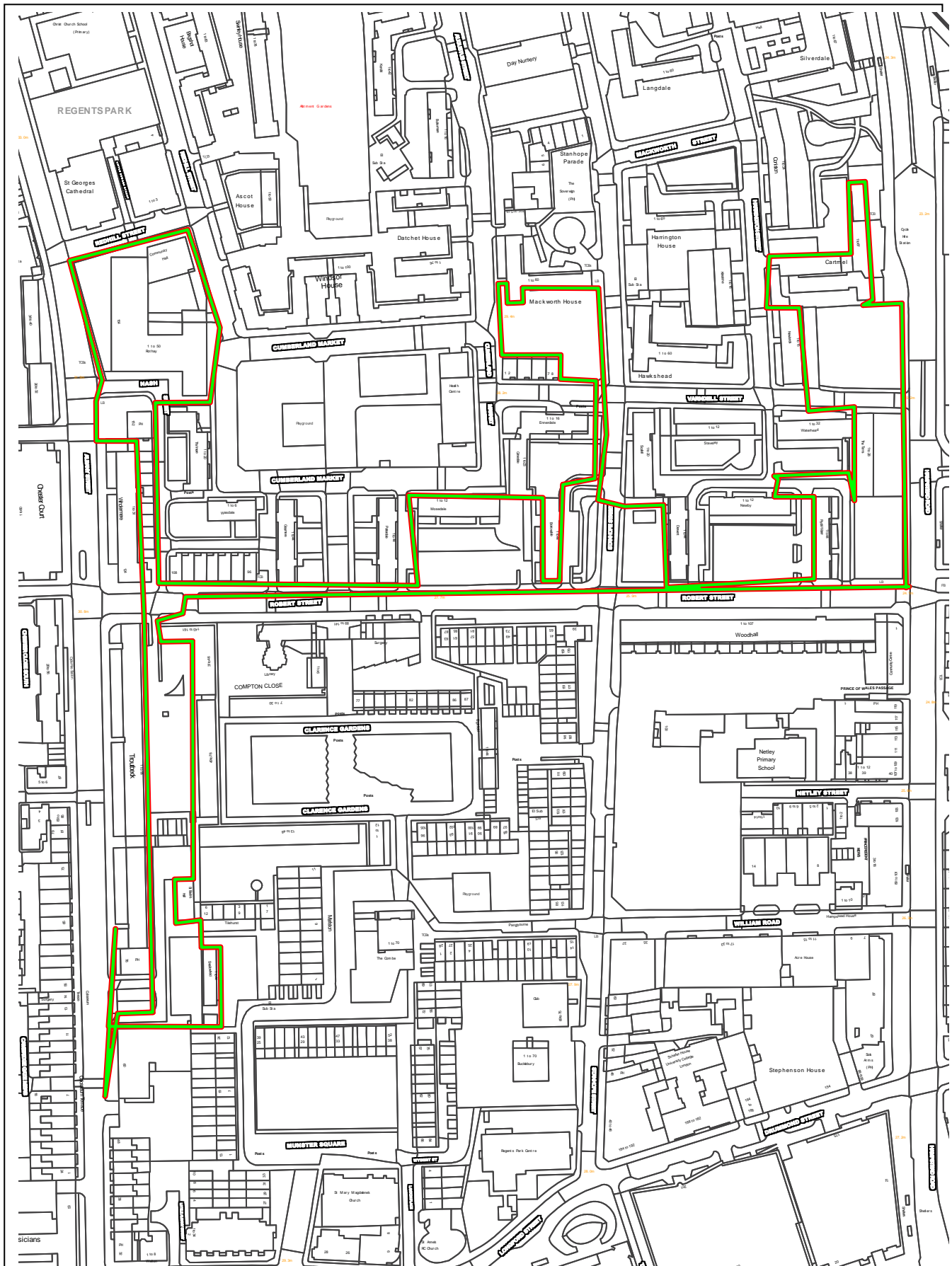


2016/4901/P – Regent's Park Estate



Delegated Report		Analysis sheet	Expiry Date:	04/10/2016
(Members Briefing)		N/A / attached	Consultation Expiry Date:	30/09/2016
Officer			Application Number(s)	
Seonaid Carr			2016/4901/P	
Application Address			Drawing Numbers	
Regent's Park Estate Robert Street London NW1			See draft decision notice	
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature	
Proposal(s)				
Variation of condition 43 (Provision of community centre) and removal of condition 37 (Servicing and Vehicle Management Plan) of planning permission 2015/3076/P dated 09/12/2015 (for two-phased mixed use development to provide 116 residential units (Class C3), community facility (Class D1) and retail and commercial space (Class A1/A3/A4) across 8 plots including on green/open space in plots 2,3,4), namely to allow for the demolition of the Victory Public House prior to the occupation of the new Community centre at the Robert Street Car Park block.				
Recommendation(s):		Granted Variation of Condition and Removal of condition		
Application Type:		Variation and Removal of Condition(s)		

Conditions or Reasons for Refusal:	Refer to Draft Decision Notice					
Informatives:						
Consultations						
Adjoining Occupiers:	No. notified	00	No. of responses	01	No. of objections	01
			No. Electronic	01		
Summary of consultation responses:	<p>Site notices were displayed on 09 September 2016 expiring 30 September 2016.</p> <p>One objection has been received as below:</p> <ul style="list-style-type: none"> • I believe in creating this new structure and dwellings will have a significant impact on the standard of living in the area. • This will create in my view overcrowding and cause a lot of noise pollution. • I don't think this area is suitable for such a venture. We already have issues with vandalism, graffiti, drugs use etc, the area should be left as it is. <p>Officer Response:</p> <p><i>The current application is seeking amendments to an approved scheme. The comments above were addressed as part of the originally approved application and this subsequent application would not impact on the points raised above, given that it is regarding the timing of the development and the servicing management plan.</i></p>					
CAAC/Local groups comments:	N/A					

Site Description

The Regent's Park Estate is located between Hampstead Road and Albany Street, which run in a northerly direction from Central London to Camden Town. Regent's Park Estate is not located within a Conservation Area; however the Regent's Park Conservation Area bounds the estate to the west along Albany Street and the north along part of Redhill Street.

Relevant History

2015/3076/P – pp granted 09/12/16. Two-phased mixed use development to provide 116 residential units (Class C3), community facility (Class D1) and retail and commercial space (Class A1/A3/A4) across 8 plots including on green/open space in plots 2,3,4. Development would range from 3 to 11 storeys in height, with associated landscape and public realm works, reorganisation of car parking and associated infrastructure works, following demolition of Dick Collins Hall, Victory Public House, and the Cape of Good Hope Public House. All in association with High Speed 2 proposals.

