



DESIGN AND ACCESS STATEMENT

Erection of a single storey
rear extension

February 2017

*Ground Floor Flat,
59 Loveridge Road,
London,
NW6 2DU*

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1.0 Introduction

- 1.1 This supporting Design and Access Statement has been prepared by Drawing and Planning Ltd, Mercham House, 25-27 The Burroughs, Hendon, London, NW4 4AR, on behalf of the owners of the ground floor flat at 59 Loveridge Road, London, NW6 2DU.
- 1.2 This statement has been prepared in support of the application for the construction of a single storey rear extension to the rear of the ground floor flat and is pursuant to Article 8 of the Town and Country Planning (Development management Procedure) (England) Order 2010. This application should be read in conjunction with the submitted application forms, certificates and drawings in line with the planning submission requirements of London Borough of Camden.
- 1.3 The purpose of this statement is to justify the proposal and to demonstrate that the proposal is beneficial to the surrounding area and will not detract from the character of the existing built and natural environment.
- 1.4 The current scheme has been designed by Drawing and Planning and the detailed drawings to accompany this application are included within the attached drawing pack.

2.0 The Site and Surrounding Area

- 2.1 The subject site is located on the southern side of Loveridge Road close to Kilburn Underground Station within the administrative boundaries of the London Borough of Camden. The character of the local area is generally residential, with a mix of different house types and ages of construction. The site is not listed nor is it located within a designated Conservation Area.

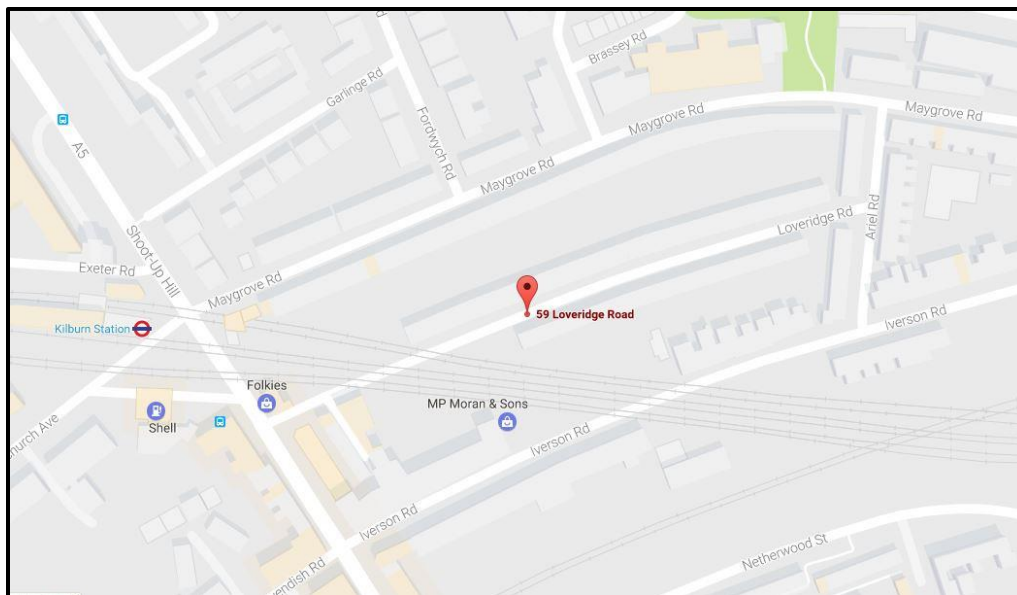


Fig. 1: Map of the local area

- 2.2 The subject building is a large mid-terrace house arranged over three floors. The property is of brick built construction. The building has a two-storey outrigger projection into the rear garden and a concrete patio providing outside amenity space for the occupant family at ground floor level. 59 Loveridge Road is currently arranged as two independent self-contained flats spread over the ground, first and second floor. The entrances to each of the flats are located within the communal hallway accessed via the main entrance.



Fig. 2 - Existing: Front elevation showing bin store



Fig. 3 - Existing: Rear elevation

- 2.3 The subject site is the dwelling at 59A Loveridge Road and is a one bedroom flat that also comprises of a bathroom, a kitchen and a large living room. The flat provides its occupants private access to the rear outdoor amenity space too. The rear terrace has a brick wall running along the garden boundaries and separating the property from the neighbouring dwelling houses. The front boundary treatment comprises of a hardstanding, welcoming the refuse bins, and a brick wall running along the highway.
- 2.4 The area is well served by public transport with several bus routes within walking distance as detailed in Part 5. Loveridge Road is also conveniently located close to Kilburn Underground station and several train stations. The main shopping facilities are within West Hampstead.

