

DESIGN AND ACCESS STATEMENT

1A KEMPLAY ROAD, LONDON NW3

The Property

The property is a small gable fronted detached house converted in 1964 on the south side of Kemplay Road. It is situated in Hampstead Village Conservation Area in Willoughby Road/Downshire Hill sub area. The building has not been single out as one which makes a positive contribution to the character of the conservation area.

There is a garden at the front, with a terrace running the full width of the first floor. There is a larger enclosed garden at the rear.

To the west is a pair of four storey semi-detached Victorian houses. No 1 was converted back into a single dwelling in 2006 and new conservatory was added at the rear of the ground floor.

To the east is 11 Pilgrim's Lane, 2 storey inter-war detached house with a hipped roof and rendered a terracotta colour. It has a partly obscure glass block window that provides light to the staircase. This window is positioned opposite a light well on the east side of No 1A.

The buildings are of varied scale and appearance.



1A Kemplay Road



11 Pilgrim's Lane



1 Kemplay Road



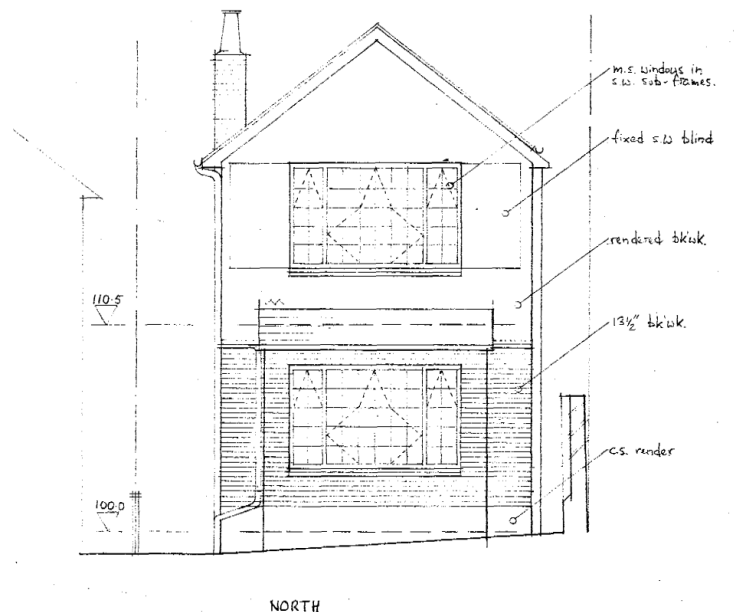
Rear Elevation



Rear of 1 Kemplay Road viewed from roof terrace

Planning History

- In 1966 Planning application to erect a single storey side extension (Ref: 2417)
- In 1997 Planning application to erect a first floor side extension (Ref: PW9702322) which was refused but later allowed on appeal.



Front elevation before the 1966 extension

Design Proposals

The proposed changes are:

- To increase the height of the roof to create enough space for a loft extension. The new roof will be a full width double pitch behind two gable ends. This will make the building closer to the proportions of the original house and to the traditional Hampstead gable ends. The new roof will be clad in natural slate tiles.
- After consultations with the neighbours and in view of their concerns, it was decided to truncate the top of the pitch to minimise their loss of light and views. See Preliminary Design and Proposed Design (pages 5 and 6)
- Two new side dormers, one for each room, will be carefully sited to keep the impact on the neighbouring buildings to a minimum. The front dormer will be positioned facing the front of the roof of No 11 Pilgrim's Lane, away from the existing roof light and north of the staircase window. The rear dormer will be positioned facing 1 Kemplay Road's blank wall. There is enough distance as to not have an impact on the side window of the front bedroom. Both dormers will have obscured glazing with openable lights above 1.7 meters.
- The house will be externally insulated and rendered on all sides except the east side due to lack of space between the house and the boundary.

- The single door external door on the first floor will be widened to the same width as the adjacent French doors.
- Ground floor front window will have a lower cill level.
- Front door will be changed to incorporate a side light. Material will be timber or composite timber and aluminium.
- The windows and doors will be replaced with composite aluminium and timber double glazed units. This, combined with new render, will give the house a clean, sharp look making it more contemporary which is the intention of the owners.
- The front balcony railing will be replaced by a cantilevered, frameless glass balustrade, with concealed fixings. Stainless steel cap railing will be fitted to the top of the glass.
- New sliding doors to rear elevation, to replace existing door and fixed panel.

Materials

- **Walls** will be painted render finish as existing.
- **Doors and Windows** will be double or triple glazed composite aluminium and timber units.
- **Roof** will be clad in natural slate tiles
- **Roof lights** will be conservation roof lights
- **Dormer windows** will be clad in lead or zinc
- **Balustrade** will be glass.

