

# **Design & Access Statement**

**The Cuban  
Camden Market,  
The Stables Market,  
Chalk Farm Rd  
London,  
NW1 8AH**

**( Building Name - Stanley Sidings – Stables to East of Bonded  
Warehouse – Long Stables )**

## GENERAL DETAILS

### **Details of building:**

Description: Detached Grade II Listed building, known as the Long Stables

Address: Camden Market, The Stables Market, Chalk Farm Rd, London NW1 8AH

Owner: Triangle Restaurants

### **Access statement prepared by:**

Company: Keane Brands, 6-12 Bow Street, Birmingham. B1 1DW

Date: 25.01.17

### **Amendments to original statement:**

Name:

Company:

Date:

Details:

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## Introduction

This statement is intended to explain the design process involved in reaching the design, layouts and proposals for The Cuban, Camden Market, The Stables Market, Chalk Farm Rd, London NW1 8AH

## Use

This section is intended to explain some of the character, style and history of the building, as well as, illustrating its current state and use, and the proposed use.

The intended use of the building is to remain the same as it is currently. It is currently owned and operated as The Cuban Bar and Restaurant. The majority of the customers come from the vast tourist attraction towards Camden markets as a whole as well as a young professional working community, whom work in surrounding buildings. The area around the site is largely dominated by markets stalls and other listed buildings, housing and selling a variety of entities from retail to food.

The main purpose of the proposed works is to improve the state of both the building and the interior decoration as all are in much need of improvement. Reinstating as many of the original features, fixtures and fittings as possible and making them the centrepiece of the whole scheme is the main aim of the design.

This former Horse Stable in Camden market is to be rejuvenated and refurbished at a cost of almost £700,000. This work is to include repairs and renovations for the overall interior works on both floors. As well as external signage, a better dining experience with improved feature kitchen on first floor and live kitchen experience on the ground floor will be proposed.

The front and rear entrance elevations will be repaired and retained where necessary to maintain the listed features of the building from an architectural and aesthetic aspect.

Any external stairs to the left and right façade of the building will also be washed back and repaired where necessary to improve the overall look of the building and customer experience of use and access.

Newly appointed crittall style doors will be appointed for both entrance/exits of the long stables; replacing the old timber and glass doors and allowing the heritage and architecture to be brought back to life with the proposal of these doors – architectural drawings will be supplied for further details.

Having researched the building, we are now intending to retain all existing listed brickwork and columns on ground floor as well as the first floor. A new timber floor will be proposed on ground floor to sit on battens to protect the existing listed cobble flooring; prior to this, on removal of the existing timber floor, any cobble and existing original floor underneath will undertake repairs, to reinstate the listed feature of the building as well as ensure a sturdy new platform for the new timber to be laid upon. Retaining as many original features and architecture will marry the building's history to its current use.

As well as redecoration of the space, lighting will be added to accentuate the natural structural features of the internal, brick work, columns, beams and arcs.

This design scheme has been reached through a 3 month process of design and consultation involving ongoing feedback amongst structural engineers, designers, quantity surveyors and project management.

Below are historical photos illustrating how the building used to look when it was still being used as a Horse Stable. Below that are photos of the building as it is now.

Historical photos taken prior to the properties current incarnation as a bar and restaurant:

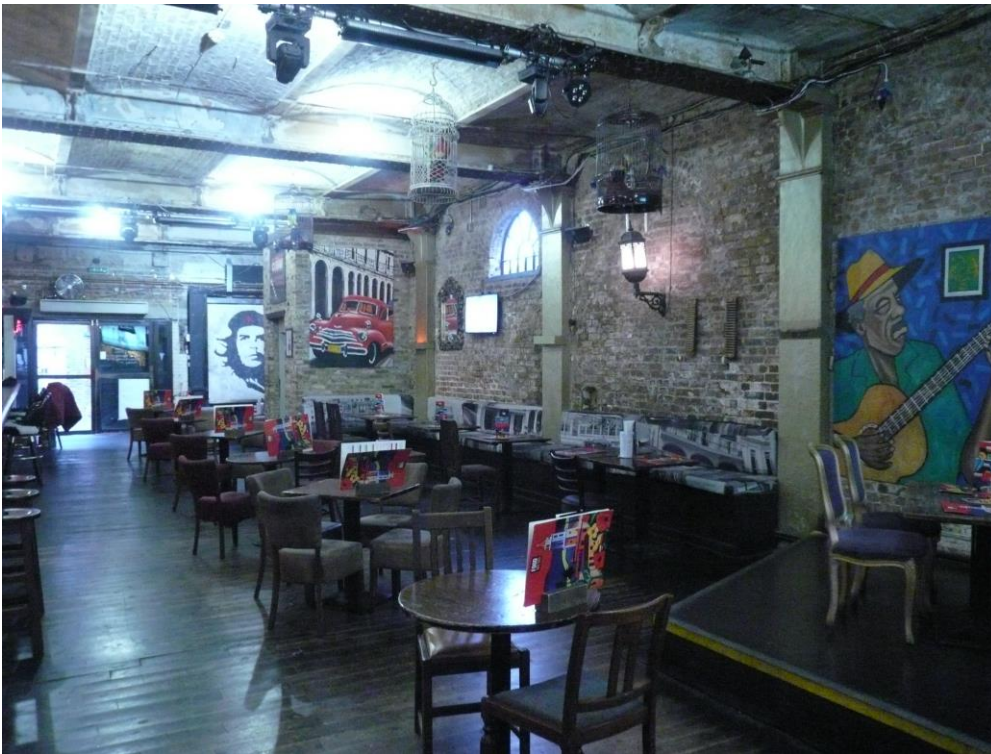


View South to bridge between Provender store (left) and Tack room



Current site photos:

