

Saloria Architects
Unit 27, Cygnus Business Centre
Dalmeyer Road
London
NW10 2XA

Application Ref: **2016/5872/P**
Please ask for: **Evelyn Jones**
Telephone: 020 7974 **2783**

22 February 2017

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Full Planning Permission Refused

Address:
7 Lyncroft Gardens
London
NW6 1LB

Proposal:
To replace the existing metal, timber and UPVC windows (sash and casement) with UPVC sash windows.
Drawing Nos:

The Council has considered your application and decided to **refuse** planning permission for the following reason(s):

Reason(s) for Refusal

- 1 The proposed replacement windows, by reason of their material, and detailed design would be detrimental to the appearance of the building and the character and appearance of the West End Green Conservation Area, contrary to policies CS14 (Promoting high quality places and conserving our heritage) of the London Borough of Camden Local Development Framework Core Strategy, and policies DP24 (Securing high quality design) and DP25 (Conserving Camden's heritage) of the London Borough of Camden Local Development Framework Development Policies, Policies 2 (Design & Character) and 3 (Safeguarding and enhancing Conservation Areas and heritage Assets) of the Fortune Green & West Hampstead



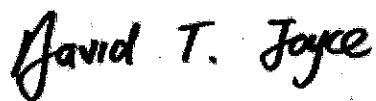
Neighbourhood Plan, and Camden Planning Guidance Design CPG1, dated July 2015; and policies D1 (Design) and D2 (Heritage) of the Camden Local Plan Submission Draft 2016.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

A handwritten signature in black ink that reads "David T. Joyce". The signature is written in a cursive, slightly slanted style.

David Joyce
Executive Director Supporting Communities

Email: planning@camden.gov.uk
Phone: 020 7974 4444
Fax: 020 7974 1680

Development Management
Camden Town Hall Extension
Argyle Street
London WC1H 8EQ

Application for Planning Permission. Town and Country Planning Act 1990

Publication of applications on planning authority websites.

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website.
If you require any further clarification, please contact the Authority's planning department.

1. Applicant Name, Address and Contact Details

Title:	<input type="text" value="Mr"/>	First Name:	<input type="text"/>	Surname:	<input type="text" value="Ramzan"/>
Company name:	<input type="text" value="Ramzan and Sons Investments Ltd"/>				
Street address:	<input type="text" value="234-236 High Road"/>				
	<input type="text" value="Willesden"/>				
	<input type="text"/>				
Town/City:	<input type="text" value="London"/>				
Country:	<input type="text"/>				
Postcode:	<input type="text" value="NW10 2NX"/>				
	Telephone number: <input type="text"/>				
	Mobile number: <input type="text"/>				
	Fax number: <input type="text"/>				
	Email address: <input type="text"/>				
Are you an agent acting on behalf of the applicant? <input checked="" type="radio"/> Yes <input type="radio"/> No					

2. Agent Name, Address and Contact Details

Title:	<input type="text" value="Mr"/>	First Name:	<input type="text" value="Lalji"/>	Surname:	<input type="text" value="Vekaria"/>
Company name:	<input type="text" value="Saloria Architects"/>				
Street address:	<input type="text" value="Unit 27"/>				
	<input type="text" value="Cygnus Business Centre"/>				
	<input type="text" value="Dalmeyer Road"/>				
Town/City:	<input type="text" value="London"/>				
Country:	<input type="text"/>				
Postcode:	<input type="text" value="NW10 2XA"/>				
	Telephone number: <input type="text" value="02084599600"/>				
	Mobile number: <input type="text"/>				
	Fax number: <input type="text"/>				
	Email address: <input type="text" value="team@saloria.co.uk"/>				

3. Description of the Proposal

Please describe the proposed development including any change of use:

To replace the existing metal, timber and UPVC windows (sash and casement) with UPVC windows to more closely match other properties in the area

Has the building, work or change of use already started? Yes No

4. Site Address Details

Full postal address of the site (including full postcode where available)

Description:

House: Suffix:

House name:

Street address:

Town/City:

Postcode:

Description of location or a grid reference
(must be completed if postcode is not known):

Easting:

Northing:

5. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

Yes No

6. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway?

