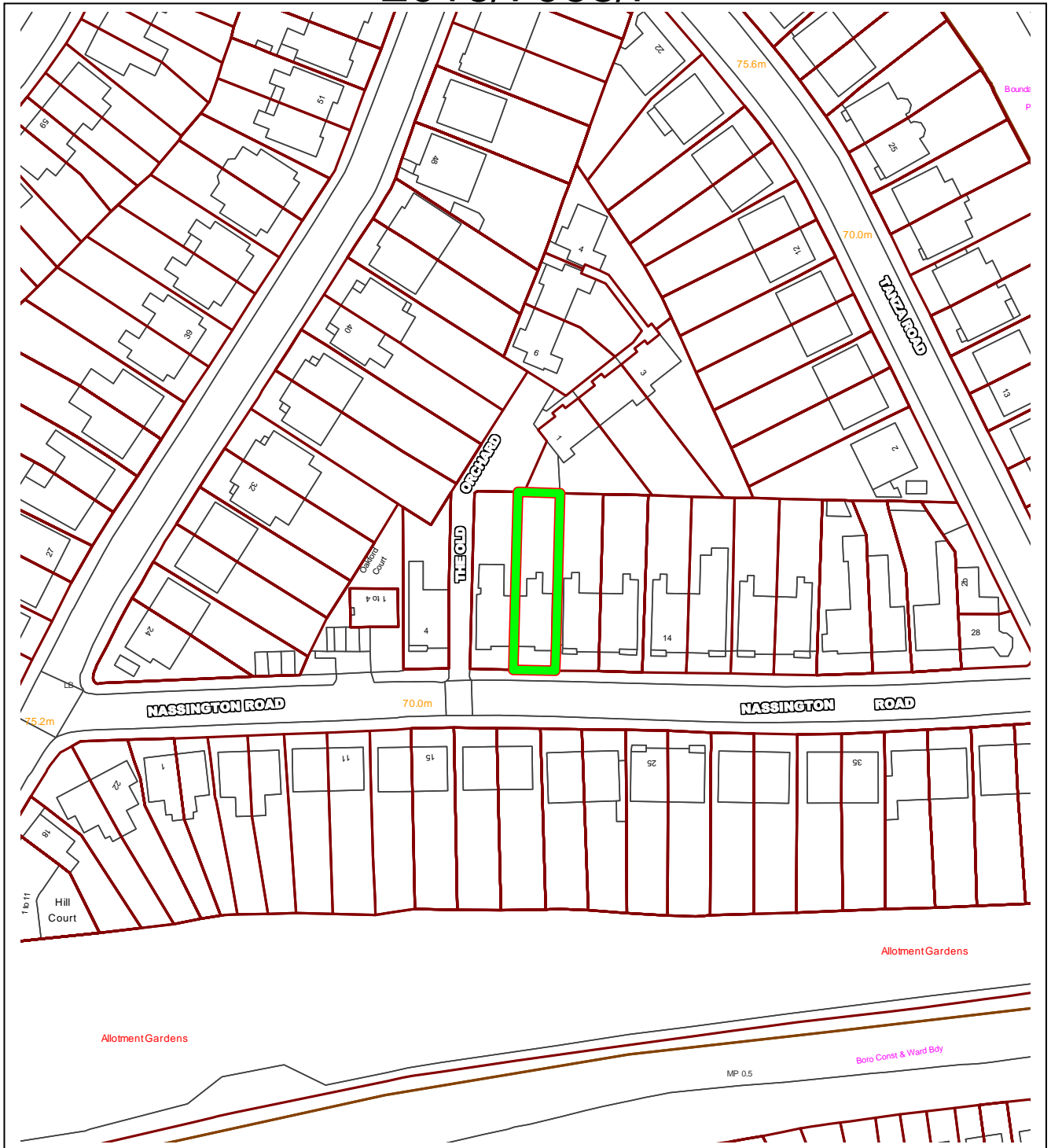


# 8 Nassington Road, London, NW3 2016/7068/P



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Photo 1: Rear elevation of 8 Nassington Road



