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Dear Mr William Tozer,

Town and Country Planning Act 1990 (as amended)
RESPONSE TO PRE-APPLICATION ENQUIRY for: 62 Pilgrims Lane

Thank you for your pre-application enquiry received on 14 December 2016 and later revised on 10th February 2017 for: enlarged front dormer, enlarged dormer extension with balcony at roof level, and alterations to the rear fenestration.

Overview of the Site and Proposal

The host building is located on the east side of Pilgrim's Lane within the Hampstead Conservation area and the building is noted as making a positive contribution to the conservation area. The property has previously been extended with two dormers to the front and one dormer to the rear roof slope. There is an existing terrace over the closet wing accessed by French doors.

Relevant planning history

- Planning permission **P9601714** for the Installation of replacement dormer window with roof terrace and railing, in rear roof slope, as shown on drawing numbers, 1 - 3 plus unnumbered floor plans and section/elevation, refused planning consent on **22/11/1996**.

Reasons for refusal: *The proposed enlargement of the dormer, including the double doors and terrace would be overly prominent in the rear roof elevation and would fail to preserve or enhance the appearance and character of the Hampstead Conservation Area.*

- Planning permission **2009/0275/P** for the erection of a rear upper ground floor extension to provide additional accommodation to upper ground floor flat **refused** planning consent on **19/02/2009**.

Reasons for refusal: *The proposed upper ground floor rear extension, by reason of its height, bulk, design and location, and its cumulative impact in conjunction with existing rear extensions, would be detrimental to the appearance of the host building and character and appearance of the conservation area, contrary to policies B1 (General design principles), B3 (Alterations and Extensions), and B7 (Conservation Areas) of the London Borough of Camden Replacement Unitary Development Plan 2006 and to design advice in the Camden Planning Guidance 2006, and;*

The proposed rear extension, by reason of its proximity to windows on lower floors of no.60 Pilgrims Lane, would result in loss of daylight and outlook to the

detriment of their residential amenities, contrary to policy SD6 (Amenity for occupiers and neighbours) of the London Borough of Camden Replacement Unitary Development Plan 2006.

- Planning permission **2010/0147/P** for the erection of a rear, upper ground floor extension to provide additional accommodation to upper ground floor flat (Use Class C3) was granted planning consent on **02/03/2010**.
- Planning permission **2016/1141/P** for erection of front and rear dormers following replacement of the existing and alterations to the rear windows and doors on the rear elevation currently under appeal for non-determination that would have been refused.

Reasons for refusals: The proposed enlarged front and rear dormers, by reason of their scale, bulk, design would have a detrimental impact on the character and appearance of the host building, the streetscene and the wider Hampstead Conservation Area contrary to policies CS5 and CS14, and policies DP24, DP25 and DP26 of the London Borough of Camden Local Development Framework Development Policies, and;

The proposed enlarged front and rear dormers, by reason of their scale, bulk, and design would have a detrimental impact on the character and appearance of the host building, the streetscene and the wider Hampstead Conservation Area contrary to policies CS5 and CS14, and policies DP24, DP25 and DP26 of the London Borough of Camden Local Development Framework Development Policies.

Sites referred to in the design and access statement

- **21 Rudall Crescent**

Planning permission **2013/4208/P** for the replacement of existing windows to front elevation, installation of a new front dormer, following removal of the existing and associated works to off street parking area in connection with dwelling house (Class C3), **granted** planning consent on 25/09/2013.

- **23 Tanza Road**

Planning permission **2014/0273/P** for the erection of a rear dormer extension with terrace and installation of 2 x 1 rooflight to the rear 1 x 1 rooflight to the front elevation all in connection with the conversion of the second floor flat into a maisonette, **granted** 24/04/2014.

- **17 Denning Road**

Planning permission **2015/2739/P** for the conversion of the existing 5x residential flats (1 x 2Bed and 4 x 1Bed) units into 3 (1 x 3Bed and 1 x 2Bed) self-contained units, erection of 2 storey infill extension between lower and ground floor and enlargement of the rear and front dormer extension, **granted** on 12/08/2015.

- **21 Carlingford Road**

Planning permission **2015/2952/P** for the replacement of the existing front and rear dormer extensions with new wider dormer windows and widening of the roof terrace, **granted** 15/09/2015

- **Relevant policies and guidance**

National Planning Policy Framework 2012 (paras. 14, 56-66 and 126-141)
The London Plan 2016 as consolidated with alterations since 2011(paras. 7.4, 7.6 and 7.8)

LDF Core Strategy

CS5 – Managing the impact of growth and development

CS14 – Promoting high quality places and conserving our heritage

LDF Development Policies

DP24 – Securing high quality design

DP25 - Conserving Camden’s heritage

DP26 – Managing the impact of development on occupiers and neighbours

Camden Planning Guidance 2011/2016

CPG1 – Design

CPG6 – Amenity

Hampstead Conservation Statement 2001

The NPPF states that great weight should be given to the conservation of a designated heritage asset when considering the impact of a proposed development on its significance. The NPPF requires that heritage assets be conserved in a manner appropriate to their significance

The London Plan 2016 requires that development affecting heritage assets be sympathetic to their form, scale, materials and architectural detail.