Ground Floor

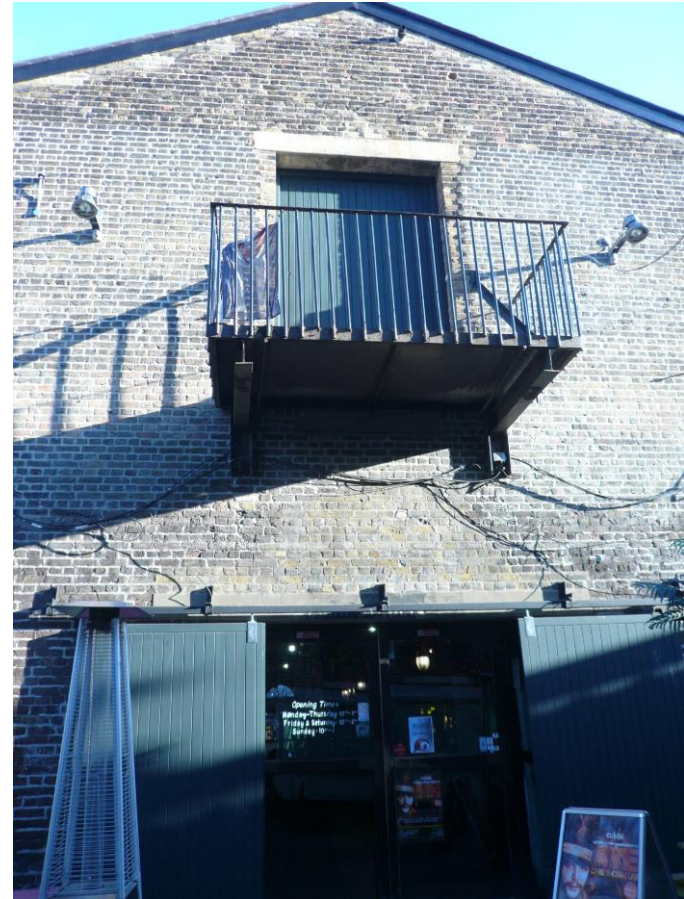




## First Floor



## External Entrance



## External Courtyard



## Amount

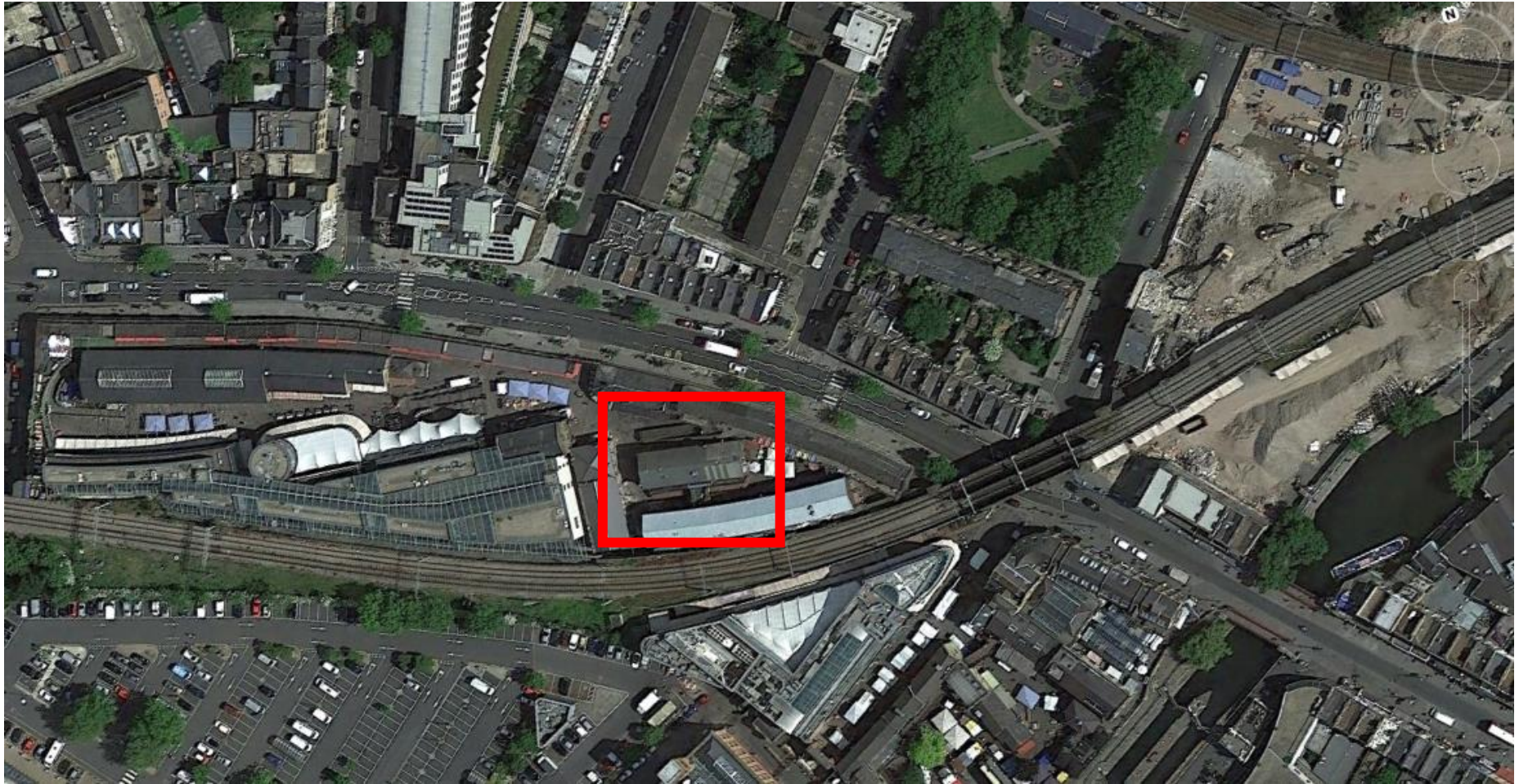
The property is located in the Camden Markets just off Chalk Farm Road. The site is Grade II listed and within a Conservation Area.

There is no intension to modify the size of the current structure and there will be no additional extensions or demolitions of the existing structure apart from two small penetrations through the structural slab for a ventilation extraction intake and outtake pipe. See image below for location – architectural drawings have also been provided for this alteration with the approval from a structural engineer. The purpose of this penetration through the structural slab, is to allow the newly proposed live kitchen on the ground floor to have safe and secured extraction of flame and fumes through to the existing First Floor kitchen ventilation above.