3.0 Planning Policy

- 3.1 Primarily this statement aims to demonstrate that the proposed development endorses Central Government Guidance contained within the National Planning Policy Framework (NPPF) as well as the relevant policies from the London Plan 2011 (updated as further alterations to London Plan 2016). With reference to London Borough of Camden Council, the proposal complies with the adopted Local Development Framework Core Strategy and Development Policies 2010, and Camden Planning Guidance 2011.

CENTRAL GOVERNMENT GUIDANCE

National Planning Policy Framework (NPPF)

- 3.2 The National Planning Policy Framework (NPPF) document sets out the Government's most up-to date vision for growth with a presumption in favor of sustainability. The Ministerial Foreword states that: ***"sustainable development is about positive growth – making economic, environmental and social progress for this and future generations"***.
- 3.3 This reflects the three aspects of sustainable development—economic, social and environmental. Economically, demand for development should be met to support growth; socially, development should be considerate and not impact upon others' enjoyment of properties and areas. Environmental issues include the protection of the natural, built and historic environment.
- 3.4 Paragraph 17 of the NPPF sets out core planning principles. Of particular relevance to the development is that Councils must look to:
- "Proactively drive and support sustainable economic development to deliver the homes, business and industrial units, infrastructure and thriving local places that the country needs. Every effort should be made objectively to identify and then meet the housing, business and other development needs of an area, and respond positively to wider opportunities for growth and; Conserve heritage assets in a manner appropriate to their significance, so that they can be enjoyed for their contribution to the quality of life of this and future generations."***
- 3.5 Paragraph 58 states that local planning policies and decisions should aim to ensure developments optimise the potential of sites in order to accommodate development. Paragraph 59 of the NPPF concerns design noting the following:
- "Local planning authorities should consider using design codes where they could help deliver high quality outcomes. However, design policies should avoid unnecessary prescription or detail and should concentrate on guiding the overall scale, density, massing, height, landscape, layout and access of new development in relation to neighbouring buildings and the local area more generally."***
- 3.6 Chapter 7 is titled 'Requiring good design' and sets out that good design is a key aspect of sustainable development, is indivisible from good planning, and should contribute to making places better for people.

REGIONAL PLANNING POLICY

The London Plan 2011

- 3.7 The London Plan represents the Spatial Development Strategy for Greater London. Policy 7.2 is entitled 'An Inclusive Environment' and stipulates that:

"Applicants for planning permission should demonstrate their commitment to achieving high quality inclusive design, how their proposals ensure an accessible environment, how they have engaged with users (including for example organisations of disabled and older people) and the processes used to achieve these."

- 3.8 Policy 7.4 is entitled Local Character and under paragraph 7.14 of the document states:

"The physical character of a place can help reinforce a sense of meaning and civility – through the layout of buildings and streets, the natural and man-made landscape, the density of development and the mix of land uses. In some cases, the character is well preserved and clear. In others, it is undefined or compromised by unsympathetic development. Through characterisation studies, existing character can be identified and valued, and used to inform a strategy for improving the place."

- 3.9 Policy 7.6B states that buildings and structures should not cause unacceptable harm to the amenity of surrounding land and buildings, particularly residential buildings, in relation to privacy and overshadowing.

- 3.10 Policy 7.9 'Heritage Assets and Archaeology' points out that:

"Development affecting heritage assets and their settings should conserve their significance by being sympathetic to their form, scale, materials and architectural detail."

- 3.11 Paragraph 7.31 makes reference to Conservation Areas, stating that they make a significant contribution to local character and should be protected from inappropriate development that is not sympathetic in terms of scale, materials, details and form. Development that affects the setting of listed buildings or conservation areas should be of the highest quality of architecture and design, and respond positively to local context and character outlined in the policies above.

Local Development Framework: Core Strategy and Development Policies 2010-2025

- 3.12 Strategic Policies CS1 (Distribution of Growth) and CS5 (Manage impact of growth) set the framework for the management of Camden's growth in population. The policies set Growth Areas where growth is encouraged. The subject site is located within one of these areas: West Hampstead Growth Area.

'The Council's overall strategy for managing future growth in Camden is to promote the provision of homes, jobs and other facilities in areas with significant redevelopment opportunities at, or near, transport hubs'.

- 3.13 Strategic Policy CS14 (Promoting high quality places and conserving our heritage): seeks to achieve a sustainable growth in Camden by requiring the highest standards for developments.