The Camden Local Plan is reaching the final stages of its public examination. Consultation on proposed modifications to the Submission Draft Local Plan will take place from 30 January to 13 March 2017 and the Local Plan is material consideration the publication of the Inspector's report into the examination, which is expected in early - mid April. At this point the Local Plan policies would be given substantial weight.

Comments on the proposal

Design Principles

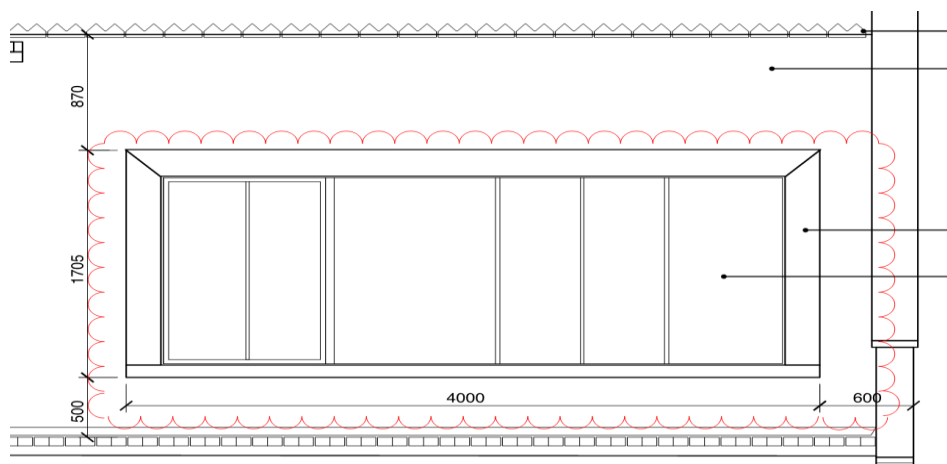
CPG1 guidance recommends that extensions should take into account the character and appearance of the host building including the potential impact the proposal may have on the surrounding area, consideration of the kind of materials to be used and whether the proposed material would complement the existing building. In particular the guidance recommends that dormer extensions be designed in a sensitive manner to maintain the overall structure of the existing roof form, not cut through the roof ridge and dormer windows should relate well with the windows below and roof alterations/additions should be subordinate in size and scale.

It is duly noted from the supplementary information which accompanied the pre-application provided evidence of large dormer extensions that were approved. However, these applications are determined on a “case by case basis” and the acceptability of a proposal is not purely based on passed approvals (precedent). Other material considerations are the uniformity and symmetry of the neighbouring properties, the composition of the elevation and how the properties contribute to the

public realm. Moreover, as stipulated in policy DP24 of the LDF past alterations or extensions to surrounding properties would not necessarily be regarded as a precedent for subsequent proposals for alterations and extensions.

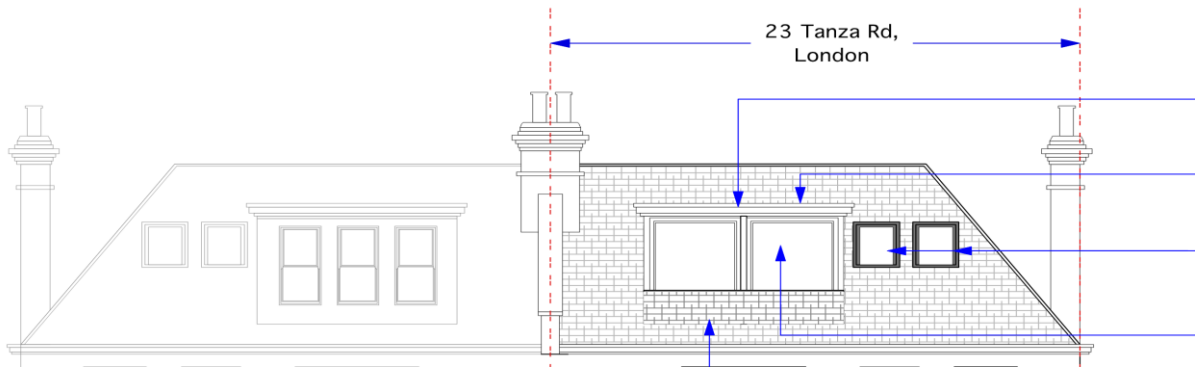
No. 21 Rudall Crescent (2013/4208/P) dormer extension was established and consent was sought to replace the glazing, changes in design and the material used for better insulated dormer extension. The application was revised following officer's comment; the dormer extension was reduced in size with alteration to the window design was later revised to include timber glazing bars which forms a better relationship with the windows below.