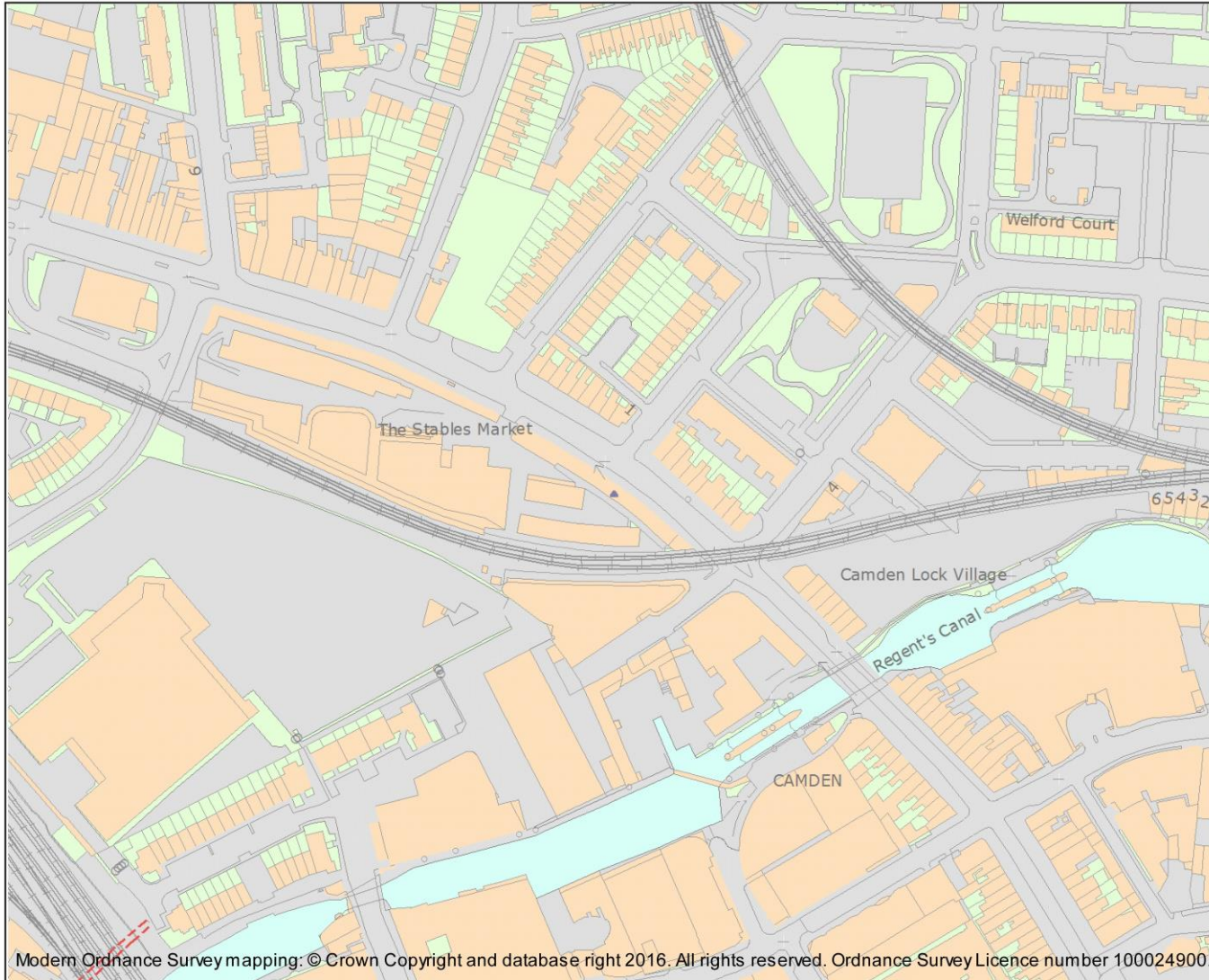


The proposed interior is general redecoration and reinstatement of historical features within the building.

## Site Outline



## Location



Modern Ordnance Survey mapping: © Crown Copyright and database right 2016. All rights reserved. Ordnance Survey Licence number 100024900.

This is an A4 sized map and should be printed full size at A4 with no page scaling set.

**Name:** STANLEY SIDINGS, STABLES TO EAST OF BONDED WAREHOUSE

<b>Heritage Category:</b>	Listing
<b>List Entry No :</b>	1258101
<b>Grade:</b>	II

<b>County:</b>	Greater London Authority
<b>District:</b>	Camden
<b>Parish:</b>	Non Civil Parish

For all entries pre-dating 4 April 2011 maps and national grid references do not form part of the official record of a listed building. In such cases the map here and the national grid reference are generated from the list entry in the official record and added later to aid identification of the principal listed building or buildings.

For all list entries made on or after 4 April 2011 the map here and the national grid reference do form part of the official record. In such cases the map and the national grid reference are to aid identification of the principal listed building or buildings only and must be read in conjunction with other information in the record.

Any object or structure fixed to the principal building or buildings and any object or structure within the curtilage of the building, which, although not fixed to the building, forms part of the land and has done so since before 1st July, 1948 is by law to be treated as part of the listed building.

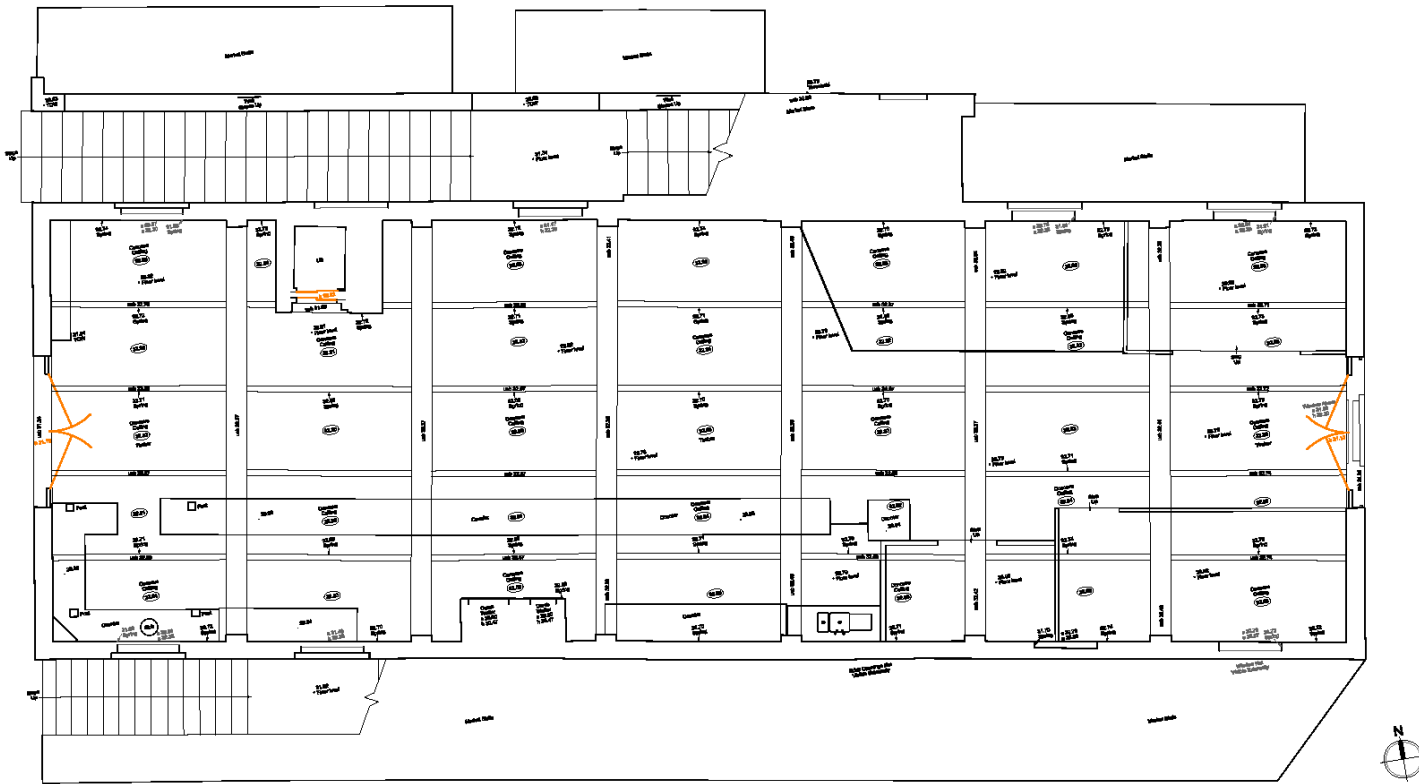
This map was delivered electronically and when printed may not be to scale and may be subject to distortions.