Relevant policies

National Planning Policy Framework 2012

The London Plan 2016

LDF Core Strategy and Development Policies 2010

CS5 Managing the impact of growth and development

CS10 Supporting community facilities and services

CS11 Promoting sustainable and efficient travel

CS19 Delivering and monitoring the Core Strategy

DP13 Employment sites and premises

DP15 Community and leisure uses

DP16 The transport implications of development

DP17 Walking, cycling and public transport

DP26 Managing the impact of development on occupiers and neighbours

Camden Planning Guidance (2011/2013)

CPG6 Amenity

CPG7 Transport

Camden Local Plan Submission Draft 2016

The emerging Camden Local Plan is reaching the final stages of its public examination. Consultation on proposed modifications to the Submission Draft Local Plan began on 30 January and ends on 13 March 2017. The modifications have been proposed in response to Inspector's comments during the examination and seek to ensure that the Inspector can find the plan 'sound' subject to the modifications being made to the Plan. The Local Plan at this stage is a material consideration in decision making, but pending publication of the Inspector's report into the examination only has limited weight.

Policies-

A1 Managing the impact of development

C2 Community facilities, culture and leisure

E2 Employment premises and sites

T1 Prioritising walking, cycling and public transport

T4 Promoting the sustainable movement of goods and materials

DM1 Delivery and monitoring

Assessment

1. Proposal

1.1 The current application is seeking to amend condition 43 of the original consent and remove condition 37. Given the parent application is a Council-own development, all clauses which would normally be subject to a Section 106 legal agreement are secured via condition with an associated Shadow Section 106 legal agreement. Both conditions 37 and 43 are matters which are secured both via condition and the Shadow Section 106 legal agreement.

Variation of condition 43

1.2 Condition 43 secures the provision of the Community Centre within the Robert Street Car Park prior to the commencement of Phase 2 of the development. The applicant is now seeking to amend the wording of the condition to allow for the demolition of the Victory Public House (within phase 2) ahead of the provision of the Community Centre within the Robert Street Car Park.

1.3 The condition would be amended from

Prior to commencement of implementation of phase 2, the community facility located to the ground floor of the proposed Robert Street Car Park block shall be completed and shall be made available for occupation and use as a high quality and readily accessible community facility available and retained for the benefit of and use by the local communities.

To

Prior to commencement of implementation of phase 2 (with the exception of the demolition of the Victory Public House), the community facility located to the ground floor of the proposed Robert Street Car Park block shall be completed and made available for occupation and use as a high quality and readily accessible community facility available and retained for the benefit of and use by the local communities.

Removal of condition 37

1.4 Condition 37 requires a Servicing Management Plan to be submitted to and approved by the Council. It is noted within paragraph 6.107 of the officer report that the impact of movement of goods and materials is considered minimal and no further information is required to meet the requirements of DP20 in connection of servicing. Therefore the applicant is applying to remove this condition as it is not required and was imposed in error.

2. Assessment

Variation of condition 43

2.1 The parent planning application was formed of eight sites, with two phases of development. Phase 1 sites consist of the Robert Street Car Park, Rydal Water, Vardell Street Corner, Newlands, Cape of Good Hope and St Bede's and phase 2 sites are Dick Collins Hall and The Victory Public House.

2.2 At present there is a community facility provided within Dick Collins Hall; the application would provide a new community facility within the new building at the Robert Street Car Park site. The purpose of condition 43 was to secure the provision of the new community facility within the Robert Street Car Park site before closure of the existing community facility within Dick Collins Hall.

2.3 The applicant is currently on site with Phase 1 and would like to commence demolition of the Victory Public House. However condition 43 would not allow for this until the community facility within the Robert Street Car Park site was completed. Therefore the applicant has requested the amendment to allow the demolition of the Victory Public House to avoid any potential

adverse effects towards the existing building, including it potentially being misused as it is currently vacant, its internal structure and the overall amenity of Regent's Park Estate.

2.4 Within the Committee Report for the parent application, paragraph 6.12 notes that the replacement facility should be in situ ahead of the closure of the Dick Collins Hall. The purpose of this was to ensure the local community would not be without a community facility at any time. It is considered that, in allowing the demolition of the Victory Pub before the other works in Phase 2 have commenced, the amendment would be in keeping with the reasoning for the condition and would still secure the provision of the Community Facility ahead of any other works starting on Phase 2. Given the reasoning for the condition would still be attained with the proposed amendment, it is considered there would be no harm caused in allowing for the demolition of the Victory Public House ahead of the provision of the Community Centre.

2.5 In light of the above, no objection is raised to the proposed amendment.

Removal of condition 37

2.6 As noted in paragraph 1.4 above, it is noted within the Committee report that no further information with regard to Servicing was required, given the size of the commercial units. The condition was added to the decision in error. Therefore no objection is raised to its removal.

3. Conclusion

3.1 The proposed amendments are in general accordance with policies CS10 of the London Borough of Camden Local Development Framework Core Strategy, and policies DP13 and DP15 of the London Borough of Camden Local Development Framework Development Policies.

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 6th March 2017, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

Mr Senan Seaton Kelly
Tibbalds Planning and Urban Design
19 Maltings Place
169 Tower Bridge Road
London
SE1 3JB

Application Ref: **2016/4901/P**
Please ask for: **Seonaid Carr**
Telephone: 020 7974 **2766**

1 March 2017

DRAFT

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Variation or Removal of Condition(s) Granted

Address:
Regent's Park Estate
Robert Street
London
NW1

DECISION

Proposal:

Variation of condition 43 (Provision of community centre) and removal of condition 37 (Servicing and Vehicle Management Plan) of planning permission 2015/3076/P dated 09/12/2015 (for two-phased mixed use development to provide 116 residential units (Class C3), community facility (Class D1) and retail and commercial space (Class A1/A3/A4) across 8 plots including on green/open space in plots 2,3,4), namely to allow for the demolition of the Victory Public House prior to the occupation of the new Community centre at the Robert Street Car Park block.