Photo 2: Rear elevation of Nos. 8 and 6 Nassington Road



Photo 3: Rear elevation of Nos. 12, 10 and 8 Nassington Road



Photo 4: Rear elevations of Nos. 20 (far left) to 10 (far right) Nassington Road



Photo 5: View of existing single storey rear extensions at Nos. 8 and 6 Nassington Road



Photo 6: View looking west towards No. 6 Nassington Road from rear garden of No. 8



Photo 7: View looking north from rear garden of 8 Nassington Road



Photo 8: Front elevation of Nos. 6 and 8 Nassington Road

<b>Delegated Report</b>		<b>Analysis sheet</b>		<b>Expiry Date:</b>		15/03/2017		
<b>(Members Briefing)</b>		N/A / attached		<b>Consultation Expiry Date:</b>		21/02/2017		
<b>Officer</b>				<b>Application Number(s)</b>				
Charlotte Meynell				2016/7068/P				
<b>Application Address</b>				<b>Drawing Numbers</b>				
8 Nassington Road London NW3 2UD				See draft decision notice				
<b>PO 3/4</b>		<b>Area Team Signature</b>		<b>C&amp;UD</b>		<b>Authorised Officer Signature</b>		
<b>Proposal(s)</b>								
Erection of single storey rear extension, insertion of 2 x new ground floor side windows and replacement of first and second floor rear windows. Installation of replacement rear dormer extension, installation of 2 front rooflights, 1 side rooflight and 2 rooflights to flat section of main roof.								
<b>Recommendation(s):</b>		Grant Conditional Planning Permission						
<b>Application Type:</b>		Householder Application						
<b>Conditions or Reasons for Refusal:</b>		Refer to Draft Decision Notice						
<b>Informatives:</b>								
<b>Consultations</b>								
<b>Adjoining Occupiers:</b>		No. of responses			01	No. of objections		01
<b>Summary of consultation responses:</b>		<p>A site notice was displayed on 31/01/2017 and expired on 21/02/2017.  A press notice was advertised on 26/01/2017 and expired on 16/02/2017.</p> <p>No responses were received from neighbours.</p>						
<b>Hampstead CAAC comments:</b>		<p>Hampstead CAAC objected on the following grounds:</p> <ul style="list-style-type: none"> <li>• There are too many rooflights and they are over-large. This adds to light pollution which it is our aim to help reduce (<i>see paragraphs 3.5 and 4.5 of the report</i>).</li> <li>• Full width extensions are not welcome in general although there does not appear to be much impact on neighbours (<i>see paragraphs 3.7-3.13 of the report</i>).</li> </ul>						

## Site Description

The subject site is a three storey semi-detached dwelling house located on the northern side of Nassington Road. Whilst the building is not listed, it is situated within the South Hill Park Conservation Area and is identified as a building that makes a positive contribution to the character and appearance of the conservation area.

## Relevant History

### 8 Nassington Road:

**2006/4132/P** – Alterations to single-family dwellinghouse (Class C3) including the enlargement of the dormer window in rear roof slope. **Granted 01/12/2006**

**2004/2440/P** – The erection of a rear dormer window and the insertion of a rooflight on the front roof slope. **Granted 03/09/2004**

### 6 Nassington Road:

**2006/2365/P** – The provision of a terrace at rear first floor level, adjoining the boundary with no. 8, to the first floor flat. **Granted 04/08/2006**

**2005/4597/P** – Erection of a conservatory to rear of ground floor flat. **Granted 17/01/2006**

**PW9605013** – The alteration of the existing single storey rear addition, the erection of a single storey rear conservatory extension, and the installation of a new window in the flank elevation of the main house, all at ground floor level. As shown on Drawing Numbers: 969/3, 4, 5, 6A, 11 and 12. **Granted 21/02/1997**