Existing dormer at No.21



Approved dormer extension

No. 23 Tanza Road relates to a semi-detached property of a similar scale and proportion with No. 21, the front is identical in design and appearance and the proposed dormer extension mirrors the size and scale of the neighbour's dormer window, preserving the area's uniformity. The proposal was acceptable in this instance. The comparable elevation drawings are shown below:

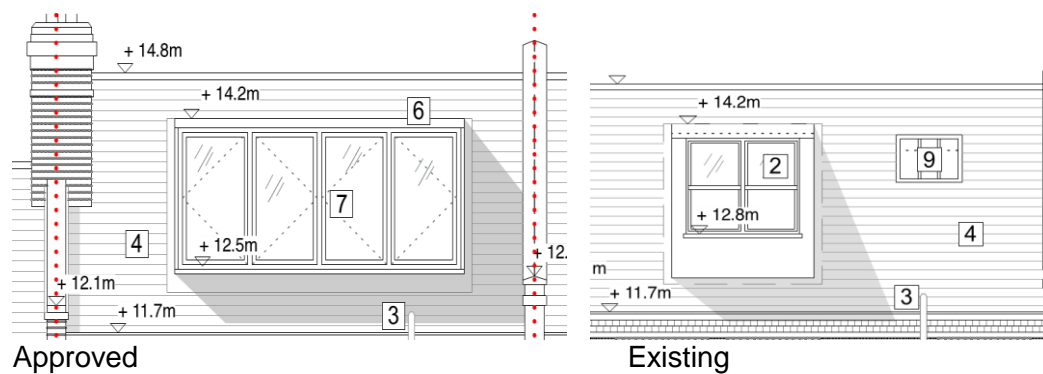


No. 17 Denning Road (2015/2739/P) is located within a terrace consisting of various size and scale dormer extensions as shown below. Originally there were 2 x single dormers to the front and 2 x separate dormers to the rear. As shown in the image below; No.15 consist of a single dormer extension, No.19 consist of a double dormer extension, No. 21 consist of a large dormer with 4 casement windows all located to the principal elevation and towards the east there is a dormer extension with balcony. The character of this part of Hampstead Conservation is not uniform due to the various forms of dormer extensions. In terms of the setting with the neighbouring properties there was no cohesive or consistent design and so the principle of the enlarged dormer extension was acceptable in this instance.



Looking east along Denning Road from No.17.

No. 21 Carlingford Road (2015/2952/P) relates to an enlarged dormer extension. The application was revised due to the size, scale and material used with the submission of the original application. The officer was of the opinion that the front dormer was overly large and out of character with the host property which was made worse with the use of inappropriate materials. The proposed materials were revised so that the development would have a more traditional appearance, sympathetic to the host building. Given the prevalence of wide dormers in the street, the proposed enlargement was acceptable in this instance.



The planning permission associated with the approval for the front dormer extensions were all determined in accordance with the uniformity of the terrace in which the properties were sited. The visual distinctiveness and cohesion are also of great importance, as highlighted above.

Front dormer

The proposed dormer extension would appear disproportionate in its settings and have no relationship with the windows below. The existing front dormer is subservient in regards to its size and proportion and any further increase would represent an incongruous addition that would have a detrimental impact on the conservation area. Given that the property makes a positive contribution to the conservation area, it is considered in this instance the principle of the enlarged dormer roof extension if implemented would detract from the appearance of the property. The enlarged extension would harm this distinctive group of properties contrary to CS14 DP24 and DP25 of the LDF.

Rear Dormer extension with balcony

The proposed full length dormer extension would not be supported. Camden Planning Guidance CPG1 Design states 'full-length dormers will be discouraged to minimise the prominence of these structures' (paragraph 5.11). Camden planning guidance also provides guidance on terraces at roof level. A terrace provided at roof level should be set back behind the slope of a pitched roof (para 5.25). In addition, when a terrace is provided within the slope of a pitch, the adjacent tiles or slates should be kept unbroken above the eaves (para 5.26). Whilst there is no objection to the principle of the roof terrace it would need to comply with this guidance. In addition the width of the balcony should be set in from the side walls to form an integral part of the dormer window.

Fenestration alterations

The design of the fenestration was also a point of concern during the site visit and the revised elevation drawings would undermined the uniformity of the neighbouring properties and ignore the established patterns of the surrounding properties, this is due to the modern design of the proposed windows and doors at a prominent level. The replacement of the traditional metal railing associated with the second floor terrace would not be acceptable in design or appearance and the use of traditional railings would be encouraged.

- **Residential Amenities**

The proposed windows and doors to the rear elevation would not harm the neighbouring amenities in regards to loss of privacy and outlook. The dormer extensions would not cause harm to the neighbour's amenity in regards to

daylight/sunlight nor contribute to a sense of enclosure due to its location.

Conclusion

Overall it is considered that the front and rear dormer extension would be unacceptable in design and appearance, representing incongruous additions. This is highlighted further in the contextual elevation drawing showing majority of the properties within the terrace which benefits from dormer extensions are proportionate in their size and scale. The alterations to the windows and doors to the rear elevation for a modern style design would appear incongruent to the building, fails to enhance the aesthetics of the host building and would have a detrimental impact on the character and appearance of the Hampstead Conservation Area.

This document represents an initial informal officer view of your proposals based on the information available to us at this stage and would not be binding upon the Council, nor prejudice any future planning application decisions made by the Council.

If you have any queries about the above letter or the attached document please do not hesitate to contact me direct.

Thank you for using Camden's pre-application advice service.

Yours sincerely,

Obote Hope

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