Drawing Nos: Letter from Tibbalds dated 01 August 2016

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

Executive Director Supporting Communities



- 1 The development hereby permitted must be begun not later than the end of three years from the date of the original planning permission ref 2015/3076/P dated 09/12/2015.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans:

Drawing Numbers: 5436/5.4/01; P1-001; P1-100 revA; P1-101 revA; P1-102; P1-103; P1-104; P1-105; P1-106; P1-201; P1-202; P1-301; P1-302; P1-303; P1-304; P1-401; P1-402; P3-001; P3-100 revA; P3-101 revA; P3-102; P3-103; P3-104; P3-105; P3-106; P3-107; P3-201; P3-301; P3-302; P3-303; P3-304; P3-401; P3-402; P5-001; P5-100 revA; P5-101 revA; P5-102; P5-103; P5-104; P5-105; P5-106; P5-201; P5-202; P5-301; P5-302; P5-303; P5-304; P5-401; P5-402; 1050 revA; 1120; 1121; 1122; 1123; 1150 revA; 1199; 1200 revA; 1201; 1202; 1203; 1204; 1205; 1220 revA; 1221; 1222; 1223; 1251; 2050; 2120; 2121; 2122; 2123; 2200; 2201; 2202; 2203; 2220; 2221; 2222; 2223; 2250; 3050; 3120; 3121; 3122; 3150; 3199; 3200 revA; 3201; 3202; 3203; 3204 revA; 3205 revA; 3206; 3220 revA; 3221 revA; 3222 revA; 3223 revA; 3250 revA; 3251 revA; 4050 revA; 4120; 4121; 4122; 4123; 4150 revA; 4200 revA; 4201; 4202; 4203; 4204; 4205; 4206; 4207; 4220 revA; 4221 revA; 4222 revA; 4223 revA; 4250 revA; 4251 revA; 4252 revA; 5050 revA; 5120; 5121; 5122; 5123; 5150 revA; 5200 revA; 5201; 5202 revA; 5203; 5204 revA; 5205; 5206 revA; 5207; 5208; 5209; 5210; 5211; 5220 revA; 5221 revA; 5222 revA; 5223 revA; 5250; 5251 revA; 5252 revA; 114 RPE S1 001; 114 RPE S1 100 revB; 114 RPE S1 101; 114 RPE S1 102; 114 RPE S1 103; 114 RPE S1 104; 114 RPE S1 105; 114 RPE S1 001; 114 RPE S2 100 revA; 114 RPE S2 101; 114 RPE S3 001; 114 RPE S3 100 revB; 114 RPE S3 101; 114 RPE S3 102; 114 RPE S3 103; 114 RPE S4 001; 114 RPE S4 100 revB; 114 RPE S4 101; 114 RPE S4 102; 114 RPE S4 103; 114 RPE S4 104; 114 RPE S4 105; 114 RPE S5 001; 114 RPE S5 100 revB; 114 RPE S5 101; 114 RPE S5 102; 114 RPE S6 001; 114 RPE S6 100 revA; 114 RPE S6 101; 114 RPE S6 102; 114 RPE S8 001; 114 RPE S8 100 revB; 114 RPE S8 101; 114 RPE S9 001; 114 RPE S9 100 revA; 114 RPE S9 101; 114 RPE M1 001; 114 RPE M1 100 revB; 114 RPE M1 101; 114 RPE M1 102; 114 RPE M2 001; 114 RPE M2 100 revB; 114 RPE M2 101; 114 RPE M3 001; 114 RPE M3 100 revA; 114 RPE M3 101 revA; 114 RPE M3 102; 114 RPE M3 103; 114 RPE M3 104; 114 RPE M3 105; 114 RPE M3 106; 114 RPE GI 100; 114 RPE GI 200; 114 RPE GI 201; 114 RPE GI 300; 114 RPE GI 400; 114 RPE GI 500; 114 RPE GI 600; 114 RPE GI 700; 114 RPE GI 701 and 114 RPE GI 800.

Supporting Documents: Planning and Design and Access Statement, May 2015, Tibbalds Planning and Urban design, Matthew Lloyd Architects, Mae and East; Transport Assessment, May 2015, Campbell Reith; Heritage Statement, May 2015, Tibbalds Planning and Urban Design; Archaeological Statement, May 2015, Campbell Reith and Oxford Archaeology; Air Quality Statement, May 2015, Campbell Reith and Air Quality Consultants; Land Quality Statement, May 2015, Campbell Reith; Energy and Sustainability Statement, May 2015, TGA Engineers; Daylight and Sunlight Assessment (neighbouring properties), May 2015, Right of Light Consulting; Daylight and Sunlight Assessment (within development), May

2015, Right of Light Consulting; Ecology Statement, May 2015, Campbell Reith and Thomson Ecology; Noise and Vibration Assessment, May 2015, Campbell Reith and Accon UK Environmental Consultants; Flood Risk Assessment, May 2015, Campbell Reith; Outline Construction Management Plan, May 2015, Campbell Reith; Basement Impact Assessment, May 2015, Campbell Reith and Tree Survey and Arboricultural Impact Assessment, May 2015, Campbell Reith and Thomson Ecology.

Reason: For the avoidance of doubt and in the interest of proper planning.

- 3 Notwithstanding the provisions of Class D of the Schedule of the Town and Country Planning (Use Classes) Order, 1987, or any provision equivalent to that Class in any statutory instrument revoking and re-enacting that Order, the premises indicated for D1 use to the ground floor of the Robert Street Car Park site shall not be used for any other purpose in Class D1 other than to provide community facility for the use of the local communities.

Reason: To ensure the acceptable impact of the non-residential institutional uses on the amenity of neighbours and local transport conditions in accordance with Policy CS10 of the London Borough of Camden Local Development Framework Core Strategy and policy DP15, DP16 and DP26 of the London Borough of Camden Local Development Framework Development Policies.

- 4 The shop front windows to the commercial units shall be used for display purposes and the window glass must not be painted or obscured.

Reason: To safeguard the appearance of the premises and the character of the immediate area and to prevent the introduction of dead frontages within the development in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policies DP24 and DP25 of the London Borough of Camden Local Development Framework Development Policies.

- 5 No flat roofs within the development shall be used as terraces without the prior express approval in writing of the Local Planning Authority.

Reason: To safeguard the amenities of the future occupiers and adjoining neighbours in accordance with the requirements of policy CS5 of the London Borough of Camden Local Development Framework Core Strategy and policy DP26 of the London Borough of Camden Local Development Framework Development Policies.

- 6 Prior to commencement of any phase other than site clearance & preparation, relocation of services, utilities and public infrastructure and demolition, a community safety statement setting out details of security measures to all buildings and the public realm within the phase, including external lighting, CCTV, basement security measures, lighting to entrance areas, control of access points and other related controls and measures shall be submitted to the local planning authority. No part of the relevant phase shall be occupied until such time as the local authority has approved the community safety statement in writing.

The development shall be carried out in accordance with any such approved measures and shall be thereafter maintained.

Reason: To ensure that suitable measures are taken in respect of security of the site, in accordance with the requirements of policy CS17 of the London Borough of Camden Local Development Framework Core Strategy.