Yes No

Is a new or altered pedestrian access proposed to or from the public highway?

Yes No

Are there any new public roads to be provided within the site?

Yes No

Are there any new public rights of way to be provided within or adjacent to the site?

Yes No

Do the proposals require any diversions/extinguishments and/or creation of rights of way?

Yes No

7. Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste?

Yes No

Have arrangements been made for the separate storage and collection of recyclable waste?

Yes No

8. Authority Employee/Member

With respect to the Authority, I am:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff
- (d) related to an elected member

Do any of these statements apply to you?

Yes No

9. Materials

Please state what materials (including type, colour and name) are to be used externally (if applicable):

Windows - description:

9. Materials

Description of *existing* materials and finishes:

Metal framed sash windows, timber framed sash windows, timber framed casement windows, UPVC casement windows

Description of *proposed* materials and finishes:

UPVC sash windows with treatment to mimic white painted timber, to closely match surrounding properties

Are you supplying additional information on submitted plan(s)/drawing(s)/design and access statement?

Yes No

If Yes, please state references for the plan(s)/drawing(s)/design and access statement:

160502-03-P0
160502-04-P0
160502-05-P0
160502-06-P0
160502-07-P0
160502 Heritage Statement

10. Vehicle Parking

No Vehicle Parking details were submitted for this application

11. Foul Sewage

Please state how foul sewage is to be disposed of:

Mains sewer Package treatment plant Unknown
Septic tank Cess pit Other

Are you proposing to connect to the existing drainage system?

Yes No Unknown

12. Assessment of Flood Risk

Is the site within an area at risk of flooding? (Refer to the Environment Agency's Flood Map showing flood zones 2 and 3 and consult Environment Agency standing advice and your local planning authority requirements for information as necessary.)

Yes No

If Yes, you will need to submit an appropriate flood risk assessment to consider the risk to the proposed site.

Is your proposal within 20 metres of a watercourse (e.g. river, stream or beck)?

Yes No

Will the proposal increase the flood risk elsewhere?

Yes No

How will surface water be disposed of?

Sustainable drainage system Main sewer Pond/lake
 Soakaway Existing watercourse

13. Biodiversity and Geological Conservation

To assist in answering the following questions refer to the guidance notes for further information on when there is a reasonable likelihood that any important biodiversity or geological conservation features may be present or nearby and whether they are likely to be affected by your proposals.

Having referred to the guidance notes, is there a reasonable likelihood of the following being affected adversely or conserved and enhanced within the application site, OR on land adjacent to or near the application site:

a) Protected and priority species

Yes, on the development site Yes, on land adjacent to or near the proposed development No

b) Designated sites, important habitats or other biodiversity features

13. Biodiversity and Geological Conservation

- Yes, on the development site
 Yes, on land adjacent to or near the proposed development
 No
- c) Features of geological conservation importance
- Yes, on the development site
 Yes, on land adjacent to or near the proposed development
 No

14. Existing Use

Please describe the current use of the site:

Empty

Is the site currently vacant?

Yes No

If Yes, please describe the last use of the site:

House in multiple occupation

When did this use end (if known) (DD/MM/YYYY)?

Does the proposal involve any of the following?

If yes, you will need to submit an appropriate contamination assessment with your application.

Land which is known to be contaminated?

Yes No

Land where contamination is suspected for all or part of the site?

Yes No

A proposed use that would be particularly vulnerable to the presence of contamination?

Yes No

15. Trees and Hedges

Are there trees or hedges on the proposed development site?

Yes No

And/or: Are there trees or hedges on land adjacent to the proposed development site that could influence the development or might be important as part of the local landscape character?

Yes No

If Yes to either or both of the above, you may need to provide a full Tree Survey, at the discretion of your local planning authority. If a Tree Survey is required, this and the accompanying plan should be submitted alongside your application. Your local planning authority should make clear on its website what the survey should contain, in accordance with the current 'BS5837: Trees in relation to design, demolition and construction - Recommendations'.

16. Trade Effluent

Does the proposal involve the need to dispose of trade effluents or waste?