<b>List Entry NGR:</b>	TQ 28626 84201
<b>Map Scale:</b>	1:2500
<b>Print Date:</b>	25 January 2017



# Layout

## Existing Ground Floor layout:

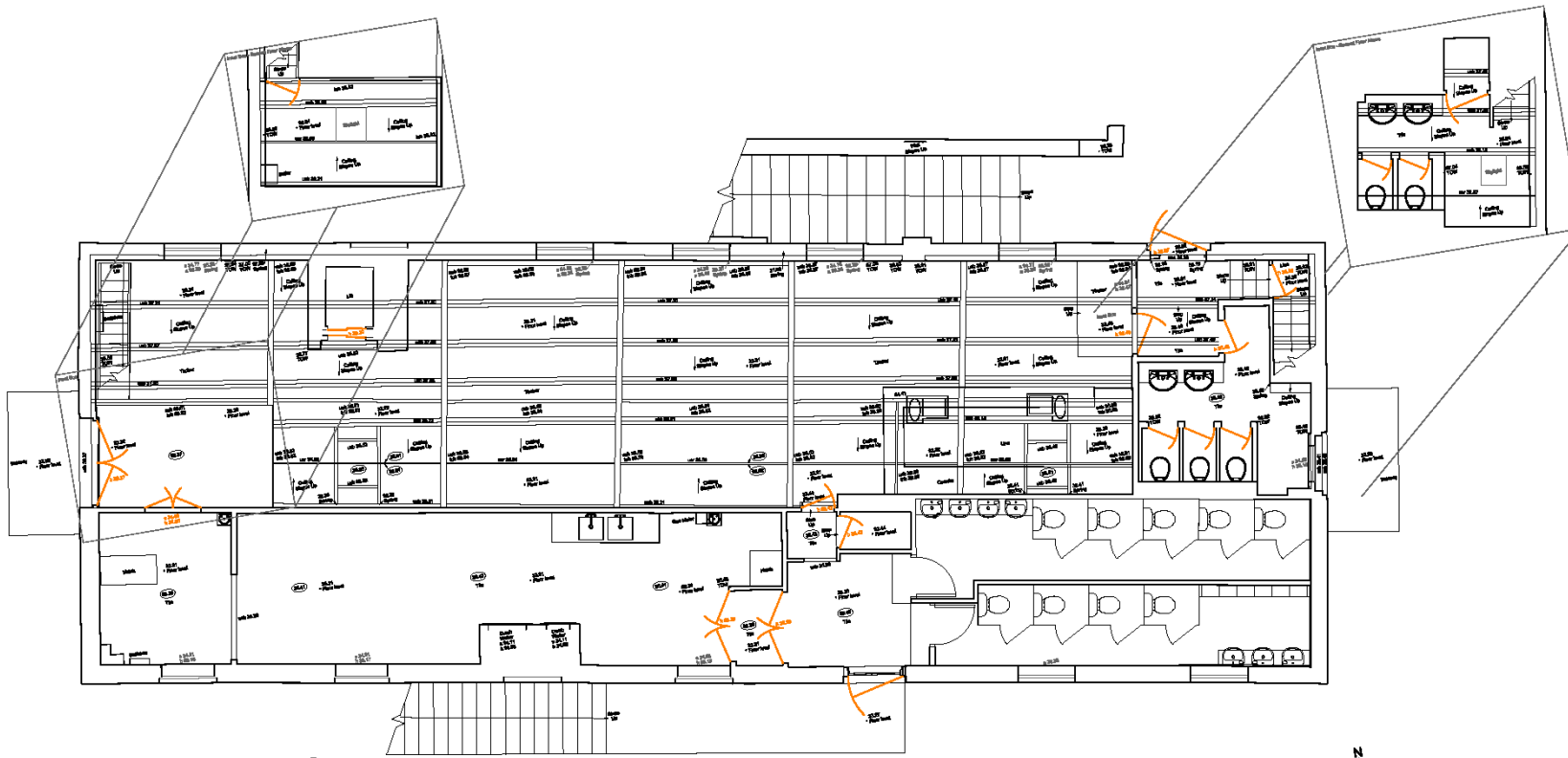


Existing Ground Floor GA  
Scale 1:50



NOTES:			
1. All drawings to be read in conjunction with Structural Engineer's details & any relevant sub-contractor's details. All works to comply with current building Regulations, British Standards & Codes of Practice.			
2. All dimensions to be checked on site prior to any work commencing.			
3. Contractor to ensure that all work meets the requirements of the BMS, Building Control, The Authority and all other statutory bodies.			
REV	BY	DATE	DESCRIPTION
<b>KEANE.</b>			
CLIENT	Roger Payne		
PROJECT	Long Stables, Camden		
DWG NAME	Existing Ground Floor Plan		
SCALE	1:50 @ A1		
DATE	Dec 2016		
JOB#	13000		
DWG#	000		
STATUS	For Approval		
CONTACT			
phil.wright@keanebrands.com			
<small>Keane Brands is a member of the Keane Group of companies. The Keane Group is a registered company limited by guarantee. All dimensions to be checked on site prior to commencement of any work or any drawings. To be used in conjunction with specifications where relevant.</small>			
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# Existing First Floor layout:



Existing First Floor GA  
Scale 1:50

NOTES:

- All drawings to be read in conjunction with Structural Engineer's details & any relevant sub-contractor's details. All works to comply with current Building Regulations, British Standards & Codes of Practice.
- All dimensions to be checked on site prior to any works commencing.
- Contractor to ensure that all work meets the requirements of the EHO, Building Control, Fire Authority and all other statutory bodies.