- 7 Prior to commencement of the relevant part of the development of any phase other than site clearance & preparation, relocation of services, utilities and public infrastructure and demolition, a tree schedule shall be submitted to and approved in writing by the Local Planning Authority. The tree schedule shall include details of replacement tree planting including replanting species, position, date, size and details of when trees shall be replanted. Tree planting shall then be implemented in accordance with the approved details.

Reason: To ensure that the development achieves a high quality of landscaping which contributes to the visual amenity and character of the area, in accordance with the requirements of policies CS14, CS15 of the London Borough of Camden Local Development Framework Core Strategy and policy DP24 of the London Borough of Camden Local Development Framework Development Policies.

- 8 Prior to commencement of works on the Victory Public House site, details shall be submitted to and approved in writing by the Council, of the sound insulation of the floor/ ceiling/ walls separating the commercial part(s) of the premises from any noise sensitive premises. Details shall demonstrate that the sound insulation value $D_{nT,w}$ and $L'_{nT,w}$ is enhanced by at least 10dB above the Building Regulations value and, where necessary, additional mitigation measures are implemented to contain commercial noise within the commercial premises and to achieve the noise criteria of BS8233:2014 within noise sensitive premises. Approved details shall be implemented prior to occupation of the development and thereafter be permanently retained.

Reason: To ensure that the amenity of occupiers of the development site/ adjacent dwellings/ noise sensitive premises is not adversely affected by noise as required by policies CS5 of the London Borough of Camden Local Development Framework Core Strategy and DP26 of the London Borough of Camden Local Development Framework Development Policies.

- 9 No music shall be played on any of the commercial premises in such a way as to be audible within any adjoining premises.

Reason: To safeguard the amenities of the adjoining premises and the area generally in accordance with the requirements of policies CS5 and CS7 of the London Borough of Camden Local Development Framework Core Strategy and policy DP26 and DP12 of the London Borough of Camden Local Development Framework Development Policies.

- 10 Noise levels at a point 1 metre external to sensitive facades shall be at least 5dB(A) less than the existing background measurement (LA90), expressed in

dB(A) when all plant/equipment (or any part of it) is in operation unless the plant/equipment hereby permitted will have a noise that has a distinguishable, discrete continuous note (whine, hiss, screech, hum) and/or if there are distinct impulses (bangs, clicks, clatters, thumps), then the noise levels from that piece of plant/equipment at any sensitive façade shall be at least 10dB(A) below the LA90, expressed in dB(A).

Reason: To safeguard the amenities of the [adjoining] premises [and the area generally] in accordance with the requirements of policy CS5 of the London Borough of Camden Local Development Framework Core Strategy and policies DP26 and DP28 of the London Borough of Camden Local Development Framework Development Policies.

- 11 Prior to commencement of the relevant part of the development of any phase other than site clearance & preparation, relocation of services, utilities and public infrastructure and demolition, detailed drawings, or samples of materials as appropriate, in respect of the following, shall be submitted to and approved in writing by the local planning authority:

a) Details including sections at 1:10 of all windows (including jambs, head and cill), ventilation grills, external doors and gates;

b) Plan, elevation and section drawings, including fascia, cornice, pilasters and glazing panels of the new shopfronts at a scale of 1:10;

c) Manufacturer's specification details of all facing materials (to be submitted to the Local Planning Authority) and samples of those materials (to be provided on site).

d) Brickwork (this part of condition approved under application 2016/5288/P dated 19/12/2016).

e) Detailed plans and manufacturer's specification of privacy screening to St Bede's Mews and screening system to the Victory, demonstrating height and material.

The relevant part of the works shall be carried out in accordance with the details thus approved and all approved samples shall be retained on site for duration of the relevant part of development.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policy DP24 and DP25 of the London Borough of Camden Local Development Framework Development Policies.

- 12 No lights, meter boxes, flues, vents or pipes, and no telecommunications equipment, alarm boxes, television aerials, satellite dishes or rooftop 'mansafe' rails shall be fixed or installed on the external face of the buildings, without the prior approval in writing of the local planning authority.

Reason: To safeguard the appearance of the premises and the character of the

immediate area in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policy DP24 and DP25 of the London Borough of Camden Local Development Framework Development Policies.

- 13 Prior to the occupation of St Bede's Mews and the Victory sites the privacy screening shall be implemented in full. The screening shall be permanently retained thereafter.

Reason: In order to prevent unreasonable overlooking of neighbouring premises in accordance with the requirements of policy CS5 of the London Borough of Camden Local Development Framework Core Strategy and policy DP26 of the London Borough of Camden Local Development Framework Development Policies.

- 14 Prior to commencement of the relevant part of the development of any phase other than site clearance & preparation, relocation of services, utilities and public infrastructure and demolition, details of the location, design and method of waste storage and removal including recycled materials, shall be submitted to and approved by the local planning authority in writing. The facility as approved shall be provided prior to the first occupation of any of the new units and permanently retained thereafter.

Reason: To ensure that sufficient provision for the storage and collection of waste has been made in accordance with the requirements of policy CS18 of the London Borough of Camden Local Development Framework Core Strategy and policies DP26, DP28 and DP12 [if A3/A4/A5 use] of the London Borough of Camden Local Development Framework Development Policies.

- 15 Prior to commencement of the relevant part of the development of any phase other than site clearance & preparation, relocation of services, utilities and public infrastructure and demolition, full details of hard and soft landscaping and means of enclosure of all un-built, open areas have been submitted to and approved by the local planning authority in writing. Such details shall include details of any proposed earthworks including grading, mounding and other changes in ground level, proposals for the enhancement of biodiversity, including the planting of native species, habitat to support hedgehogs, birds and bats, and pollinator planting for bees. Details of replacement hedgerows with at least an equivalent nature conservation value shall also be provided. The relevant part of the works shall not be carried out otherwise than in accordance with the details thus approved.

Reason: To ensure that the development achieves a high quality of landscaping which contributes to the visual amenity and character of the area in accordance with the requirements of policy CS14 and CS15 of the London Borough of Camden Local Development Framework Core Strategy and policy DP24 of the London Borough of Camden Local Development Framework Development Policies.

- 16 All hard and soft landscaping works relating to each site shall be carried out in accordance with the approved landscape details by not later than the end of the planting season following completion of the development of that site or any phase

of the development or prior to the occupation for the permitted use of the development of that site or any phase of the development, whichever is the sooner. Any trees or areas of planting which, within a period of 5 years from the completion of the development, die, are removed or become seriously damaged or diseased, shall be replaced as soon as is reasonably possible and, in any case, by not later than the end of the following planting season, with others of similar size and species, unless the local planning authority gives written consent to any variation.