### 10 Nassington Road:

**2015/1895/P** – The erection of a rear dormer roof extension and partial re-construction of rear extension, installation of skylight to the flank elevation, the installation of solar heating panels on flat roof along with the installation of safety railings at roof level. **Granted 17/06/2015**

### 16 Nassington Road:

**2011/1394/P** – Extension to side of existing single storey rear extension and installation of associated roof lantern at ground floor level to dwelling (Class C3). **Granted 24/05/2011**

## Relevant policies

### National Planning Policy Framework (2012)

### London Plan 2016

### LDF Core Strategy and Development Policies

CS1 Distribution of growth

CS5 Managing the impact of growth and development

CS14 Promoting high quality places and conserving our heritage

DP24 Securing high quality design

DP25 Conserving Camden's heritage

DP26 Managing the impact of development on occupiers and neighbours

### Camden Planning Guidance

CPG1 Design (2015)

CPG6 Amenity (2011)

South Hill Park Conservation Area Statement (2001)

### Camden Local Plan Submission Draft 2016

The emerging Local Plan is reaching the final stages of its public examination. Consultation on proposed modifications to the Submission Draft Local Plan began on 30 January and ends on 13 March 2017. The modifications have been proposed in response to Inspector's comments during the examination and seek to ensure that the Inspector can find the plan 'sound' subject to the

modifications being made to the Plan. The Local Plan at this stage is a material consideration in decision making, but pending publication of the Inspector's report into the examination only has limited weight.

A1 Managing the impact of development

D1 Design

D2 Heritage

## Assessment

### 1.0 Proposal

1.1 The applicant seeks permission for the following:

- Erection of a single storey rear extension; insertion of 2 new ground floor side windows and replacement of first and second floor rear windows. Installation of replacement of existing rear dormer; installation of 2 front rooflights, 1 side rooflight and 2 rooflights to the flat section of the main roof.
- The proposed single storey rear extension would be full width (8.2m), and stepped with a depth of 2.9m along the boundary with No. 8, extending to a depth of 5.5m at a distance of 1.4m away from this boundary. The extension would have a height of 3.4m to a flat roof, into which four rooflights are proposed to be inserted. The height of the extension would align with the flat roof height of the existing single storey extension at the adjoining neighbour No. 6. The extension would be constructed in London red stock brick and the rear of the extension would incorporate five black painted metal crittall style doors, with a wrap-around full height glazed panel with black painted crittall style frames to be inserted into the rear and side of the stepped corner. The development would involve the removal of the existing single storey lean-to extension at the same depth of 5.1m and with a width of 3.4m.
- The dormer would replace an existing rear dormer window with a depth of 2.6m, width of 2.4m, and height of 1.5m, set down 0.3m from the ridge. The proposed dormer would retain this distance from the ridge, and would be set in at least 1.0m from the eaves and side boundaries. The proposed dormer would measure 3.8m in width, 3.4m in depth and 1.9m in height to a flat roof. The dormer would match the size and positioning of the existing rear dormer window at the attached neighbouring property No. 6.
- The replacement rear windows and new ground floor side windows would be white painted timber framed sash windows.
- The existing front rooflight would be replaced with 2 rooflights, and the existing side rooflight would be enlarged in size. 2 additional rooflights would also be inserted alongside the existing rooflight on the flat section of the main roof. The rooflights would be flush timber framed conservation style rooflights.
- The plans were amended during the course of the application to improve the detailed design of the rear dormer and to reduce the front rooflights in layout, size and number from 3 to 2.

### 2.0 Assessment

2.1 The main planning considerations in the assessment of this application are:

- Design (the impact that the proposal has on the character of the host property as well as that of the wider South Hill Park Conservation Area);
- Amenity (the impact of the proposal on the amenity of adjoining occupiers).

### 3.0 Design

3.1 With regards to the roof alterations, CPG1 (Design) states that such works are likely to be

acceptable where there is an established form of roof addition or alteration to a terrace or group of similar buildings.