Yes No

17. Residential Units

Does your proposal include the gain or loss of residential units?

Yes No

Market Housing - Proposed					
	Number of bedrooms				
	1	2	3	4+	Unknown
Bedsits/Studios					
Cluster Flats					
Flats/Maisonettes					
Houses					
Live-Work Units					
Sheltered Housing					
Unknown					

Market Housing - Existing					
	Number of bedrooms				
	1	2	3	4+	Unknown
Bedsits/Studios					
Cluster Flats					
Flats/Maisonettes					
Houses					
Live-Work Units					
Sheltered Housing					
Unknown					

17. Residential Units

Proposed Market Housing Total

Existing Market Housing Total

Social Rented Housing - Proposed

	Number of bedrooms				
	1	2	3	4+	Unknown
Bedsits/Studios					
Cluster Flats					
Flats/Maisonettes					
Houses					
Live-Work Units					
Sheltered Housing					
Unknown					

Proposed Social Housing Total

Social Rented Housing - Existing

	Number of bedrooms				
	1	2	3	4+	Unknown
Bedsits/Studios					
Cluster Flats					
Flats/Maisonettes					
Houses					
Live-Work Units					
Sheltered Housing					
Unknown					

Existing Social Housing Total

Intermediate Housing - Proposed

	Number of bedrooms				
	1	2	3	4+	Unknown
Bedsits/Studios					
Cluster Flats					
Flats/Maisonettes					
Houses					
Live-Work Units					
Sheltered Housing					
Unknown					

Proposed Intermediate Housing Total

Intermediate Housing - Existing

	Number of bedrooms				
	1	2	3	4+	Unknown
Bedsits/Studios					
Cluster Flats					
Flats/Maisonettes					
Houses					
Live-Work Units					
Sheltered Housing					
Unknown					

Existing Intermediate Housing Total

Key Worker Housing - Proposed

	Number of bedrooms				
	1	2	3	4+	Unknown
Bedsits/Studios					
Cluster Flats					
Flats/Maisonettes					
Houses					
Live-Work Units					
Sheltered Housing					
Unknown					

Proposed Key Worker Housing Total

Key Worker Housing - Existing

	Number of bedrooms				
	1	2	3	4+	Unknown
Bedsits/Studios					
Cluster Flats					
Flats/Maisonettes					
Houses					
Live-Work Units					
Sheltered Housing					
Unknown					

Existing Key Worker Housing Total

18. All Types of Development: Non-residential Floorspace

Does your proposal involve the loss, gain or change of use of non-residential floorspace?

Yes No

19. Employment

No Employment details were submitted for this application

20. Hours of Opening

No Hours of Opening details were submitted for this application

21. Site Area

What is the site area?

232.00

sq.metres

22. Industrial or Commercial Processes and Machinery

Please describe the activities and processes which would be carried out on the site and the end products including plant, ventilation or air conditioning. Please include the type of machinery which may be installed on site:

Is the proposal for a waste management development?

Yes No

If this is a landfill application you will need to provide further information before your application can be determined. Your waste planning authority should make clear what information it requires on its website.

23. Hazardous Substances

Is any hazardous waste involved in the proposal?

Yes No

A. Toxic substances

Amount held on site

Tonne(s)

B. Highly reactive/explosive substances

Amount held on site

Tonne(s)

C. Flammable substances (unless specifically named in parts A and B)

Amount held on site

Tonne(s)

24. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

Yes No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one)

The agent The applicant Other person

25. Certificates (Certificate A)

Certificate of Ownership - Certificate A

Town and Country Planning (Development Management Procedure) (England) Order 2015 Certificate under Article 14

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/the applicant was the owner (*owner is a person with a freehold interest or leasehold interest with at least 7 years left to run*) of any part of the land to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding (*"agricultural holding" has the meaning given by reference to the definition of "agricultural tenant" in section 65(8) of the Act*).

Title:

Mr

First name:

Surname:

Vekaria

Person role:

AGENT

Declaration date:

26/10/2016



Declaration made

26. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information. I/we confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) giving them.