Reason: To ensure that the landscaping is carried out within a reasonable period and to maintain a high quality of visual amenity in the scheme in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policy DP24 of the London Borough of Camden Local Development Framework Development Policies.

- 17 Noise levels in rooms of the hereby approved buildings shall meet the noise standard specified in BS8233:2014 for internal rooms and external amenity areas and predicted noise levels in report ref:11775, dated May 2015. Prior to commencement of the relevant part of the development details of the noise levels of blocks fronting Hampstead Road (Newlands site and Rydal Water site) shall be submitted to and approved in writing by the Local Planning Authority and thereafter be permanently retained.

Reason: To safeguard the amenities of the future occupiers and adjoining neighbours in accordance with the requirements of policy CS5 of the London Borough of Camden Local Development Framework Core Strategy and policy DP26 of the London Borough of Camden Local Development Framework Development Policies.

- 18 Prior to occupation of the hereby approved development, details shall be submitted to and approved in writing by the Local Planning Authority, of building vibration levels together with appropriate mitigation measures as stated in report ref: 11775, dated May 2015. Details shall demonstrate that vibration will meet a level that has low probability of adverse comment and the assessment method shall be as specified in BS 6472:2008. No part of the development shall be occupied until the approved details have been implemented. Approved details shall thereafter be permanently retained.

Reason: To safeguard the amenities of the future occupiers and adjoining neighbours in accordance with the requirements of policy CS5 of the London Borough of Camden Local Development Framework Core Strategy and policy DP26 of the London Borough of Camden Local Development Framework Development Policies.

- 19 Details (as approved under application 2016/2965/P dated 30/06/2016) of enhanced sound insulation value $D_{nT,w}$ and $L'_{nT,w}$ of at least 5dB above the Building Regulations value, between floor and ceiling separating different types of rooms in adjoining dwellings, (eg. living rooms and kitchens above bedrooms of separate dwellings) shall be implemented in accordance with the approved details or subsequently approved details prior to occupation of the development and thereafter be permanently retained.

Reason: To safeguard the amenities of the future occupiers and adjoining neighbours in accordance with the requirements of policy CS5 of the London Borough of Camden Local Development Framework Core Strategy and policy DP26 of the London Borough of Camden Local Development Framework Development Policies.

- 20 The development hereby approved shall incorporate sustainable design principles and climate change adaptation measures into the design and construction of the development in accordance with the approved sustainability statement (Energy and Sustainability Statement, May 2015, TGA consulting engineers), including but not limited to:

- Mitigation measures proposed to limit excessive solar gain to reduce the risk of overheating
- Adequate storage space for waste and recyclable materials
- Materials selection to minimise environmental impact and from a responsible source
- Green and brown roof proposals

Prior to occupation, evidence demonstrating that the approved measures have been implemented shall be submitted to and approved in writing by the Local Planning Authority and shall be retained and maintained thereafter.

Reason: To ensure the development contributes to minimising the effects of, and can adapt to a changing climate in accordance with policies CS13 (Tackling climate change through promoting higher environmental standards) and DP22 (Promoting sustainable design and construction).

- 21 The development hereby approved shall achieve a maximum internal water use of 105litres/person/day, allowing 5 litres/person/day for external water use. Prior to occupation, evidence demonstrating that this has been achieved shall be submitted to and approved by the Local Planning Authority.

Reason: To ensure the development contributes to minimising the need for further water infrastructure in an area of water stress in accordance with policies CS13 (Tackling climate change through promoting higher environmental standards), DP22 (Promoting sustainable design and construction) and DP23 (Water) of the London Borough of Camden Local Development Framework Development Policies

- 22 Prior to commencement of the superstructure construction, full details of the proposed mechanical ventilation system for each plot demonstrating that air inlet locations will be positioned away from busy roads and as close to roof level as possible should be submitted to the Local Planning Authority and approved in writing. The development shall thereafter be constructed and maintained in accordance with the approved details.

Reason: To protect the amenity of residents in accordance with CS5 of the London Borough of Camden Local Development Framework Core Strategy and policies DP26 and DP32 of the London Borough of Camden Local Development Framework Development Policies.) and London Plan policy 7.14 (Improving air quality).

- 23 Prior to commencement of any development other than site clearance & preparation, relocation of services, utilities and public infrastructure and demolition, full details of the existing and proposed surface water run off rates for the 1in1 and 1in30 and 1in100 year storm with a 30% provision for climate change and to achieve a 50% reduction in surface water run off, and a means by which flow rates will be controlled.

The details of the sustainable urban drainage system thus approved and as noted in the approved SuDs drainage report, Iesis Special Structures, July 2015 shall be installed and shall thereafter be retained and maintained in accordance with the approved maintenance plan.

Reason: To reduce the rate of surface water run-off from the buildings and limit the impact on the storm-water drainage system in accordance with policies CS13 and CS16 of the London Borough of Camden Local Development Framework Core Strategy and policies DP22, DP23 and DP32 of the London Borough of Camden Local Development Framework Development Policies.

- 24 The precautionary working approach (as approved under application 2016/2961/P dated 06/10/2016) shall be implemented in accordance with the approved details or subsequently approved details.

Reason: To ensure the development contributes towards the protection and creation of habitats and valuable areas for biodiversity in accordance with policy CS15 (Protecting and improving our parks and open spaces and encouraging biodiversity) of the London Borough of Camden Local Development Framework Core Strategy.

- 25 Details of bird and bat box locations (as approved under application 2016/1326/P dated 28/12/2016) shall be implemented in accordance with the approved details or subsequently approved details prior to occupation of the development and thereafter be permanently retained.

Reason: In order to secure appropriate features to conserve and enhance wildlife habitats and biodiversity measures within the development, in accordance with the requirements of the London Plan (Consolidated with Alterations Since 2004) and policy CS15 of the London Borough of Camden Local Development Framework Core Strategy.

- 26 Prior to commencement of the relevant part of the development of any phase other than site clearance & preparation, relocation of services, utilities and public infrastructure and demolition, full details in respect of the green and brown roof in the areas indicated on the approved roof plan in section 8.12 of the design and access statement shall be submitted to and approved by the local planning authority. The details shall include species, planting density, substrate and a section at scale 1:20 showing that adequate depth is available in terms of the construction and long term viability of the green roof, and a programme for a scheme of maintenance shall be submitted to and approved in writing by the local planning authority. The green roof shall be fully provided in accordance with the

approved details prior to first occupation and thereafter retained and maintained in accordance with the approved scheme of maintenance.

Reason: To ensure that the green roof is suitably designed and maintained and undertakes reasonable measures to take account of biodiversity and the water environment in accordance with policies CS13, CS15 and CS16 of the London Borough of Camden Local Development Framework Core Strategy and policies DP22, DP23 and DP32 of the London Borough of Camden Local Development Framework Development Policies.