Environmental

The house will have a new roof which will be insulated to contemporary standards or higher. External wall insulation will be applied where possible.

New windows and doors will be insulated at much higher standards than the existing.

The roof lights and the front dormer have been sited to bring in natural light to the interior spaces as much as possible

Accessibility

The new layout of the ground floor has been designed with the view of becoming a Lifetime Home. There will be a shower room, separate room that could become a bedroom, level thresholds to patio and low level windows.

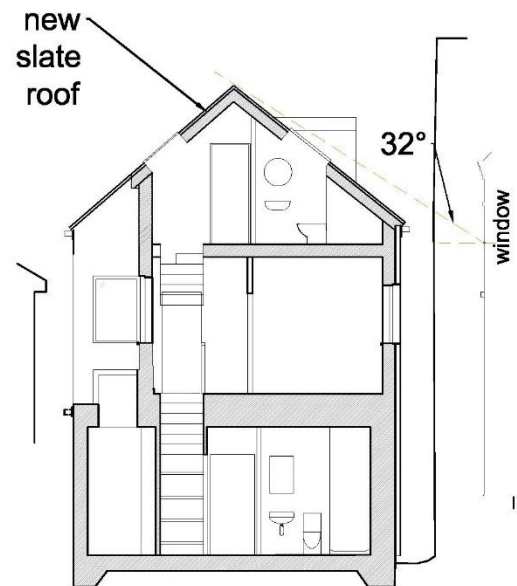
Trees

No trees will be affected by the new construction.

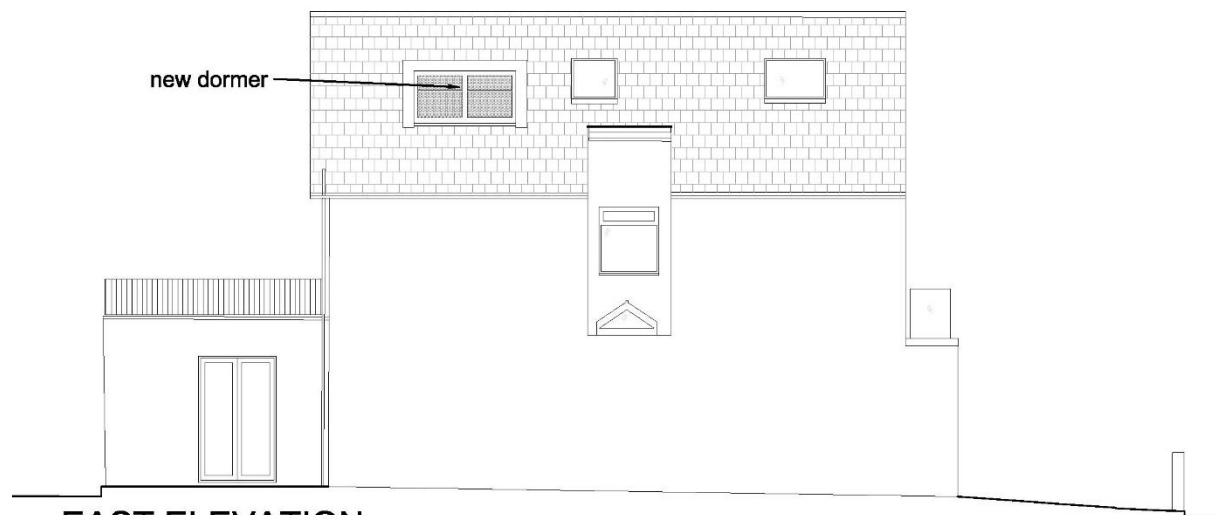
1A KEMPLAY ROAD, PROPOSED DESIGN
Preliminary, before consulting with neighbour