Date

26/10/2016



Unit 26 Cygnus Business Centre, Dalméyer Road NW10 2XA
Tel: +44 (020) 8451 7633 +44 (020) 8459 9800
Fax: +44 (020) 8451 3370
Email: L.yekaria@saloria.co.uk website: www.saloria.co.uk

For and on behalf of
Ramzan and Sons
Investments Ltd

Heritage Statement

7 Lyncroft Gardens
London
NW6 1LB

October 2016

Prepared by:
Saloria Architects

Prepared by:

Zoe-Maria Osborn

Approved by:

Lalji Vekaria

(BSc.,Dip.(Hons)Arch.,
RIBA, FMRSH, FRSA)

Date: 21 October 2016

Saloria Architects
Unit 27, Cygnus Business Centre
Dalmeyer Road
London NW10 2XA

Tel. 020 8451 7833

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1.0 Introduction

Background

- 1.1 Saloria Architects has been engaged by the applicants to prepare the following Heritage Statement to accompany a Conservation Area Application for the replacement of windows at 7 Lyncroft Gardens, NW6 1LB, a building considered a 'positive contribution to the character of the West End Green Conservation area. This Statement is provided to show the analysis of the historic fabric so as to ensure that the historical importance of the building is preserved and enhanced as a result of the proposal.

Site Location

- 1.2 The subject site is located on the northwest side of Lyncroft Gardens. The principal elevation of the existing building is orientated towards Lyncroft Gardens. For a more detailed description of the site and its context, see Site Description and Context.



location of 7 Lyncroft Gardens

2.0 Description

Site Description and Context

- 2.1 This Statement refers to 7 Lyncroft Gardens which is located in West End Green, London. It is located between and connects directly to Finchley Road to the north and Fortune Green Road to the south, where the latter street widens around West End Green. 7 Lyncroft Gardens comprises a three storey terraced property with additional basement space in keeping with its neighbours in Lyncroft Gardens and as part of the Conservation Area.



7 Lyncroft Gardens

Building Description

- 2.2 The building is not listed, but falls under the general comments on Lyncroft Road made in the West End Green Conservation Area Appraisal as follows:

Lyncroft Gardens is [also] lined with street trees. The north side consists of a terrace of two-storey late Victorian houses with bays and gables in red brick (some facades painted), raised on basements with attic storeys. The terrace is slightly curved, a characteristic most apparent in views from the higher ground of Finchley Road. The south side of the street has a different character, being lined with mansion blocks.

And of the area in general:

Windows are generally in timber, sash and casement, many are set in stone mullions; window glazing configuration types tend to be consistent in groups of houses and the mansion blocks.

3.0 Elements of the refurbishment

Archaeological survey

- 3.1 The proposed works do not affect any potential interest of archaeological value.

Replacement of Windows

Existing Situation

- 3.2 The windows at 7 Lyncroft Gardens are in the most part unpainted metal-framed sash windows at the front of the property, with windows to the rear being a mixture of timber framed and metal-framed sash and casement, and more modern UPVC fixed windows with horizontally hinged casement elements.
- 3.3 One window at the front and two at the rear feature unsightly plastic grilles, presumably to attempt to crudely aid air circulation throughout the property. From the street this appears to be thankfully unique to 7 Lyncroft Gardens.
- 3.4 We note that, at the moment, more or less all the window timber and metal frames are in poor condition. This is due to the general neglect of the windows and the property in general. Where windows are timber these problems are enhanced by lack of maintenance as damage and wear to the paintwork over time has allowed the timbers to absorb moisture, causing further damage to the paintwork and condition in a vicious cycle.
- 3.5 The level to which certain windows have decayed compromises their ability to remain watertight and serviceable, and the whole property is in desperate need of refurbishment to prevent further deterioration. The dated metal sash windows whilst in a marginally better due to the material used, are unlikely to remain in a serviceable state, and are not in keeping with the general character of the road.
- 3.6 Many of the windows, especially to the front of the property, have been replaced at least once since the initial construction. The original windows which would have been timber-framed single-glazed sash windows have been replaced by metal-frames of the same, which is an incongruous choice of frame in the West End Green conservation area.