3.2 Large dormer windows are an established feature of the rear roofslopes of the neighbouring properties, including at No. 6, the semi-detached pair to No. 8. The proposed rear dormer would replace an existing rear dormer window and would match the existing rear dormer at No. 6 in terms of size and positioning. Whilst the proposed dormer would not be set down by 0.5m from the ridge as CPG1 advises, this is considered acceptable in this instance given that it would replace an existing dormer at the same height.

3.3 The dormer would be clad in zinc and would incorporate three white painted timber framed sash windows to match the design and materials of the lower floor windows. Within this context, the proposed dormer window is considered consistent in terms of detailed design, size and scale with existing alterations on this side of Nassington Road.

3.4 The proposed rooflights to the front, side and flat part of the main roof would be flush timber framed conservation style rooflights and are considered acceptable in terms of size, number and positioning on the roof slope. As revised, they are modest in size and number and subordinate in form and location to the host property.

3.5 The existing rear windows are non-original and the re-introduction of more traditional white painted timber framed sash windows with thinner frames would improve the appearance of the rear fenestration and preserve and enhance the character and appearance of the South Hill Park Conservation Area.

3.6 CPG1 (Design) states that extensions should be designed proportionally in relation to the existing buildings and groups of buildings and in particular should be secondary to the building being extended in terms of form, scale and proportions.

3.7 The houses in Nassington Road are identified in the South Hill Park Conservation Area Statement (SHPCAS) as making a positive contribution to the conservation area. The works at the rear would not be visible from the public realm or the street scene along Nassington Road, which thereby limits the impact of the proposal on the character and appearance of the wider area.

3.8 There have been a significant number of single storey rear extensions to the houses in Nassington Road, but there is no uniform style or pattern of development to which the proposed development could adhere. Both properties adjoining the application site have part-width single storey rear extensions with flat roofs, but these differ from one another significantly in form and appearance. Furthermore, a full-width extension with a depth of 5.5m was approved in 2011 at No. 16 on the same side of the street. Moreover the proposed design involves a staggered rear building line which steps back to match the neighbouring extension so its overall visual bulk is reduced.

3.9 The proposed extension would be of a simple design, built in brick to match the host building with black painted steel framed crittall style glazing to the rear fenestration. As such, the proposed extension would not appear incongruent with the varied pattern of development at the adjoining properties.

3.10 By virtue of its form, scale, detailing and proportions, the proposed rear extension would be sympathetic to the host building. It would be subordinate to the host dwelling and would respect and preserve the property's character and existing architectural features, and the character and appearance of the South Hill Park Conservation Area. Special attention has been paid to the desirability of preserving or enhancing the character or appearance of the Conservation Area, under s.72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended by the Enterprise and Regulatory Reform Act 2013.

#### **4.0 Amenity**

4.1 The positioning of the proposed rear dormer window on the roof slope and the presence of the existing



rear dormer would ensure that the proposed rear dormer window would not give rise to any adverse impact on the amenity of neighbouring occupiers in terms of loss of daylight, sunlight, outlook or privacy.

4.2 No. 6, the semi-detached pair to No. 8, has an extension at the same depth and height as the proposed along the shared boundary with a further extension and conservatory of a greater depth than the proposal set in 2.8m from the boundary. The flank building line of No. 8 is set in 1.0m from the boundary with No. 10, which also benefits from a single storey rear extension along this boundary, and as such the proposed rear extension is not considered to have a significant impact on the amenity of adjoining occupiers in terms of loss of daylight, sunlight, outlook or privacy.

4.3 The proposed ground floor side windows would not impact on the privacy of the neighbouring property No. 10 as face the flank wall of No. 10 and would be obscure glazed.

4.4 With regard to objections to the proposed rooflights and light pollution, rooflights within a conservation area fall outside of planning controls, and the applicants would not need formal planning permission to install rooflights of any number or size. The rooflights to be inserted into the flat roof of the proposed extension would be set in 0.8m from both boundaries, modest in size and set in a minimum of 0.9m and 1.2m from the boundaries with neighbours, therefore the glazing would not be intrusive to the residential amenity of the adjoining neighbours in terms of light spillage.