FRONT ELEVATION



SECTION

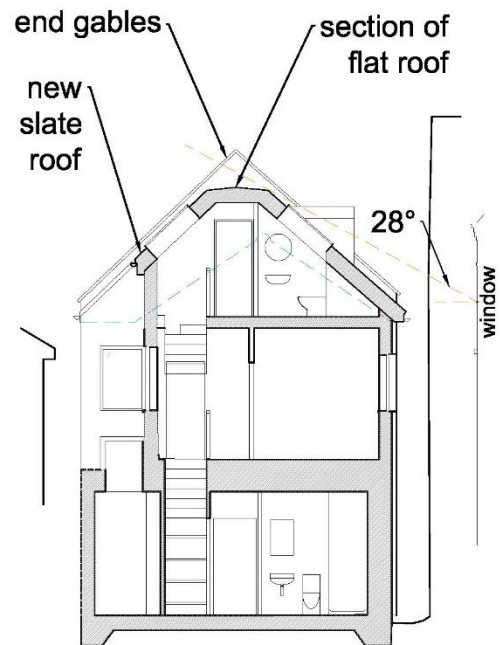


EAST ELEVATION

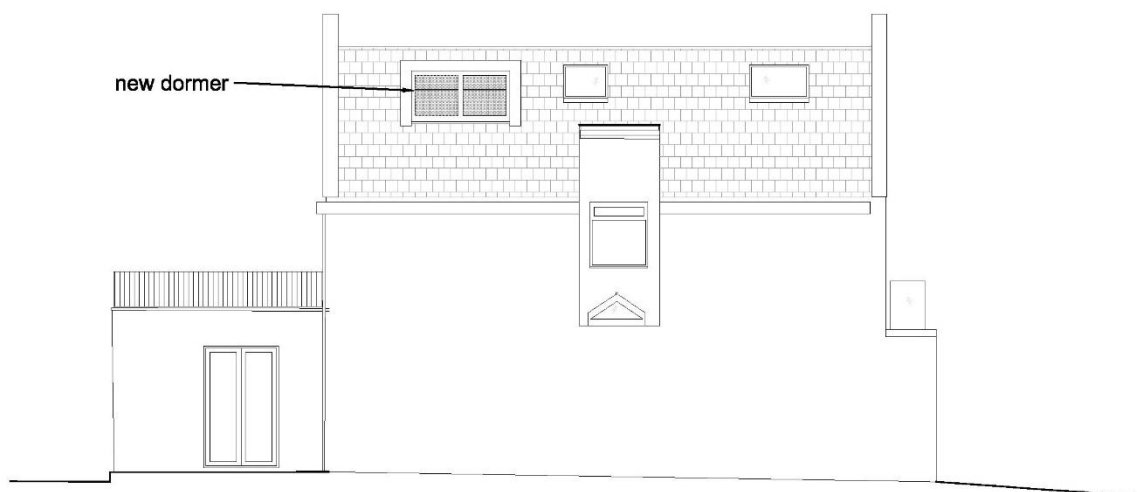
1A KEMPLAY ROAD, PROPOSED DESIGN
(after consultation with neighbour)



FRONT ELEVATION



SECTION

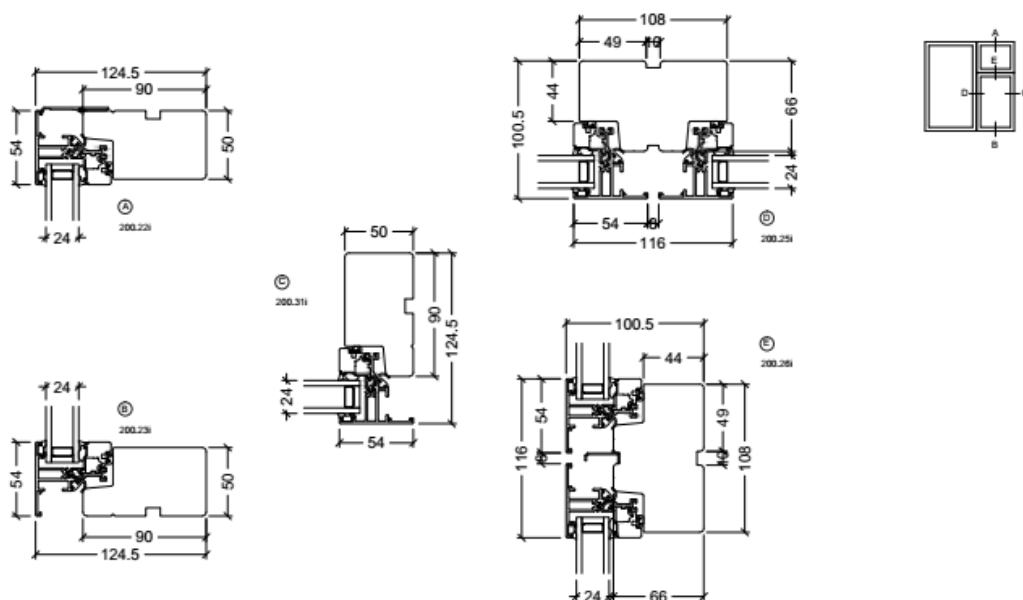


EAST ELEVATION

Window details



Type of composite window frame proposed



Window details.