‘Development schemes should improve the quality of buildings landscaping and the street environment and, through this, improve the experience of the borough for residents and visitors.’

- 3.14 Policy DP24 (Securing high quality design) contributes to implementing the Core Strategy and more specifically Strategic Policy CS14. The Policy sets requirements and standards to achieve the highest possible standards of design for all developments.

‘The Council is committed to design excellence and a key strategic objective of the borough is to promote high quality, sustainable design. This is not just about the aesthetic appearance of the environment, but also about enabling an improved quality of life, equality of opportunity and economic growth. We will therefore apply policy DP24 to ensure that all developments throughout the borough, including alterations and extensions to existing buildings, are the highest standard of design.’

- 3.15 Policy DP26 is entitled ‘Managing the impact of development on occupiers and neighbours’ and is designed to protect the residents and mitigate the impact of developments on neighbours and occupiers.

‘The Council will protect the quality of life of occupiers and neighbours by only granting permission for development that does not cause any harm to amenity. The factors will consider include: visual privacy and overlooking; overshadowing and outlook’

Camden Planning Guidance 2011

- 3.16 The Design guidance CPG 1 provides information on detailed design issues within the borough. The design considerations are given in support to policies CS14 and DP24.

‘The purpose of this guidance is to promote design excellence and to outline the ways in which you achieve high quality design within your development. [...] This guidance applies equally to all development, whether new build converted refurbished, extended and altered development.’

- 3.17 Guidance CPG 6 is entitled amenity and supports policies including DP26. The policy aims at protecting the amenity of the occupant and the neighbouring area. It addresses issues including daylight and sunlight, overlooking, privacy and outlook.

‘Development should be designed to protect the privacy of both new and existing dwellings to a reasonable degree. Spaces that are overlooked lack privacy. Therefore, new buildings, extensions, roof terraces, balconies and the location of new windows should be carefully designed to avoid overlooking.’

3.18 Planning History

Application Ref 9200308: Installation of a 60 cm satellite dish at 59A Loveridge Road, NW6 2DU: Withdrawn before registration (March 1992)

Application Ref 8400091: Change of use including works of conversion to form three self-contained flats as shown on drawings at 59 Loveridge Road, NW6 2DU: **Granted** (February 1984)

Application Ref 31270: Change of use, including works of conversion, to provide three self-contained flats, including the enlargement of the existing rear ground floor extension at 59 Loveridge Road, NW6 2DU: **Conditional** (November 1980)

Application Ref 29744: Change of use, including works of conversion, to provide three self-contained flats at 59 Loveridge Road, NW6 2DU: **Conditional** (February 1980)

3.19 Similar planning application to neighbouring property

Application Ref 2013//7919/P: Single storey rear ground floor extension with glazed roof to flat at 116A Maygrove Road, NW6: **Granted** (January 2014)

