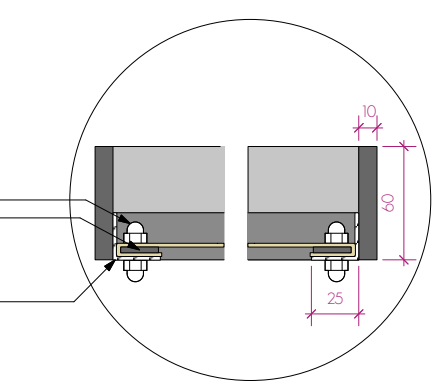
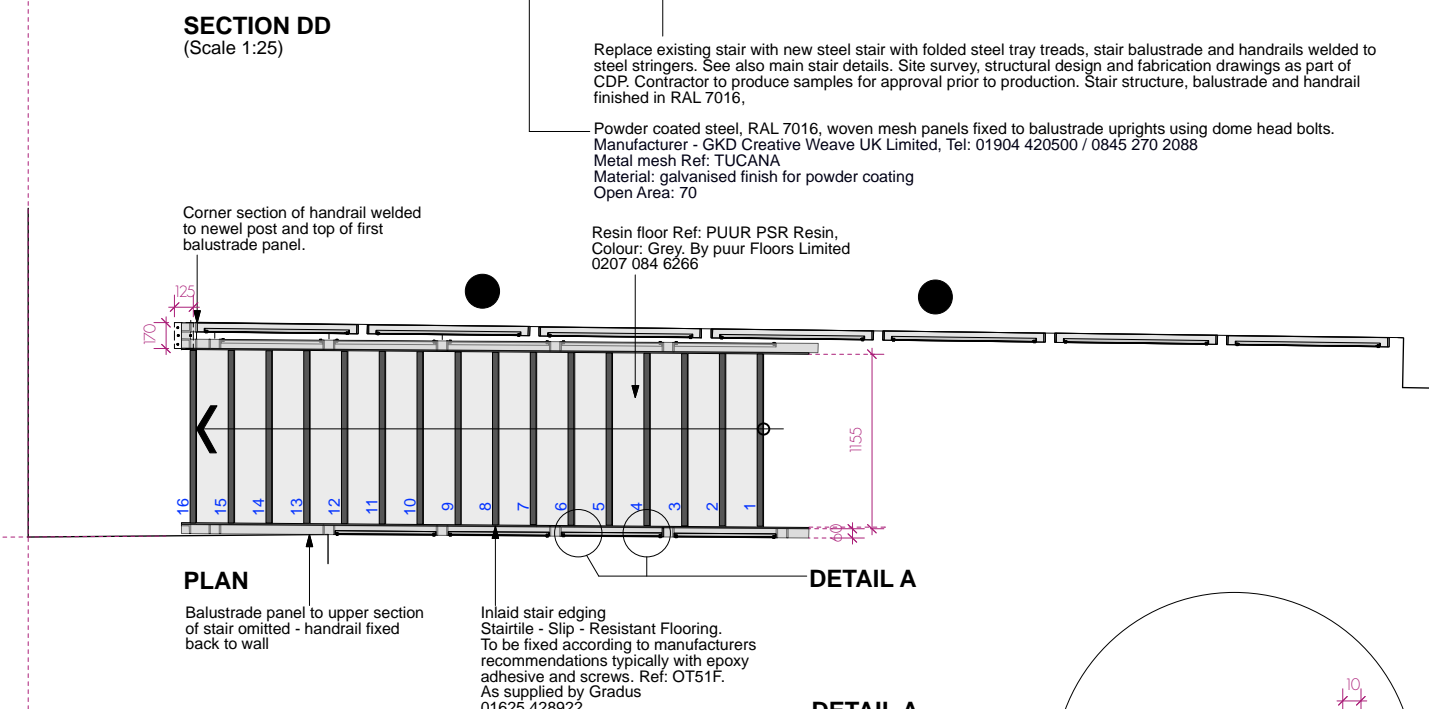
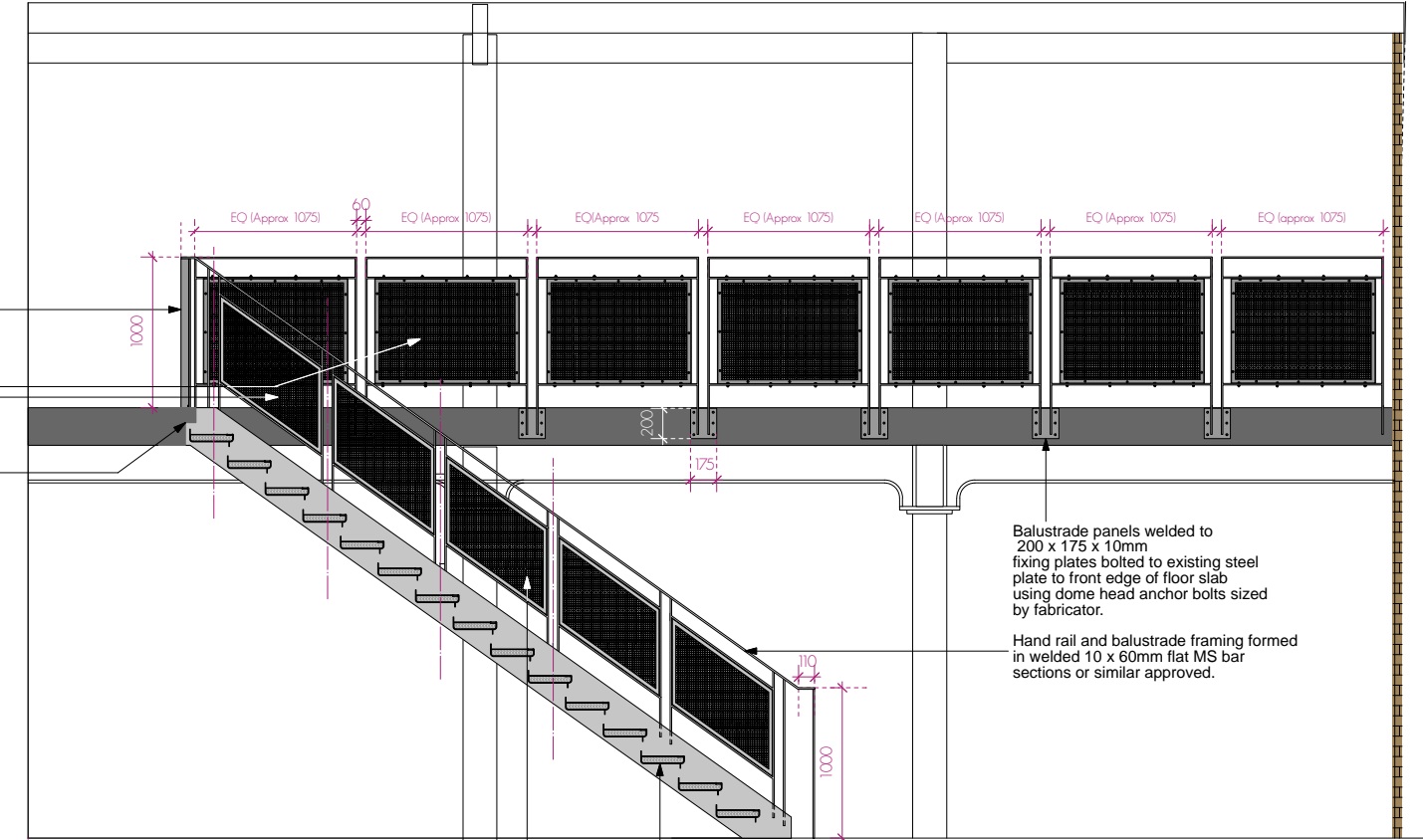
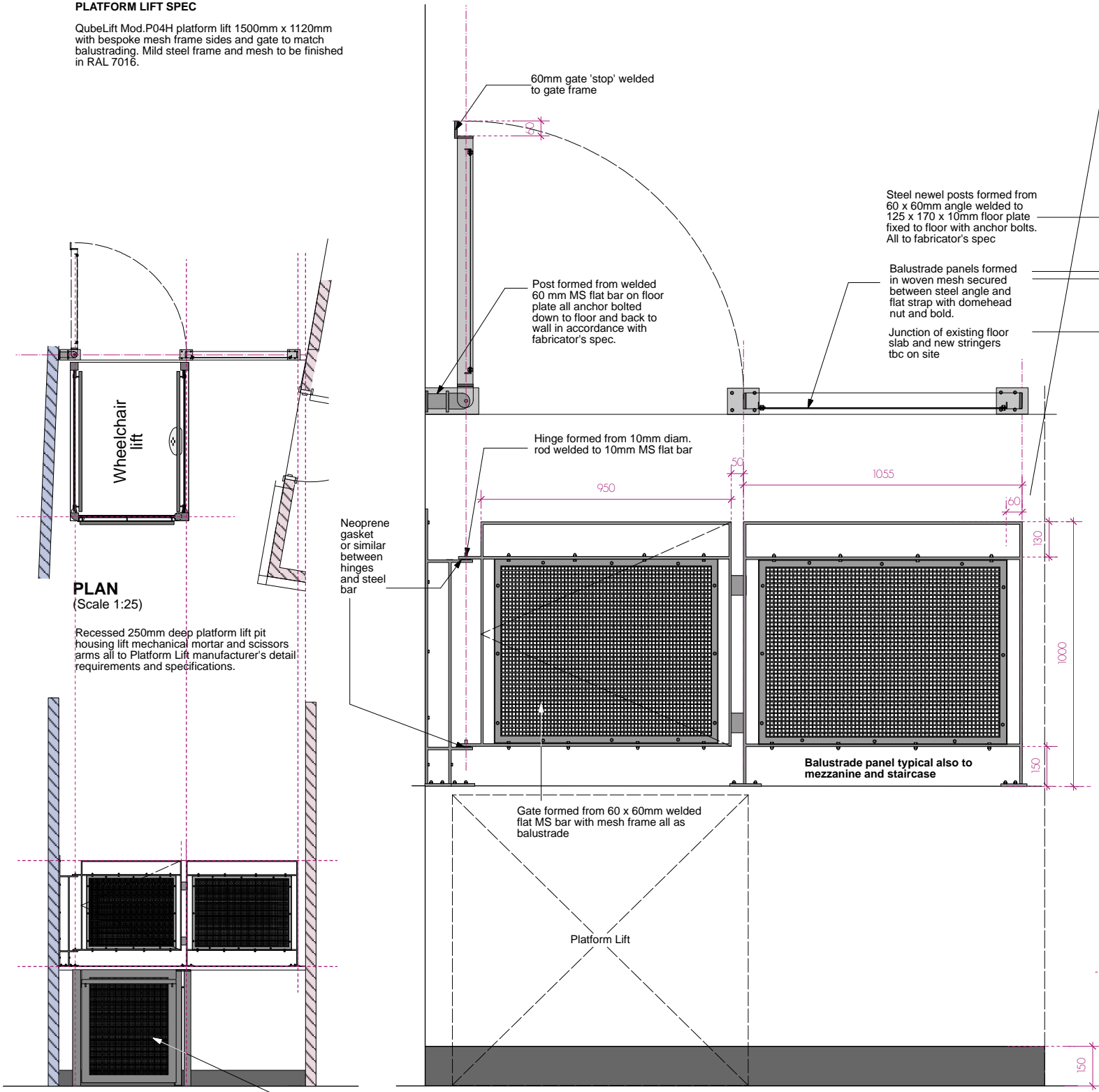
All finishes and surface materials to be applied and or laid in accordance with the manufacturer's specifications and appropriate BS standards.

PLANNING

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| PROJECT SEVEN DIALS WAREHOUSE LONDON WC2 | | | DRAWING TITLE PROPOSED TERRACE DETAILS | | |
| CLIENT PEC NEAL LTD, C/O CBRE GI | | | | | |
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PLATFORM LIFT SPEC

QubeLift Mod.P04H platform lift 1500mm x 1120mm with bespoke mesh frame sides and gate to match balustrading. Mild steel frame and mesh to be finished in RAL 7016.




PROPOSED RECEPTION DETAILS PAGE 4



All finishes and surface materials to be applied and or laid in accordance with the manufacturer's specifications and appropriate BS standards.

PLANNING

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| PROJECT SEVEN DIALS WAREHOUSE LONDON WC2 | | | DRAWING TITLE PROPOSED RECEPTION DETAILS PAGE 4 | | |
| CLIENT PEC NEALE LTD | | |  architecture & interior design | | |
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