## **5.0 Conclusion**

5.1 The proposed development is considered acceptable in terms of both design and impact in terms of amenity.

5.2 Grant Conditional Planning Permission.

## **DISCLAIMER**

***The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 6<sup>th</sup> March 2017, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to [www.camden.gov.uk](http://www.camden.gov.uk) and search for 'Members Briefing'.***

Mrs Anna Thomson  
ADL Planning Limited  
29 Highmarsh Crescent  
Newton-Le-Willows  
WA12 9WE

Application Ref: **2016/7068/P**  
Please ask for: **Charlotte Meynell**  
Telephone: 020 7974 **2598**

27 February 2017

**DRAFT**

Dear Sir/Madam

## **DECISION**

Town and Country Planning Act 1990 (as amended)

### **Householder Application Granted**

Address:  
**8 Nassington Road  
London  
NW3 2UD**

**DECISION**

Proposal: Erection of single storey rear extension, insertion of 2 x new ground floor side windows and replacement of first and second floor rear windows. Installation of replacement rear dormer extension, installation of 2 x front rooflights, 1 x side rooflight and 2 x rooflights to flat section of main roof.

Drawing Nos: EFL 01 Basement, Ground and First Floor Plans; EFL 01 Front Elevation and Side Section; EFL 01 Rear and Side Elevations; EFL 01 Second Floor, Loft and Roof Plans; PEL 01 OPTION 2 Received 27/02/2017; PEL 02 OPTION 2 Received 27/02/2017; PFL 01 OPTION 2 Received 27/02/2017; PFL 02 OPTION 2 Received 27/02/2017; Planning Statement; Site Location Plan.

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Executive Director Supporting Communities



Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policies DP24 and DP25 of the London Borough of Camden Local Development Framework Development Policies.

- 3 The development hereby permitted shall be carried out in accordance with the following approved plans EFL 01 Basement, Ground and First Floor Plans; EFL 01 Front Elevation and Side Section; EFL 01 Rear and Side Elevations; EFL 01 Second Floor, Loft and Roof Plans; PEL 01 OPTION 2 Received 27/02/2017; PEL 02 OPTION 2 Received 27/02/2017; PFL 01 OPTION 2 Received 27/02/2017; PFL 02 OPTION 2 Received 27/02/2017; Planning Statement; Site Location Plan.

Reason:

For the avoidance of doubt and in the interest of proper planning.

- 4 No part of the flat roof area above the single storey rear extension hereby approved shall be used as a roof terrace, and any access out onto this area shall be for maintenance purposes only.

Reason: In order to prevent any overlooking of the neighbouring occupiers in accordance with the requirements of policy CS5 (Managing the impact of growth and development) of the London Borough of Camden Local Development Framework Core Strategy and policy DP26 (Managing the impact of development on occupiers and neighbours) of the London Borough of Camden Local Development Framework Development Policies.

Informative(s):

- 1 The emerging Camden Local Plan is reaching the final stages of its public examination. Consultation on proposed modifications to the Submission Draft Local Plan began on 30 January and ends on 13 March 2017. The modifications have been proposed in response to Inspector's comments during the examination and seek to ensure that the Inspector can find the plan 'sound' subject to the modifications being made to the Plan. The Local Plan at this stage is a material consideration in decision making, but pending publication of the Inspector's report into the examination only has limited weight.
- 2 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts which cover aspects including fire and emergency escape,

access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Argyle Street WC1H 8EQ, (tel: 020-7974 6941).

- 3 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Compliance and Enforcement team [Regulatory Services], Camden Town Hall, Argyle Street, WC1H 8EQ (Tel. No. 020 7974 4444 or on the website <http://www.camden.gov.uk/ccm/content/contacts/council-contacts/environment/contact-the-environmental-health-team.en> or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

Executive Director Supporting Communities

**DECISION**