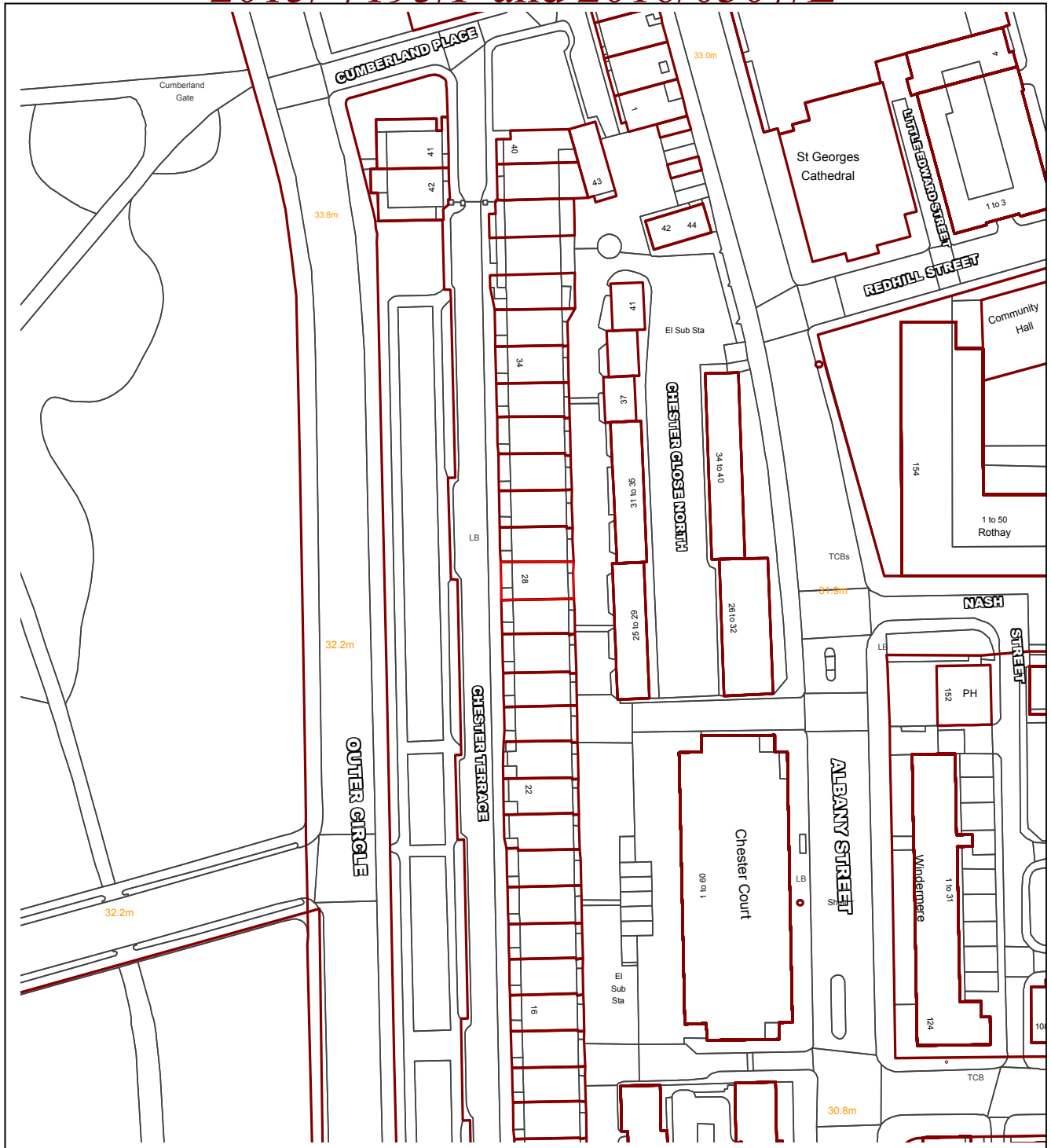


28 Chester Terrace, NW1 4ND 2015/ 7195/P and 2016/0307/L



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Photo 1: Front elevation of no. 28 Chester Terrace