REV	BY	DATE	DESCRIPTION

**KEANE.**

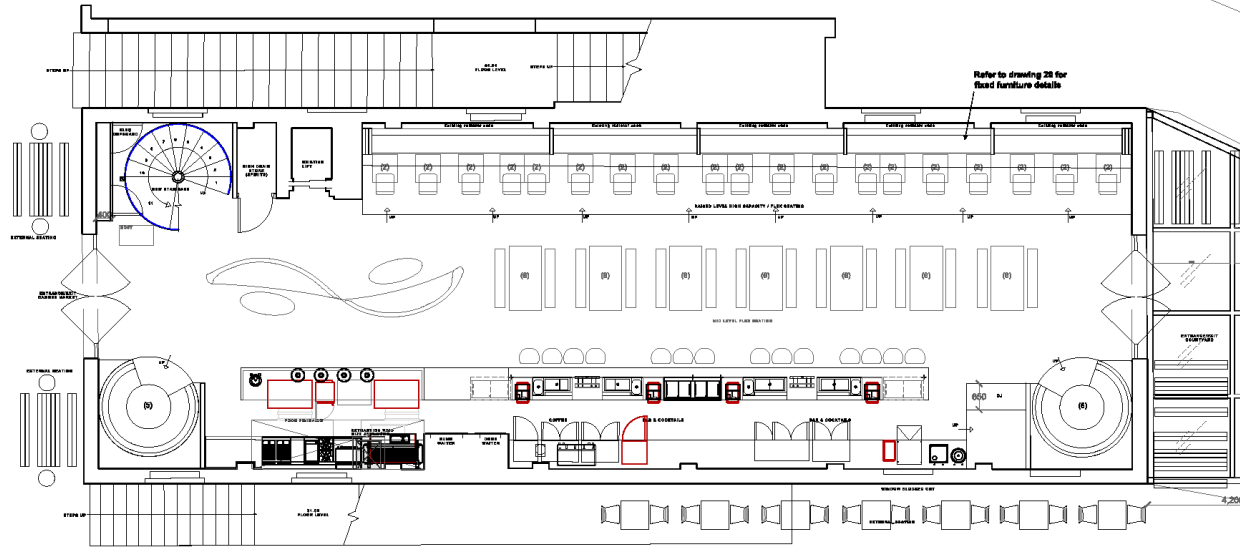
CLIENT	Triangle Restaurants
PROJECT	The Long, Camden
DRG NAME	Existing First Floor GA
SCALE	1:50 @ A1
DATE	Dec 2016
JOB#	13060
DWG#	002
STATUS	For Approval
CONTACT	phil.worft@keanebrands.com

Drawings based on available EHO and/or other relevant statutory approval. Structural dimensions take precedence over all other dimensions. All dimensions to be checked on site prior to commencement of any work or any building. To be read in conjunction with specific views referred to.

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# Proposed Ground Floor layout:



GF Proposed Plan  
Scale 1:50

**COVER COUNT**  
INTERNAL 112  
EXTERNAL 88  
TOTAL GF 200  
TOTAL FF 68  
TOTAL OVERALL 268

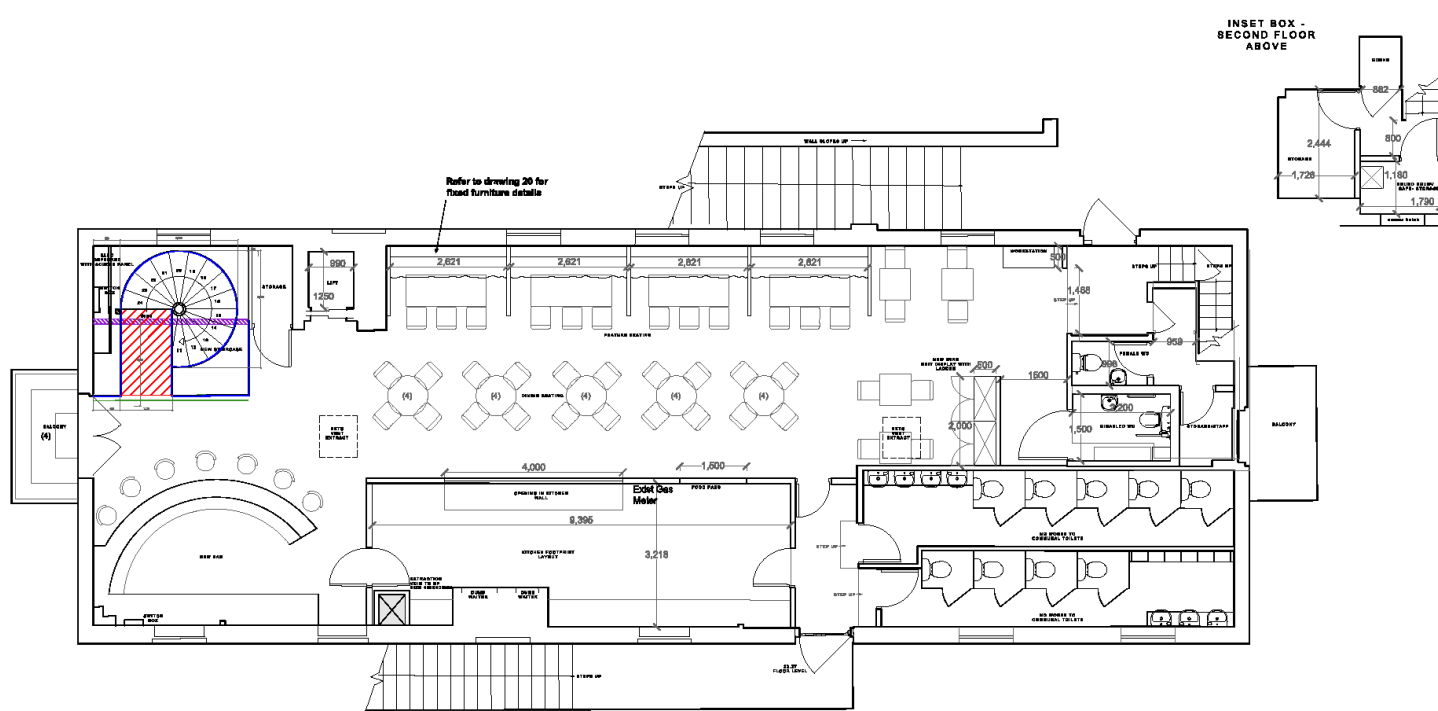
**NOTES:**

- All drawings to be read in conjunction with Structural Engineer's details & any relevant code and product's details. It is to comply with relevant Building Regulations, Fire Regulations & Codes of Practice.
- All dimensions to be checked on site prior to any works commencing.
- Contractor to ensure that all work meets the requirements of the 1992, 1997, 2002, The Authority and all other statutory orders.

G	05/12/17	Layout amended
F	05/12/17	See comments, see notes attached
E	14/11/17	DW, loose seats increased, bar reduced, count update
D	13/11/17	Loose seating repositioned, count update
C	14/11/17	PS & Loose seating repositioned, count update
B	06/12/16	STAIRCASE AMENDED

REV	BY	DATE	DESCRIPTION
<b>KEANE.</b>			
CLIENT	Tangle Restaurants		
PROJECT	LONG STABLES, CAMDEN		
DWG NAME	PROPOSED OF PLAN		
SCALE	1:50 @ A1		
DATE	DEC 2016		
JOB#	13008		
DWG#	004G		
STATUS	For Approval		
<b>CONTACT</b>			
gep.l.banks@keanebrands.com			
Drawing based on overall 1:50 and/or 1:20 or not shown in detail. All dimensions to be checked on site prior to commencement of any work or site design. To be used in conjunction with specifications when relevant.			
08/10/17/18	KEANE BRANDS.COM		

# Proposed First Floor layout:



FF Proposed Plan  
Scale 1:50

COVER COUNT  
INTERNAL 112  
EXTERNAL 88  
TOTAL OF 200  
TOTAL FF 83  
TOTAL OVERALL 283

NOTES:

1. All drawings to be read in conjunction with: Structural Engineer's details & any relevant structural engineer's details. All works to comply with current building Regulations, British Standards & Codes of Practice.
2. All dimensions to be checked on site prior to any work commencing.
3. Contractor to ensure that all work meets the requirements of the CDM, Building Control, Fire Authority and all other statutory bodies.