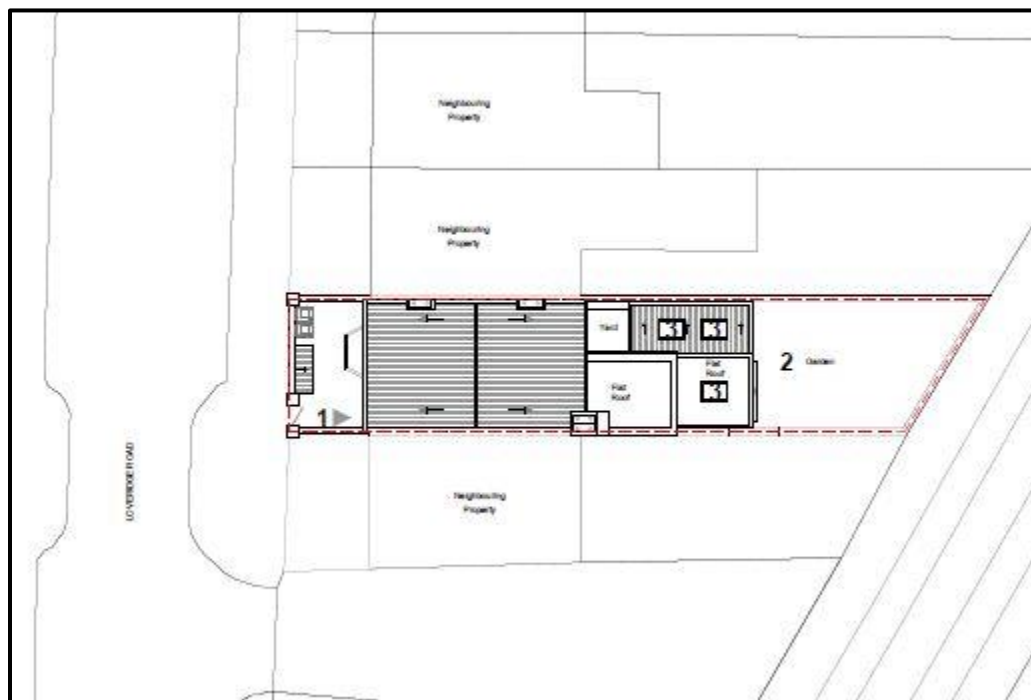


Fig. 4: Proposed Site Plan

4.0 The Design

- 4.1 This application has been submitted for the proposed development at ground floor flat, 59 Loveridge Road. This application proposes to erect of an extension to the rear of the ground floor flat to serve as extra amenity space.

Rear Infill Extension:

- 4.2 The proposed rear extension will be 4.9m in depth and have a height in line with the existing flat. The proposed rear extension would infill the area to the side of the existing closet wing as well as extend forward of this wall while leaving a small courtyard accessible directly from the adjoining bedroom. This extension would have an eaves height of 2m, with natural light and ventilation being provided through the addition of two skylights to the mono-pitched roof. The extension roof will support tiles to match the existing main roof form and to ensure that the extension will not look out of place or disrupt the view from the upper floor flat in any way. This part of the development would be the new enlarged kitchen, opened to a dining area.

Rear Extension:

- 4.3 The proposed extension to the rear of the outrigger would extend three metres from the rear façade of the outrigger and would be 2.6m in height to match the height of the existing boundary wall. The extension would boast a multi-layered felt covered flat roof in line with the existing two-storey outrigger. All materials would be proposed to match the existing development.
- 4.4 Overall, the proposal would allow a new internal layout for the flat, which would support two double bedrooms with en-suite bathroom; an internal yard that would be accessed by bedroom two to provide light and ventilation to this bedroom; plus a large kitchen/dining area to the rear.
- 4.5 Access to the upper floor flat will not be affected in any way as a result of the proposed alterations. The proposed alterations will not affect the parking arrangements at the site. Access to the entrance to the ground floor flat will not be affected in any way as a result of this development.
- 4.6 Overall the proposal will enhance the liveability of the site and will not detract from the character of the area.