- 27 The implementation of the mitigation and gained areas of open space improvements hereby approved shall be provided as follows:
- a) Albany Street landscape works provided in full prior to occupation of the Dick Collins Hall site;
 - b) Stanhope Street/Robert Street landscape works provided in full prior to occupation of the Robert Street Car Park site;
 - c) Thirlemere Garden works provided in full prior to occupation of the Victory Public House site.
 - d) Varndell Street landscape works provided in full prior to occupation of the Newlands site.
 - e) The Tarns mitigation works provided prior to occupation of Rydal Water or as soon as practically possible following completion of HS2's use of the area for their construction works.

All areas of open space shall be provided in accordance with the details approved under condition 16 and permanently maintained.

Reason: To ensure the provision of open space for future and existing residents and to maintain the character and amenity of the area in accordance with the requirements of policy CS15 of the London Borough of Camden Local Development Framework Core Strategy.

- 28 Prior to commencement of the superstructure construction, details of the layout of each cycle store and the internal configuration of cycle stands for residential units at each site shall be submitted to and approved in writing by the Local Planning Authority . Cycle storage facilities shall be secure and covered. The approved facilities shall thereafter be provided in full prior to the first occupation of any of the new units, and permanently retained thereafter.

Reason: To ensure the development provides adequate cycle parking facilities in accordance with the requirements of policy CS11 of the London Borough of Camden Local Development Framework Core Strategy and policy DP17 of the London Borough of Camden Local Development Framework Development Policies and Policy 6.9 of the London Plan (2015).

- 29 Prior to occupation of the hereby approved units, detailed of the layout of cycle stands for visitors shall be submitted to and approved in writing by the Local Planning Authority . The approved facilities shall thereafter be provided in full prior to the first occupation of any of the new units, and permanently retained thereafter.

Reason: To ensure the development provides adequate cycle parking facilities in

accordance with the requirements of policy CS11 of the London Borough of Camden Local Development Framework Core Strategy and policy DP17 of the London Borough of Camden Local Development Framework Development Policies and Policy 6.9 of the London Plan (2015).

- 30 Should it not be possible to retain T17, the following steps shall be taken:
- a) Full details of the condition of the tree shall be submitted to and approved in writing by the Local Planning Authority.
 - b) Once removal has been agreed, details of a suitable replacement tree shall be submitted to and approved in writing by the Local Planning Authority. Details shall include details of replanting species, position, date and size.
 - c) The replacement tree shall be planted in the next available planting season following the completion of construction works at the Rydall Water or should the tree be removal following the completion of Rydall Water it shall be replaced at the next available planting season.

Reason: To ensure that the development achieves a high quality of landscaping which contributes to the visual amenity and character of the area, in accordance with the requirements of policies CS14, CS15 of the London Borough of Camden Local Development Framework Core Strategy and policy DP24 of the London Borough of Camden Local Development Framework Development Policies.

- 31 Prior to occupation full details of electric vehicle charging points at Rydall Water and Victory Public House sites, and inclusion of information of these in home user guide (or similar) to mitigate exceedance of the Air Quality Neutral benchmark should be submitted to the Local Planning Authority and approved in writing. The charging points shall be installed in accordance with the approved details and thereafter maintained.

Reason: To ensure that the scheme promotes the use of sustainable transport means in accordance with policy CS11 of the London Borough of Camden Local Development Framework Core Strategy.

- 32 The lifetime homes features and facilities, as indicated on the drawings and documents hereby approved shall be provided in their entirety prior to the first occupation of any of the new residential units.

Reason: To ensure that the internal layout of the building provides flexibility for the accessibility of future occupiers and their changing needs over time, in accordance with the requirements of policy CS6 of the London Borough of Camden Local Development Framework Core Strategy and policy DP6 of the London Borough of Camden Local Development Framework Development Policies.

- 33 ** CMP

No construction activities other than site clearance and preparatory works, shall take place until a Construction Management Plan (CMP) including an Air Quality Assessment has been submitted to and approved by the local planning authority.

The CMP shall set out all measures that the Owner will adopt in undertaking the demolition of the existing buildings and the construction of the Development using good site practices in accordance with the Council's Considerate Contractor Manual.

Such plan shall include measures for ensuring highway safety and managing transport, deliveries and waste (including recycling of materials) throughout the construction period and which demonstrates consideration of and liaison with other local concurrent developments. The plan shall also include details of a community working group involving local residents and businesses, a contractor complaints/call-line and measures to be carried out to mitigate the impact of the noise arising from construction and demolition activities on local residents and businesses, a waste management strategy and means of monitoring and reviewing the plan from time to time.

The measures contained in the Construction Management Plan shall at all times remain implemented during all works of construction.

Reason: In order to protect the pedestrian environment and the amenities of the area generally and to ensure the continued free flow of traffic in the area in accordance with Policies CS5 and CS11 of the London Borough of Camden Local Development Framework Core Strategy and policies DP16, DP17 and DP26 of the London Borough of Camden Local Development Framework Development Policies.

34 ** KX working

The Owner shall use reasonable endeavours to ensure:

a) have entered into an agreement with Kings Cross Construction Skills Centre to:

- ensure that all job vacancies during the construction phases are registered with KCC at the same time as other recruitment efforts
- all reasonable endeavours are used to ensure that no less than 25% of the work force is comprised of residents of the London Borough of Camden
- that the King's Cross Construction Centre is supplied with a full labour programme for the lifetime of the Development (with six-monthly updates) and that the Council is provided with a detailed six-monthly labour return for monitoring the employment and self-employment profile of all workers

b) have entered into an agreement with the Kings Cross Construction Skills Centre (KXCSC) to ensure provision of no less than 4 construction trade apprentices employed for at least 52 weeks each

c) have demonstrated that they have worked with the Council's local procurement team to provide opportunities for Camden-based businesses to tender for the supply of goods and services during construction

d) that the Owner shall use reasonable endeavours to ensure that no less than 10 work placements shall be employed at the Development during each of

construction and occupation phases

e) that the Owner shall use reasonable endeavours to ensure that no less than 9 apprenticeship shall be employed

f) that the Owner shall use reasonable endeavours to ensure that no less than 8 school or college site visits during each of construction and occupation phases

g) that the Owner shall use reasonable endeavours to ensure that no less than 6 school or college workshops during each of construction and occupation phases

h) necessary measures to secure employment and training with apprentice shall be submitted to and approved in writing by the Local Planning Authority.