REV	BY	DATE	DESCRIPTION
0	GB	03/02/17	LAYOUT AMENDS
F	GB	23/01/17	INTERIOR WALLS, PARTIAL REVISIONS AMENDED
E	JB	16/01/17	KITCHEN WALL & ISLAND REDESIGNED. COVERS AMENDED
D	JB	12/01/17	WALL BEHIND WINE UNIT REMOVED
C	JB	10/01/17	BAR, KITCHEN & TABLES REV SAFE, SOUND EQ MTRX ADDED
B	GB	10/12/16	STAIRCASE AMENDED

**KEANE.**

CLIENT	Triangle Restaurants
PROJECT	LONG STABLES, CAMDEN
DRG NAME	PROPOSED FF PLAN
SCALE	1:50 @ A1
DATE	DEC 2016
JOB#	13006
DWG#	0060
STATUS	For Approval
CONTACT	gus.larsen@keanebrands.com

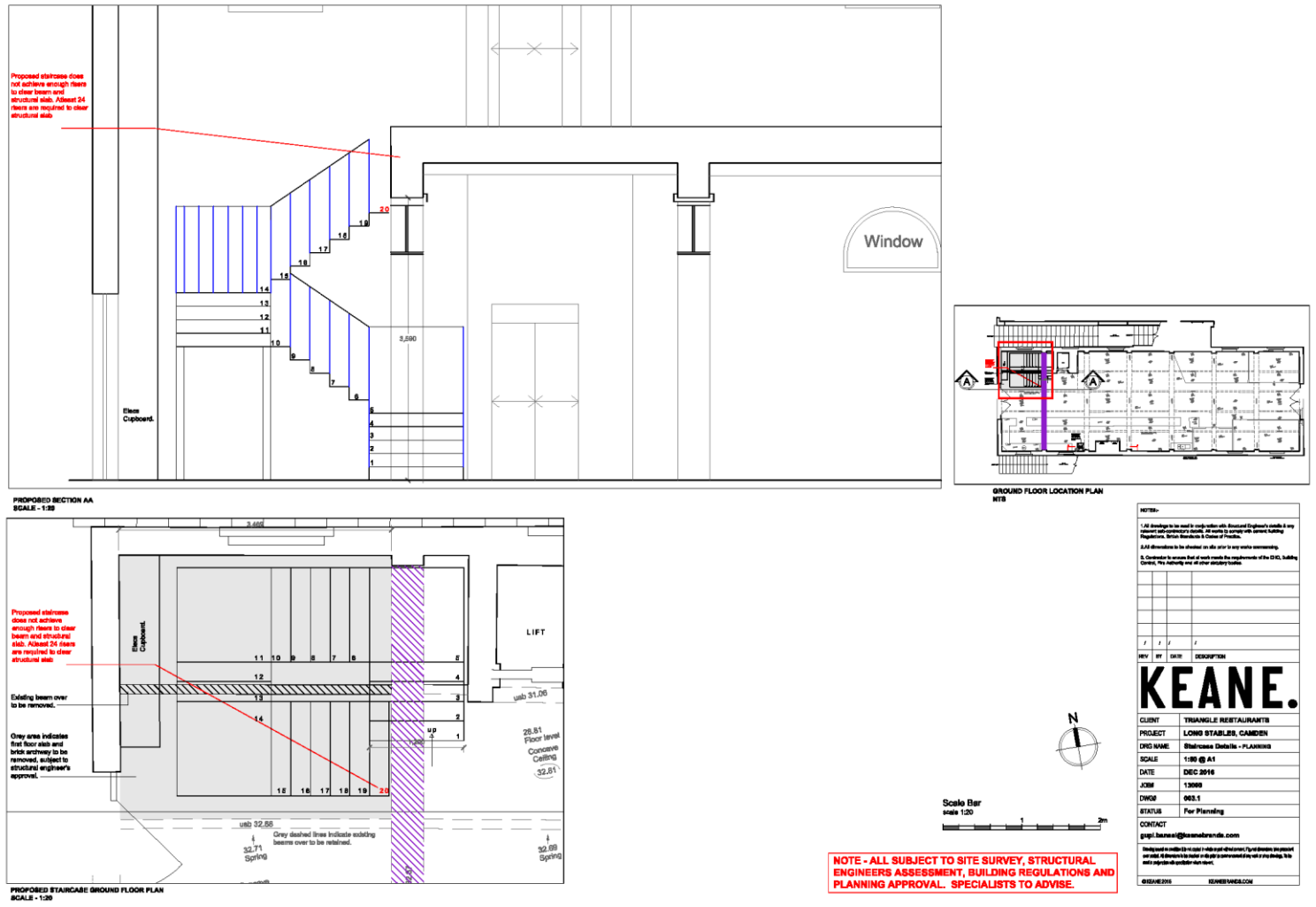
Drawing issued on condition it is not copied, reprinted or used in any way without consent. If you are not the intended recipient, please contact the sender. It is not to be used for any purpose other than that for which it was prepared. To be read in conjunction with specifications where relevant.

05/01/2019 KEANEBRANDS.COM

# Proposed Internal Staircase option 1:

See drawing below.