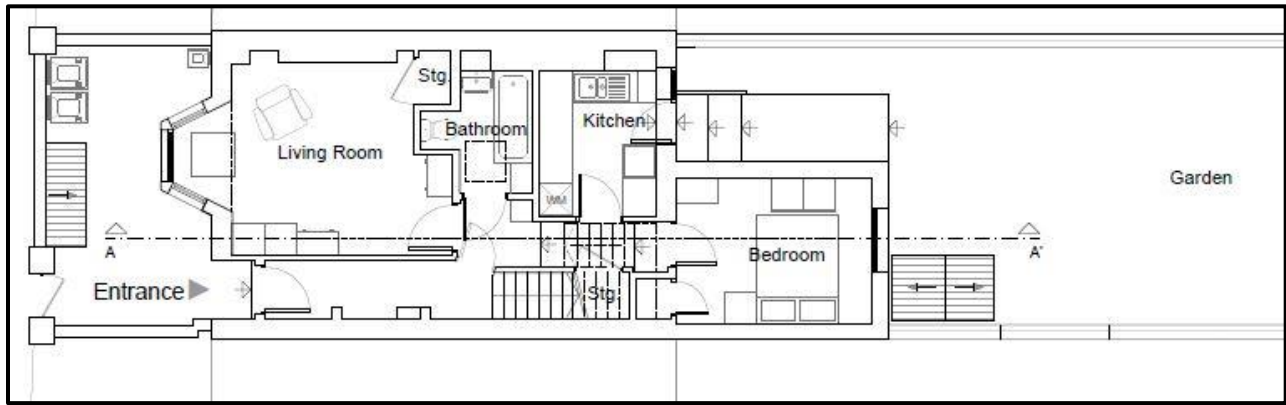


Fig. 5: Existing Ground Floor Layout

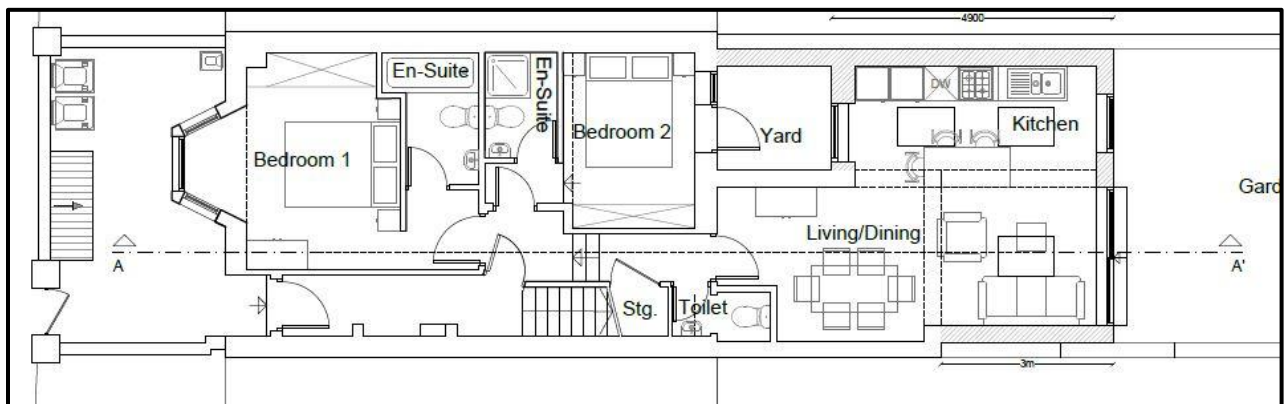


Fig. 6: Proposed Ground Floor Layout

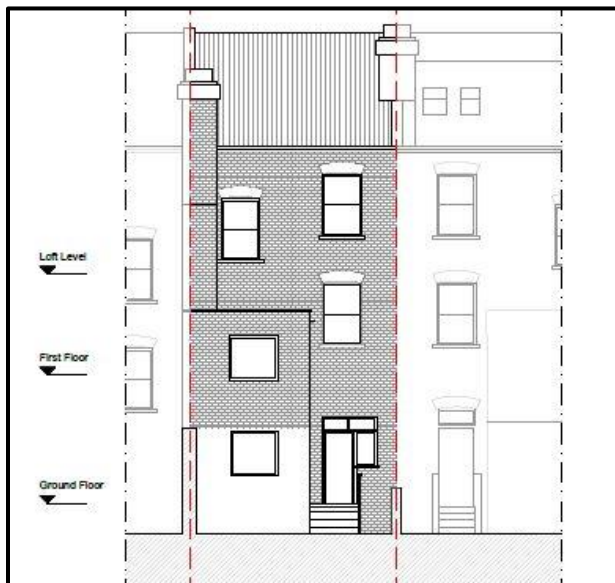


Fig. 7: Existing Rear elevation



Fig. 8: Proposed Rear elevation

5.0 Accessibility

Vehicular Access and Parking:

- 5.1 The development works will not affect vehicular access in any way. There will be no change to the parking arrangements at the site due to the development works. Sufficient off street parking space can be seen in Loveridge Road or on neighbouring streets. The proposed scheme will not create any impact on any highway or public route, nor does it affect any existing amenity.

Inclusive Access:

- 5.2 Access to the upper floor flats will not be affected in any way as a result of the proposed alterations. The rear extension will provide access to the rear garden through the installation of a glazed door in the living room.

Refuse and recycling:

- 5.3 The proposed development works will not affect the existing arrangements or requirements for rubbish collection. No changes have been made to the provision at the front of the site for bins suitable to serve both flats in the building. No changes have been made to the provision of recycling containers adjacent to the refuse store which is located on the communal front garden.

Transport links:

- 5.4 Loveridge Road is conveniently located within walking distance to Kilburn Underground Station and to multiple bus routes. The site is also located within proximity to Brondesbury and West Hampstead Thameslink train stations.

6.0 Conclusion

- 6.1 The proposed development works will provide essential amenity space to this ground floor flat and will substantially improve the quality of the living accommodation at 59A Loveridge Road whilst not having an adverse impact on neighbouring amenities, or on the character of the surrounding area.
- 6.2 The proposed development is demonstrably benign in terms of characteristics and effects to the immediate and surrounding environment. The development will comply with the relevant Central Government Guidance and Development Plan Policies contained within the London Plan 2011 and at a local level, the proposal would aim to comply with Camden's Local Plan Core Strategy and Development Policies 2010-2025. It has also been demonstrated that the works reflect the advice contained within the borough's relevant supplementary planning documents.
- 6.3 For the reasons outlined with this statement, it is requested that the Council look upon favourably with a view to granting planning permission for the Ground Floor Flat, 59 Loveridge Road, NW6 2DU.
- 6.4 Drawing and Planning Ltd would appreciate continued consultation by the appointed officer during the processing of this application to resolve any issues that may arise.