Reason: In order to define the permission and to ensure that unemployed people within the Borough of Camden have training and employment opportunities during the construction phase of major developments and to source goods and services from local businesses in accordance with policy CS8 of the London Borough of Camden Local Development Framework Core Strategy and policy DP13 of the London Borough of Camden Local Development Framework Development Policies.

35 ** Sustainability Plan

Details of the Sustainability Plan (approved under application 2016/5287/P dated 28/12/2016) shall be implemented in accordance with the approved plan or subsequently approved plan prior to occupation of the development and thereafter permanently retained.

Reason: In order to secure the appropriate energy and resource efficiency measures in accordance with the requirements of policies CS13, CS16 of the London Borough of Camden Local Development Framework Core Strategy and policy DP22, DP23 of the London Borough of Camden Local Development Framework Development Policies.

36 ** Level plans

On or prior to the Implementation Date the Owner shall submit level plans for the approval in writing by the Local Planning Authority.

Reason: To ensure that the scheme promotes the use of sustainable transport means in accordance with policy CS11 of the London Borough of Camden Local Development Framework Core Strategy.

37 **Highways Improvements

On or prior to the Implementation Date, confirmation that the necessary measures to secure highways improvements shall be submitted to and approved in writing by the Local Planning Authority.

(condition approved under application 2016/0846/P dated 26/02/2016.)

Reason: To ensure that the pedestrian environment and public realm is maintained and improved in accordance with policy CS11 of the London Borough of Camden Local Development Framework Core Strategy and policies DP17 and DP21 of the London Borough of Camden Local Development Framework Development Policies.

38 ** Local Procurement

Prior to Implementation, a programme for local procurement shall be submitted to and approved in writing by the local planning authority. The programme shall detail opportunities for local businesses to bid/tender for the provision of goods and service to the Development in accordance with the Council's Local Procurement Code and the developer shall use reasonable endeavours to provide opportunities for local businesses to bid/tender for the provision of facilities management services and other post construction supply of goods and services.

On or prior to Implementation, the developer shall meet with the Council's Economic Development Local Procurement Team (or any successor department) at least one month before tendering contracts to agree the specific steps that will be taken to give effect to the Local Procurement Code.

The construction of the Development shall not be carried out otherwise than in accordance with the approved programme for local procurement.

Reason: To ensure the development provides sufficient employment and training in line with the requirements of policy CS8 of the London Borough of Camden Local Development Framework Core Strategy and policy DP13 of the London Borough of Camden Local Development Framework Development Policies.

39 ** Energy Efficiency and renewables plan

On or prior to the Implementation Date, the developer shall submit to the Local Planning Authority for approval the Energy Efficiency and Renewable Energy Plan which shall include the following:

- (a) incorporation of measures set out in the submission document Energy and Sustainability Statement, May 2015 and addendums Letters: 'Additional Information and Clarifications on application 2015/3076/P, 6th Aug and 13th Aug from Tibbalds'
- (b) further details of how the Development's carbon emissions will be reduced by at least 25% by way of renewable energy technologies;
- (c) further details of how the approved Newlands site building would be designed to allow potential for interconnection to existing Newlands, being mindful of need to ensure efficiency of the plant serving new Newlands.
- (d) further details of how the Rydal Water site building and Newlands plant rooms

are to be future-proofed for connection to a decentralised energy network including plant room layouts demonstrating allocated space for a future heat exchanger

(d) a pre-Implementation review by an appropriately qualified and recognised independent verification body certifying that the above measures are achievable ;

(e) measures to secure a post construction review by an appropriately qualified and recognised independent verification body certifying that the above measures have been achieved and will be maintainable and

(f) identifying means of ensuring the provision of information to the Council and provision of a mechanism for review and update as required from time to time

All such measures thus demonstrated shall be secured prior to first occupation of the development and thereafter retained and maintained in accordance with the manufacturers' recommendations.

Reason: To ensure the proposal is energy efficient and sustainable in accordance with policy CS13 of the London Borough of Camden Local Development Framework Core Strategy and policy DP22 of the London Borough of Camden Local Development Framework Development Policies.

40 ** Car free

Prior to first occupation of the development hereby approved, the landowner would ensure through agreement that the occupiers of the premises are informed of the Council's policy that they shall not be entitled (unless they are the holder of a disabled person's badge issued pursuant to s. 21 of the Chronically Sick and Disabled Persons Act 1970) to be granted a Residents Parking Permit to park a vehicle in a residents parking bay, shall not be able to buy a contract permanently to park within any car park owned, controlled or licensed by the Council (with the exception of the carpark hereby approved) and nor shall they be entitled to be granted a Business Parking Permit.

Reason: In order to ensure that there is no additional parking pressure within the vicinity, in accordance with the requirements of policy CS11 of the London Borough of Camden Local Development Framework Core Strategy and policy DP18 and DP19 of the London Borough of Camden Local Development Framework Development Policies.

41 ** Affordable Housing Plan

Details of the Affordable Housing Plan (as approved under application 2016/5287/P dated 28/12/2016) shall be implemented in accordance with the approved plan. No housing development within the phase to be implemented other than in accordance with the details approved in writing by the Local Planning Authority. Prior to first occupation of the relevant building the affordable housing wheelchair units as approved shall be provided, fitted out and retained in accordance with the plans as approved.

Reason: To secure housing provision of high quality housing with a sustainable and accessible mix of unit sizes and tenures in accordance with the requirements of policy CS6 of the London Borough of Camden Local Development Framework Core Strategy and policies DP2, DP3, DP4, DP5 and DP6 of the London Borough of Camden Local Development Framework Development Policies.

42 ** Provision of Community centre

Prior to commencement of implementation of phase 2 (other than the demolition of the Victory Public House), the community facility located to the ground floor of the proposed Robert Street Car Park block shall be completed and made available for occupation and use as a high quality and readily accessible community facility available and retained for the benefit of and use by the local communities.

Reason: To ensure the satisfactory re-provision of existing community facilities and existing employment space in accordance with Policy CS10 of the London Borough of Camden Local Development Framework Core Strategy and policies DP13 and DP15 of the London Borough of Camden Local Development Framework Development Policies.