3.7 Furthermore, our analysis leads to the consideration that replacement windows would be more energy efficient than the old ones as well as providing a greatly extended functional life. The decision to propose a general replacement of all the windows has been taken considering two major aspects:

- The general look and appearance of 7 Lyncroft Gardens – to bring the property back into concurrence with the rest of Lyncroft Gardens and the West End Green area by replacing damaged and out of character windows with suitable replacements
- The overall average level of energy efficiency – to achieve an improvement in the overall running cost of the property for the occupier and to improve the level of sustainability and energy conservation for the future.

3.8 It was therefore concluded that a mixed approach, of old windows repaired where at all possible and new windows installed where not, would have an ineffective result in terms of energy efficiency and energy saving. It could also lead to an inconsistent appearance to the building which would be obtained by the complete replacement of all fenestration.



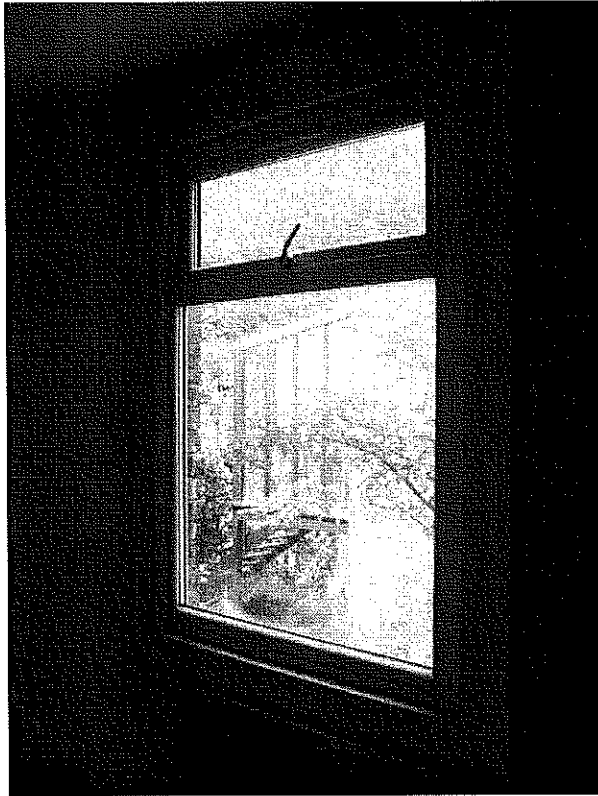
The existing French windows to the rear, showing the state of disrepair of the timber frames



One of the timber framed windows with unsightly grille and internal security bars, showing disrepair



Detail of the existing ground floor metal window frames, incongruous with local character



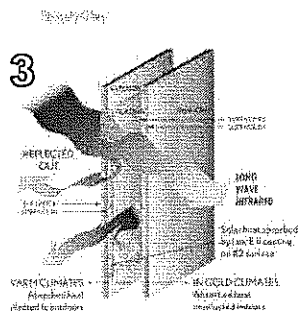
An existing UPVC window
neither reflecting local
character nor fitting with the
rest of the property



Front view of the property,
showing the existing change
in window character
between 7 Lyncroft Gardens
and the properties on either
side

Proposal of New Windows

- 3.9 The proposed new windows respond to the above mentioned points in terms of appearance and energy efficiency. It is proposed to specify UPVC double glazed units in a sliding sash window configuration throughout the property, with BFRC rating A, such as Ecoslide, to closely mimic the white-painted timber frames of the rest of the street whilst delivering a high quality finish and standard of energy efficiency.



1. An example of Ecoslide A-rated sash windows
2. The UPVC elements of the glazing units to be treated and textured to mimic white painted wood
3. Diagram to show the different level of solar heat.

- 3.10 Most glazing companies now offer many options of colour and finish during the selection process. It is intended that an option will be chosen to most accurately reflect the timber frames occurring in the rest of Lyncroft Gardens and surrounding areas.
- 3.11 Typical U-value for a single glazed windows and doors is 4.5 to 4.8, the aim is to achieve typically around 1.5 but as low as 1.1. This form of unit therefore achieves the sustainability and operational cost objectives.
- 3.12 In addition to the previous points the base materials are guaranteed against any form of cracking, fading or discolouration for many years and are effectively maintenance free. This would help ensure the future of the property's glazing against falling into the same disrepair as it currently stands, thus safeguarding the conservation area status as a characterful and beautiful area of the city.