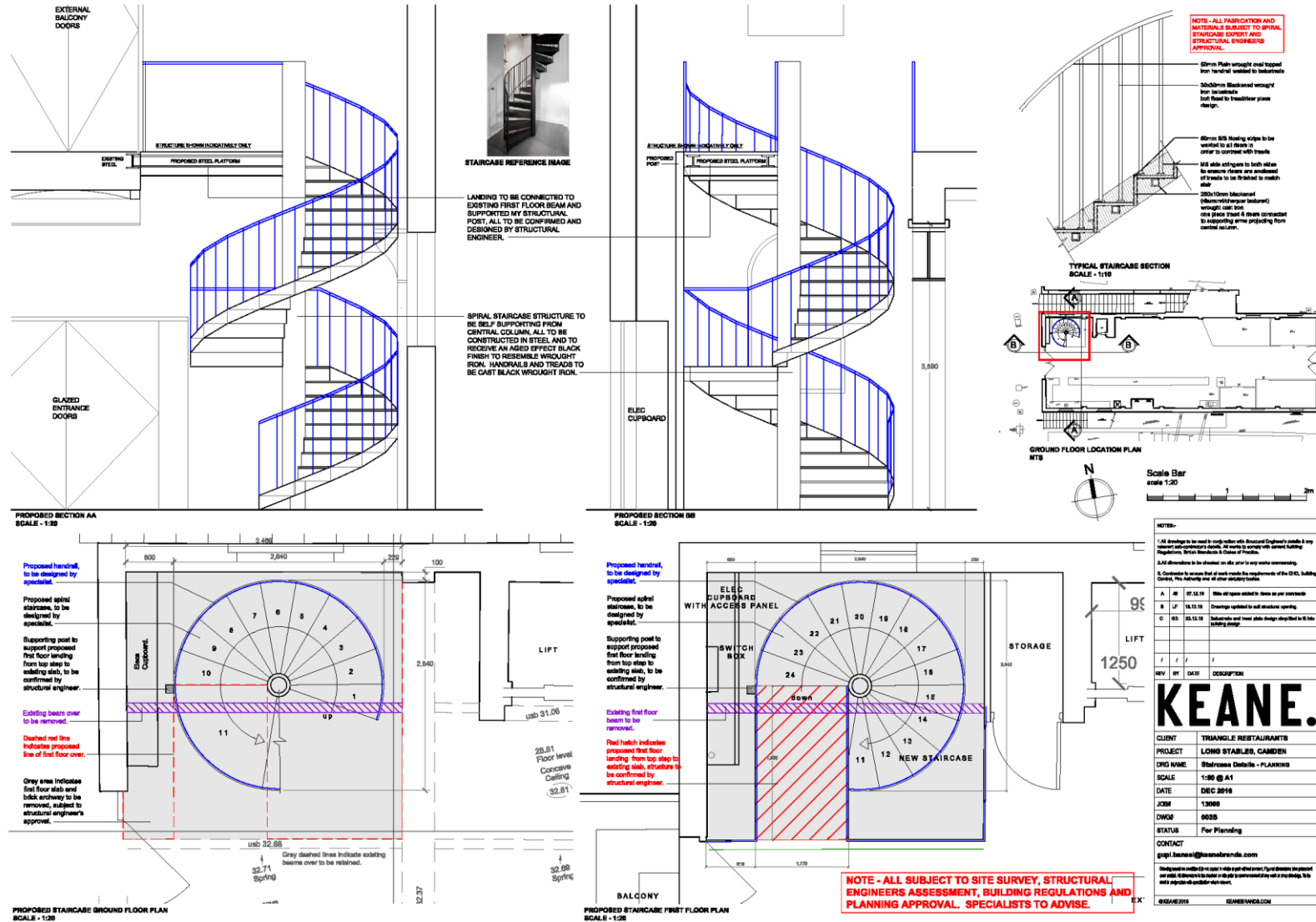
The initial idea was to propose a boxed/linear form of staircase next to the existing lift. However, there was no possible formation or layout that would work within this space with minimal impact to the structural slab between ground floor and first floor. The example below shows the best possible formation as the staircase starts from the underside of the beam, in order to achieve the maximum number of risers and still clashes with the same beam which it must clear in order for the stairs to work.



## Proposed Internal Staircase option 2:

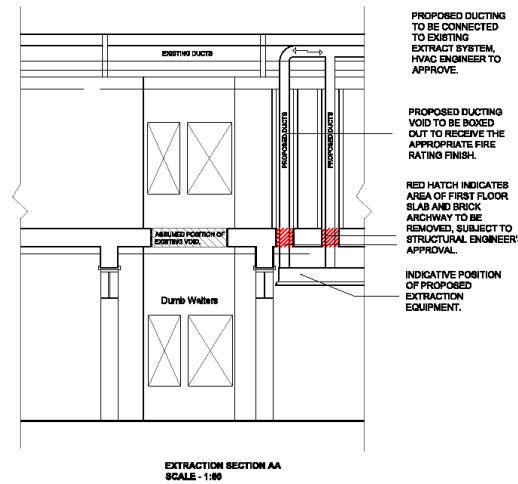
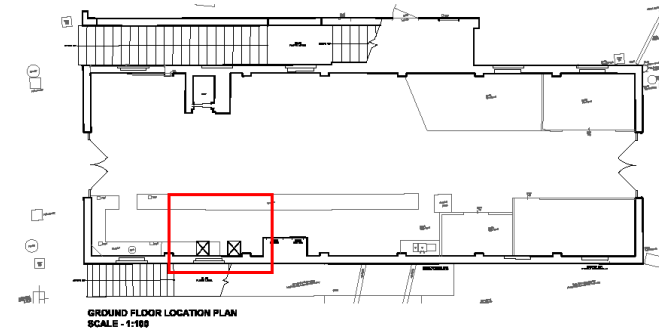
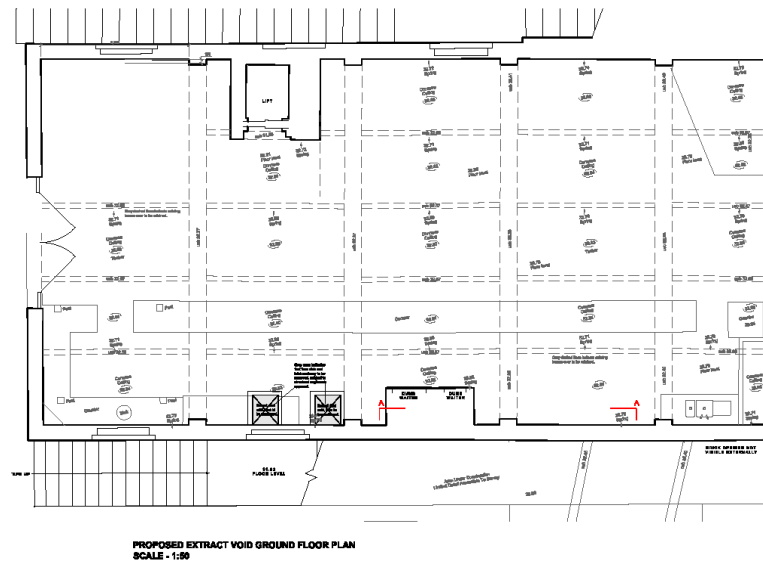
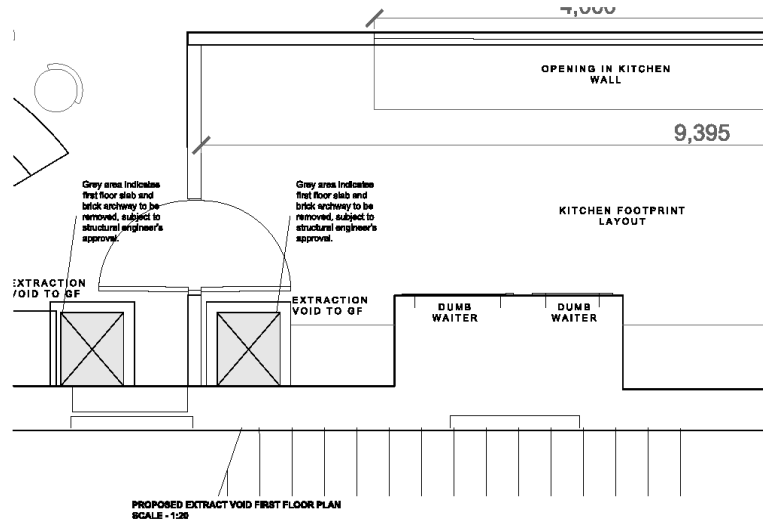
See drawing below.