43 ** Accessibility Plan

Prior to the Implementation Date an Accessibility Plan shall be submitted to an approved in writing to the Council. Such a plan shall secure the provision of Wheelchair Accessible Units wheelchair accessible units within the Development ("the Wheelchair Accessible Units") which shall provide for the following:-

- (a) be fitted out either:-
 - (i) in accordance with the Camden Wheelchair Housing Design Brief 2013 or any successor document for the Affordable Housing Units; or
 - (ii) in accordance with the Habinteg Wheelchair Housing Design Guide 2006 or any successor document for the Private Units
- (b) the number unit size and mix of homes and the storey level(s) of the Wheelchair Accessible Units;
- (c) a plan showing the location of the Wheelchair Accessible Units within the relevant phase of the Development;
- (d) demonstration of how all units would meet relevant lifetime homes and relevant size and layout standards;
- (e) measures to ensure that any lift access to the Wheelchair Accessible Units is maintained at all times and in the event of routine maintenance or unexpected fault in relation to the lifts accessing the Wheelchair Accessible Units that such works/repairs are carried out diligently and in a way that endeavours to minimise disruption to wheelchair users;
- (f) measures to ensure the Development is easily accessible residents and visitors to the Development who are wheelchair users;

(g) principles of inclusive design inform and are fully integrated within the Development; and

(h) identifying means of ensuring the provision of information to the Council and provision of a mechanism for monitoring and reviewing as required from time to time

Reason: To ensure that the internal layout of the building provides flexibility for the accessibility of future occupiers and their changing needs over time, in accordance with the requirements of policy CS6 of the London Borough of Camden Local Development Framework Core Strategy and policy DP6 of the London Borough of Camden Local Development Framework Development Policies.

44 ** Construction Phase Working Group

From the date of this planning permission the application shall invite the following to become members of the working group:

(a) representatives of existing residents associations traders associations or any other bodies or groups representing the owners residents and/or businesses in the immediate locality subject to a maximum of five (5) persons

(b) the appointed project architect for the Development plus one additional representative as may be nominated by the Owner from time to time

(c) any other person or persons having a direct interest in the management of the Construction Phase reasonably nominated by the Council (subject to a maximum of two (2) persons)

To

(a) procure that the project manager for the Development (and any other appropriate professional representatives of the Owners that the Parties agree) shall be a member of the Working Group and shall attend all meetings of the Working Group;

(b) appoint a person ("the Liaison Officer") responsible for liaising with the owners and or occupiers of the residents and businesses in the locality and other interested parties about the operation of the Working Group such person to organise and attend all meetings of the Working Group all such meetings to take place within easy walking distance of the First Property and the Second Property; and

(c) ensure an appropriate venue in the vicinity of the Property is procured for each meeting of the Working Group.

Reason: To safeguard the amenity of the residents of Regent's Park Estate and the area generally in accordance with the requirements of policies CS5 and CS7 of the London Borough of Camden Local Development Framework Core Strategy

and policy DP26 and DP12 of the London Borough of Camden Local Development Framework Development Policies.

45 ** Environmental Contribution

On or prior to the Implementation Date to pay to the Council the Environmental Contribution of £55,350 in full (condition approved under application 2016/0846/P dated 26/02/2016.)

Reason: To mitigate the impact of the proposed development on sustainability in accordance with policies CS13 and CS16 of the London Borough of Camden Local Development Framework Core Strategy and policies DP22, DP23 and DP32 of the London Borough of Camden Local Development Framework Development Policies.

46 ** Highways Contribution

On or prior to the Implementation Date to:-

- (i) pay to the Council the Highways Contribution in full (this part of condition approved under application 2016/0846/P dated 26/02/2016);
- (ii) submit to the Council the Level Plans for approval.

Not to Implement or to allow Implementation until such time as the Council has:-

- (i) received the Highways Contribution in full; and
- (ii) approved the Level Plans as demonstrated by written notice to that effect.

Reason: To ensure that any damage caused as a result of the works is repaired prior to occupation of the buildings in accordance with policy CS11 of the London Borough of Camden Local Development Framework Core Strategy.

47 ** Pedestrian Access Plan

The details of the Pedestrian Access Plan (as approved under application 2016/5287/P dated 28/12/2016) shall be implemented in accordance with the approved plan or subsequently approved plan prior to commencement of development and therefore retained for the duration of the construction phase and following occupation.

Reason: To maintain pedestrian routes through the estate during the construction phase in accordance with CS11 of the London Borough of Camden Local Development Framework Core Strategy and DP17 of the London Borough of Camden Local Development Framework Development Policies.

48 ** Phasing Plan

Details of the Phasing Plan (as approved under application 2016/5287/P dated 28/12/2016) shall be implemented in accordance with the approved plan or subsequently approved plan prior to commencement of the relevant part of works.

Reason: To safeguard the amenity of the residents of Regent's Park Estate and the area generally in accordance with the requirements of policies CS5 and CS7 of

the London Borough of Camden Local Development Framework Core Strategy and policy DP26 and DP12 of the London Borough of Camden Local Development Framework Development Policies.

49 ** Travel Plan

On or prior to the Implementation Date to:-

- (a) submit to the Council the Travel Plan for approval; and
- (b) pay to the Council the Travel Plan Monitoring Contribution (this part of condition approved under application 2016/0846/P dated 26/02/2016).

Reason: To ensure that the scheme promotes the use of sustainable transport means in accordance with policy CS11 of the London Borough of Camden Local Development Framework Core Strategy.

50 ** Tree Management Plan

On or prior to the Implementation Date to provide the Council for approval a draft Tree Management Plan. Implementation shall not commence until the plan has been approved by the Council. The plan shall set out a package of measures to be adopted by the Owner in the management and care of the trees in the Development in order to ensure as far as possible that the trees are protected during construction and that all care and consideration is given to ensuring it is not damaged to the extent it needs to be felled as a result of the demolition and construction works.

Reason: To safeguard the existing and proposed trees that would form the development in accordance with CS15 of the London Borough of Camden Local Development Framework Core Strategy.

51 Details of a supplementary scheme of vapour and water assessment (as approved under application 2015/7103/P dated 06/05/2016) shall be implemented in accordance with the approved details or subsequently approved details prior to occupation of the development and thereafter be permanently retained.

Reason: To protect future occupiers of the development from the possible presence of ground contamination arising in connection with the previous industrial/storage use of the site in accordance with policy CS5 of the London Borough of Camden Local Development Framework Core Strategy and policy DP26 of the London Borough of Camden Local Development Framework Development Policies.

52 In the event that any owners of the land have the legal locus to enter into a Section 106 Agreement, no works shall be progressed on site until such time as they have entered into such an Agreement incorporating obligations in respect of the matters covered by conditions marked with ** in this notice of planning permission.

Reason: In order to define the permission and to secure development in accordance with policy CS19 of the London Borough of Camden Local Development Framework Core Strategy.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts which cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Argyle Street WC1H 8EQ, (tel: 020-7974 2363).
- 2 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Environmental Health Service, Camden Town Hall, Argyle Street, WC1H 8EQ (Tel. No. 020 7974 2090 or by email env.health@camden.gov.uk or on the website www.camden.gov.uk/pollution) or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

Executive Director Supporting Communities