- 3.13 The most important consideration is acknowledged to be that the proposed replacement windows will replicate the look of the existing. The type of solution proposed has been chosen specifically to match the adjacent properties as closely as possible whilst still delivering our commitment to energy efficiency.
- 3.14 In order to assure that there is no unnecessary visual change that will arise from the proposal, except where current windows are incongruous with the local character, a detailed photo survey has been made to record and provide a base line for the work. See drawings submitted alongside this statement.
- 3.15 Furthermore, there is a history of changes and replacements to historic facades within the Conservation Area, as long as they are in keeping with the character of the area. These include:
- PW9902834 33 Lyncroft Gardens London NW6 1LB
Installation of two roof lights to the rear extension, new windows and French doors at ground and first floor of rear extension and new window at second floor of main house
 - 2005/4010/P 19 Lyncroft Gardens London NW6 1LB
Replacement of existing steel-framed windows at first floor level on the front elevation with timber-framed windows, and the insertion of timber-framed double doors in lieu of a window on the rear elevation for the first floor flat.
 - 2013/2740/P Flat 2 66 Crediton Hill London NW6 1HR
Replacement of two existing windows with one single window to flat (Class C3).
 - 2016/0388/P 6 Lymington Road London NW6 1HY
Erection of single storey rear extension to replace existing and replacement of all windows with timber double glazed windows
 - 2015/2764/P 3 Honeybourne Road London NW6 1HH
Erection of ground floor rear infill extension and canopy, and installation of new and alterations to existing windows on front elevation.
 - 2016/4515/P 16 Crediton Hill London NW6 1HP
Conversion of garage to habitable room and replacement of existing garage doors with new bay window.
 - 2016/1682/P Flats 2 & 3 173 A West End Lane London NW6 2LH
Conversion of the existing bedsit and 1Bed flat at second floor and roof level into 1 x2Bed self-contained maisonette (class C3), replacement of the timber windows at second & third floor level with matching softwood windows to the front & rear elevations and conservation rooflight to the rear at roof level.