Photo 2: Lower ground front lightwell



Photo 3: Rear elevation of no. 28 Chester Terrace

Delegated Report (Members Briefing)		Analysis sheet		Expiry Date:	15/02/2016
		N/A / attached		Consultation Expiry Date:	18/02/2016
Officer			Application Number(s)		
Elaine Quigley			(i) 2015/7195/P (ii) 2016/0307/L		
Application Address			Drawing Numbers		
28 Chester Terrace London NW1 4ND			See draft decision notices		
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature		
Proposal(s)					
<p>(i) Alterations including replacement of existing roof structure, creation of roof terrace, installation of 2 floor mounted air conditioning units, timber louvre screen, glass enclosure and lift over run on the roof, new chimney pots, lowering of lower ground vault floor under the pavement with new openings to create additional non-habitable storage space, installation of timber glazed screen and door under the front entrance steps within front lighwell, replacement of timber sash single pane windows with timber sash double glazed windows at ground, first and second floors on the rear elevation, replacement of CCTV cameras and replacement lighting on the front and rear elevations of the single family dwelling.</p> <p>(ii) External and internal alterations including replacement of existing roof structure, creation of roof terrace, installation of 2 no. floor mounted air conditioning units, timber louvre screen, glass enclosure and lift over run on the roof, new clay chimney pots, lowering of lower ground vault floor under the pavement with new openings to create additional non-habitable storage space, installation of timber glazed screen and door under the front entrance steps within front lighwell, replacement of timber sash single pane windows with timber sash double glazed windows at ground, first and second floors on the rear elevation, replacement of CCTV cameras and replacement lighting on the front and rear elevations, internal alterations including replacement and reconfiguration of walls and partitions, replacement of staircase from second to third floor level and extension from third floor to roof level, replacement of doors, cornices, and flooring to all floors of the existing single family dwelling.</p>					
Recommendation(s):		1. Grant conditional planning permission 2. Grant conditional listed building consent			
Application Type:		Householder Application Listed Building Consent			

Conditions or Reasons for Refusal:	Refer to Draft Decision Notice					
Informatives:						
Consultations						
Adjoining Occupiers:	No. notified	02	No. of responses	00	No. of objections	00
			No. Electronic	00		
Summary of consultation responses:	A site notice was displayed on 28/01/2016 (expired 18/02/2016) and a press notice was advertised on 28/01/2016 (expired 18/02/2016). No consultation letters were received as a result of the statutory consultation process.					
CAAC/Local groups* *Please Specify	<p>English Heritage English Heritage – Flexible authorisation to determine the applications in line with Camden’s policies and guidance.</p> <p>Regent’s Park CAAC Regent’s Park CAAC <u>objected</u> to the original application but following amendments has <u>withdrawn</u> their objection subject to a condition relating to the details of the glazed screen below the front steps at basement level. Details of the original objection are provided below for completeness.</p> <p><u>Original plans</u> CAAC objected to the proposal on the following grounds:</p> <ol style="list-style-type: none"> 1. The destruction of the original plan layout at lower ground, ground, and first floor is unacceptable: it seriously harms the surviving plan form and its significance as set out above. 2. The introduction of a fireplace to the entrance hall is wholly inappropriate to the character of the house, introducing an alien element which seriously harms the contrast of the entrance hall and the reception rooms. The introduction of two pairs of doors in the partition wall is also harmful to the original scale and proportions balancing the separate front room and the hallway. The separation of the front and rear hall is harmful in terms of the original proportions of this space. The introduction of the lobby to the rear kitchen is seriously harmful to the contained volume of the stairwell – which should be recognized as one of the most important architectural volumes in houses of this period and so to its significance. 3. We object to the cumbersome detailing of the parquet flooring to the first floor front reception room. We acknowledge that the floor could – and, given its design, undoubtedly would – be removed at a later date, but the patterns used are harmful to the perceived proportions of the room. 4. We have accepted the form of roof proposed, but request a condition to ensure that no new construction is visible in long views across the Park, to ensure the consistent roofline of the unified Terrace. 5. We object to the proposal to clutter the rear elevation with lamps as well as CCTV: the lamps are inappropriate – unobtrusive service lighting is available. 6. We would object to any surface treatment of the brickwork to the rear elevation, if that is what the note on the drawing ‘Brown brickwork external wall finish’ means. The rear of the houses, although rebuilt, are at least reasonably consistent in brick colour, type, and pointing. 7. We object strongly to the proposed air-conditioning: we must all take our responsibilities to minimize energy use seriously to ensure that the UK meets our energy-use targets. This installation has no stated justification 					

when natural ventilation in these houses is effective.

Revised plans:

CAAC confirm that the revisions secured met their objections so **no objection** to the revised scheme. In agreement with the applicant that the glazed screen under the front steps should be subject to a condition requiring details to be submitted (enabling the paint colour to be considered further)

Officer response: See 3.12 of the assessment section of the report

London and Middlesex Archaeology Society (LAMAS) acting on behalf of the Council for British Archaeology

LAMAS **objected** to the proposal on the following grounds:

1. Objections were raised to the excavation to increase storage in the original vaults with the subsequent loss of historic fabric.