Option 2 shows a spiral staircase formation which successfully works in the indicated space. A successful number of risers are achieved for the beam to be cleared and even met at the correct height. A minimal industrial design has been proposed to fit in with the architecture of the existing building.



# Proposed Extraction Details:

**NOTE - ALL SUBJECT TO SITE SURVEY, STRUCTURAL ENGINEERS ASSESSMENT, BUILDING REGULATIONS AND PLANNING APPROVAL. SPECIALISTS TO ADVISE.**



REV	BY	DATE	DESCRIPTION
D	GB	21.02.17	Duct re updated
C	GB	20.01.17	Updated following new GF kitchen location
B	LF	16.12.16	Updated following structural engineers advice.
A	LF	16.12.16	Drawn through existing structure engineers advice.

**KEANE.**

CLIENT: Triangle Restaurants  
PROJECT: LONG STABLES, CAMDEN  
DRG NAME: Extract Details - PLANNING  
SCALE: 1:50 @ A1  
DATE: DEC 2016  
JOB#: 13060  
DWG#: 887D  
STATUS: For Planning

CONTACT: gup1.keane@keanebrands.com

Design and construction of any project is subject to the relevant planning and building regulations. The client is responsible for ensuring that all necessary approvals are obtained. The client is responsible for ensuring that all necessary approvals are obtained. The client is responsible for ensuring that all necessary approvals are obtained.

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## Scale

There will be no increase or decrease in the overall size. There will be no additional extensions or demolitions proposed for the properties.

### **CURRENT SIZE OF PROPERTY (INTERNAL ONLY)**

#### **GROUND**

FOOT PRINT OF AREA = 217.5m<sup>2</sup>

#### **FIRST**

FOOT PRINT OF AREA = 187.9m<sup>2</sup>

**GROSS INTERNAL AREA (CURRENT AND PROPOSED): 811m<sup>2</sup>**

**GROSS OVERALL SIZE OF PROPERTY (INCLUDING THE GROUNDS): 992.8m<sup>2</sup>**

## Appearance

Existing:

The following is the English Heritage Listing Description of the property and gives an overview of the style and construction of the building.

Name: STANLEY SIDINGS, STABLES TO EAST OF BONDED WAREHOUSE

List entry Number: 1258101

### Location

STANLEY SIDINGS, STABLES TO EAST OF BONDED WAREHOUSE, CHALK FARM ROAD

The building may lie within the boundary of more than one authority.

County: Greater London Authority

District: Camden

District Type: London Borough

Grade: II

Date first listed: 30-Sep-1981

Date of most recent amendment: 11-Jan-1999

### CAMDEN

TQ2884SE CHALK FARM ROAD 798-1/65/193 (West side) 30/09/81 Stanley Sidings, stables to east of Bonded Warehouse  
(Formerly Listed as: CHALK FARM ROAD Former Tackroom of Railway Stables, to east of Bonded Warehouse)

### GV II

Four blocks of industrial stabling, now workshops and warehousing. c1855-1870, with later Victorian additions. For the London and North-Western Railway Company's Camden Goods Yard. Stock brick, with hipped slate roofs, some stone lintels. Some iron columns internally, but floors and roofs generally of timber. EXTERIOR: mostly of 2 storeys. Northernmost block (A) abutting on Chalk Farm Road, c1855, with upper storey of c1895. Long curved front road, mostly of 2 storeys with eaves cornice but western end of one and a half storeys, somewhat altered, with chimney on roof. Round-headed half windows for stabling on ground storey, segment-headed

industrial windows in upper storey (eastern end only). Elevation towards yard irregular. Eastern portion has cantilevered open balcony at first-floor level retaining some concrete horse troughs and connected by bridge to Block B and separately to ramp on Block C. Ceilings of ground storey have jack-arch iron and brick construction. INTERIOR of upper storey has separate compartments and paving for horses but no stalls. Block B immediately to north of North London railway line. 3 storeys. Ground storey c1868, originally provender store, with round-headed half-windows for stabling on long elevations; upper storeys c1881, with round-headed windows at first-floor level and segment-headed windows above. Tiers of loft openings for hoists, much altered and renewed. Connected by narrow bridge at east end to Block A. Block C between Blocks A and B and parallel to Block B. 2 storeys. Ground storey c1868, upper provender store, with round-headed half-windows for stabling on long elevations; upper storeys c1881, with round-headed windows at first-floor level and segment-headed windows above. Tiers of loft openings for hoists, much altered and renewed. Connected by narrow bridge at east end to Block A. Block C between Blocks A and B and parallel to Block B. 2

storeys. Ground storey c1868, upper storey 1881; horse ramp on north side of block c1895, connected with balcony on Block A. Round-headed windows on ground storey, segment-headed industrial windows above on both north and south sides. South side formerly had another horse ramp, of 1881, and covered bridge connecting with Block B, demolished in 1980s. Ground storey has iron and brick jack-arch construction and iron stanchions against walls stamped 'Norton and Son Darlaston'. Block D at right-angles and to west of Blocks B and C. 2 storeys. Ground storey c1868, upper storey c1881. Main elevation faces eastwards, with return northwards. Round-headed half-windows for stabling at ground level, some segment-headed sash windows above. Tall brick chimneys. INTERIOR with original timber benching, one timber partition and some harness hooks. Said to have been formerly the Tack Room for the stabling. Formerly connected by a bridge at south end to Block B. Included as a rare example of substantial industrial stabling and a major surviving portion of the former Camden Goods Yard. Forms a group with the 'Horse Hospital' to north-west (qv) and with further remnants of stabling and warehouses west of Block D (qv). A tunnel (now blocked) south of the North London line connects the complex with further LNWR buildings and the Regent's Canal south of the North London Line.

Listing NGR: TQ2862684201

Source:

<https://historicengland.org.uk/listing/the-list/list-entry/1258101>



Proposed Appearance:

The intention is to keep the structure largely unchanged. Externally the intention is to restore and repair the main character of the building where required.

Any damaged existing stone will be reused or replaced with like for like where possible.

On the interior all original features will be maintained where possible and where we intend to highlight them and make them the main character features of the scheme.

All brick walls are to be retained and repaired where necessary. Any newly built partition walls will be treated to match the style and characteristics of the existing building.

All flooring is intended to be placed on battens on the ground floor to protect existing cobble underneath.

## **Access**

The property is located off Chalk Farm Road in Camden Town which allows for excellent transport links, vehicle and pedestrian access. The access to the building is currently very good and remains unaffected by any of the proposed works.

Access around the building is also currently very good and will remain so as the general layout will not be altered significantly.

## **General Guidance for Building Users**

### **Disability Discrimination Act**

This Access Statement should be kept on the premises to assist in any check on access provision. It may be particularly useful in relation to any queries by individuals as to whether there are aspects of the building that cause difficulties in relation to the Disability Discrimination Act (DDA). The Access Statement refers to the status of the building in relation to Building Regulations and the British Standard which tend to be referred to in any question of reasonableness under the DDA.