Replacement of Roof Tiles

Existing situation

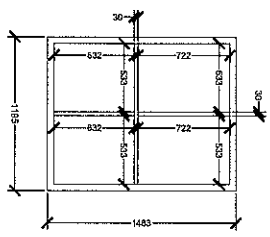
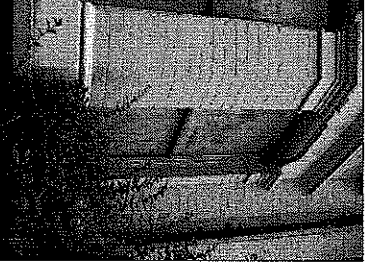
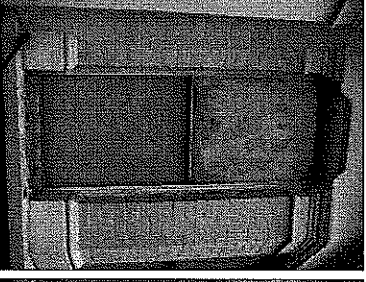
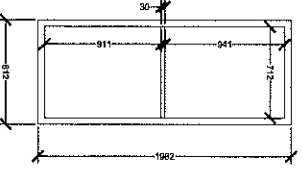
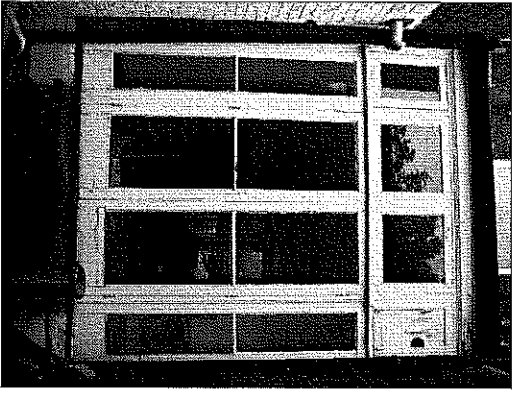
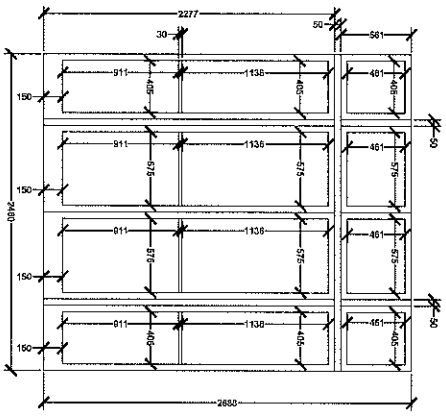
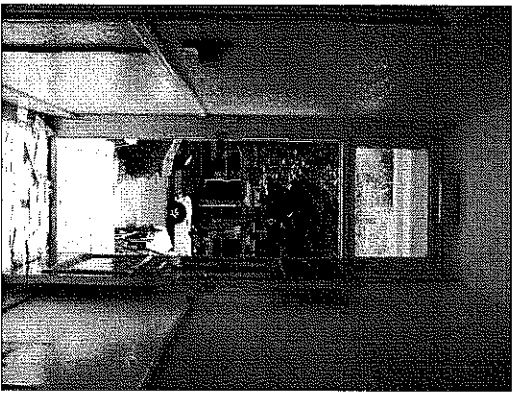
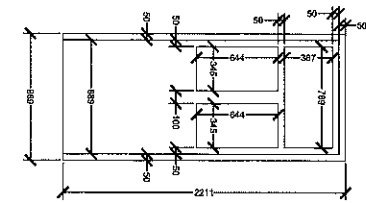
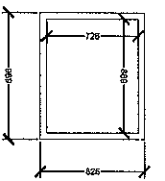
- 3.16 The roof tiles at 7 Lyncroft Gardens are thought to be a dark grey slate in keeping with the general character and appearance of the Conservation Area on the forward part of the building above the attic storey, with contoured grey concrete or clay tiles not in keeping with the local area on the rear extrusion above the first floor storey.
- 3.17 In both cases it has been difficult to ascertain the nature of the roofing material as there is substantial growth of lichens and moss throughout
- 3.18 Furthermore, due to the age and disrepair of the building, the flashings and weatherproofing measures at roof level have begun to deteriorate and compromise the weather-tightness of the building.

Proposal of new tiles

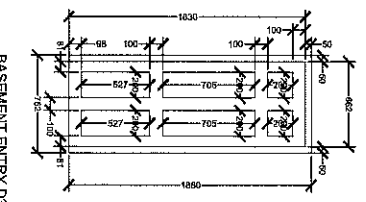
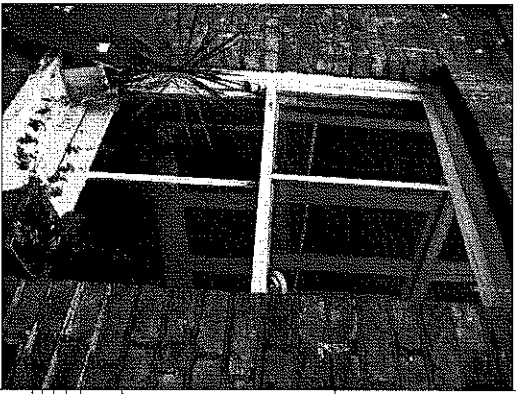
- 3.19 It is proposed to replace the existing roof tiles in slate and concrete with new slate roof tiles throughout, and conduct sundry small repairs to the roof level in order to render the roof structure safe from weather ingress and make the building safe and fit for habitation.
- 3.20 In specifying slate tiles, it is aimed to bring the rear extrusion back into congruity with the rest of the building, and with the Conservation Area at large.
- 3.21 7 Lyncroft Gardens requires substantial roofing repairs to make it fit for use. Specifying repair of roof tiles, whilst admirable, would likely prove to amount to replacement due to the amount of lichenous and mossy growths present. Therefore it was considered appropriate to propose replacement in the first instance, rather than achieve replacement as a result of understated need for repair.

4.0 Conclusions

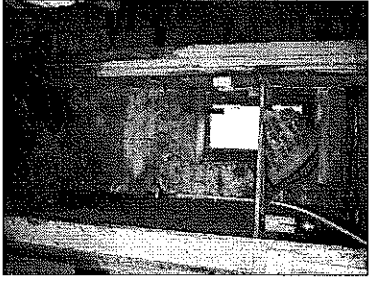
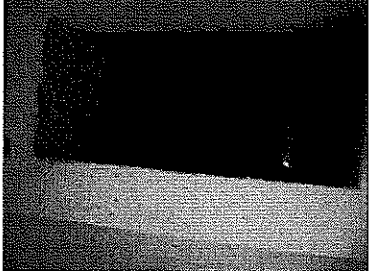
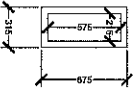
- 4.1 The present proposal has been made with regards to the current state of disrepair and the charming potential of 7 Lyncroft Gardens in the context of the West End Green Conservation Area. This design proposal is the best possible solution and offers a practical method of maintain and preserve the property with absolutely minimal impact on the character and appearance of the neighbourhood.
- 4.2 Without the proposed changes the building would remain in a poor state, prone to an accelerated rate of deterioration and furthermore it would remain an expensive building both in terms of its maintenance and its energy efficiency.
- 4.3 The existing windows in place at the property are for the most part twentieth century metal replacements of the original timbers, and as such these are incongruous with the character of the rest of Lyncroft Gardens. Replacing these with modern and conscientiously chosen glazing in a more appropriate style, frame proportion and colour will constitute a net improvement to the property in terms of its contribution to the character and appearance of the West End Green neighbourhood.
- 4.4 The existing tiles are in a similarly poor condition following this period of neglect, and in part do not represent the character of the area. Replacing these as proposed is essential to ensure the future of the property as a valued part of Lyncroft Gardens and the Conservation Area, due to the need to ensure weather-tightness before this property can be inhabited once more.
- 4.5 We believe that the scheme proposed strikes the right balance between minor intrusive works and the wider benefit of restoring the building to its full potential as part of the built environment. We feel that this statement and supporting information justify the proposal which preserves and enhances the existing building.



GROUND FLOOR WINDOW G6

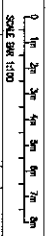


BASEMENT WINDOW B1



GENERAL NOTES

1. All work shall be in accordance with the specifications and drawings. The contractor shall be responsible for obtaining all necessary permits and approvals. The contractor shall be responsible for the safety of all workers and the public. The contractor shall be responsible for the protection of all existing structures and utilities. The contractor shall be responsible for the removal and disposal of all debris. The contractor shall be responsible for the cleanup of the site. The contractor shall be responsible for the final inspection and certification of the work. The contractor shall be responsible for the maintenance of the work. The contractor shall be responsible for the repair of any damage to the work. The contractor shall be responsible for the replacement of any materials that are damaged or missing. The contractor shall be responsible for the completion of the work within the specified time frame. The contractor shall be responsible for the payment of all bills and invoices. The contractor shall be responsible for the insurance of the work. The contractor shall be responsible for the bonding of the work. The contractor shall be responsible for the licensing of the work. The contractor shall be responsible for the registration of the work. The contractor shall be responsible for the compliance of the work with all applicable laws and regulations. The contractor shall be responsible for the coordination of the work with all other trades. The contractor shall be responsible for the communication of the work to all stakeholders. The contractor shall be responsible for the documentation of the work. The contractor shall be responsible for the archiving of the work. The contractor shall be responsible for the preservation of the work. The contractor shall be responsible for the protection of the work. The contractor shall be responsible for the security of the work. 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7 LYNGROFT GARDENS NW6

SCHEDULE OF EXISTING WINDOWS AND THEIR DIMENSIONS

DATE	19.10.2018	DRAWN BY	ZD
SCALE	1:20 @ A1	CHECKED BY	TV
PROJECT NO.	160502-04-P0		