Officer response: See 3.12 of the assessment section of the report

2. The Committee would prefer secondary glazing to the rear windows rather than the proposed double glazing

Officer response: See 3.8 of the assessment section of the report

Site Description

The application site is located on the east side of Chester Terrace. No 28 Chester Terrace is a mid-terrace 3 storey house with basement and attic accommodation that lies to the west of Chester Close North. Following damage in WWII, the terrace was subject to major refurbishment works behind the facades in 1966 by the Louis de Soissons Partnership. The result is that the main staircase seems to be the only original feature remaining.

Chester Terrace is the longest of Nash's grand stucco terraces that form a backdrop for Regent's Park. The terrace is set back from the Outer Circle and framed by projecting pavilion blocks at each end, linked to the main façade by triumphal arches that span the private drive. The rhythm of the façade is modulated by alternating groups of free-standing or attached Corinthian columns with double attic storeys above the cornice.

Chester Terrace was rebuilt in 1966 after war damage – as 42 houses behind the restored original façade by the Louis de Soissons Partnership. They are all Grade I listed buildings. Although some of the original spirit was carried over it was not a scholarly reconstruction – a more 'modern' 1960's interpretation prevailed - the internal layout was significantly altered, lifts installed to all houses, and the rebuilt structure includes reinforced concrete floors. Notwithstanding this, key elements, such as the plan form, proportions of internal spaces and volumes, and the hierarchy of these spaces and volumes in the building were retained, and constitute important elements of the significance of the Listed Building.

The building is Grade I listed building and the site is located in Regents Park Conservation Area.

Relevant History

There have been a significant number of permissions at neighbouring properties within the terrace for works to the roof including creation of roof terraces, installation of air conditioning units and glazed screens and replacement of rear windows with double glazed windows over the last 10 years. The properties include nos. 26 (approved 2003), 29 (approved 2006), 21 (approved 2007), 16 (approved 2009), 22 (approved 2009), 31 (2009), 15 (approved 2010), 6 (approved 2011), 2 (approved 2014), 35 (approved 2014), 10 (approved 2014).

Relevant policies

National Planning Policy Framework 2012

The London Plan 2016

LDF Core Strategy and Development Policies

Core Strategy

CS5 Managing the impact of growth and development

CS14 Promoting high quality places and conserving our heritage

Development Policies

DP24 Securing high quality design

DP25 Conserving Camden's heritage

DP26 Managing the impact of development on occupiers and neighbours

DP28 Noise and vibration

Regent's Park Conservation Area Appraisal and Management Strategy (July 2011)

Camden Planning Guidance

CGP1 Design (July 2015)

CPG 6 Amenity (2011)

Assessment

1.0 Proposal

1.1 Planning permission is sought for the following works:

- replacement of existing roof structure;
- creation of sunken roof terrace;
- installation of 2 floor mounted air conditioning units;
- installation of timber louvre screen, glass enclosure and lift over run on the roof;
- replacement of chimney pots;
- lowering of lower ground vault floor under the pavement with new openings to create additional non-habitable storage space;
- installation of timber glazed screen and door under the front entrance steps within front lighwell;
- replacement of timber sash single pane windows with timber sash double glazed windows at ground, first and second floors on the rear elevation;
- replacement of CCTV cameras;
- replacement lighting on the front and rear elevations; and
- internal alterations and refurbishment.

1.2 During the course of the application a number of amendments were made to the proposal including:

- Ground floor layout of the entrance sequence revised so that the existing is retained: removal of hearth in the hallway, no extended lobby, replacement of two sets of double doors off the hallway with a single-door from the hallway into the dining room, located in the stair hall not the lobby.
- The passageway into the kitchen enclosed from the hallway in a traditional manner, with an opening same as the existing.
- Basement layout revised to better reflect the existing plan-form
- First floor - Removal of wider opening through a reconstructed wall and amendment to the location of the lift to continue to operate as part of the main circulation space beside the staircase.
- Retention of the front door

2 Assessment

2.1 The main planning considerations in the assessment of this application are:

- Design (the impact of the proposal on the special interest of the host Listed Building and the character and appearance of the Regent's Park Conservation Area); and
- Amenity (the impact of the proposal on the amenity of the adjoining occupiers).

3 Design

Roof terrace

3.1. Policy CS14 aims to ensure the highest design standards from developments. Policy DP24 also states that the Council will require all development, including alterations and extensions to be of the highest standard of design and to respect the character, setting, form and scale of the neighbouring properties as well as the character and proportions of the existing building. Policy DP25 seeks to preserve and enhance the character and appearance of conservation areas.

3.2 CPG1 (Design) provides further guidance relating to roofs, terraces and balconies (chapter 5). It states that roof alterations are likely to be acceptable where there is an established form of roof addition or alteration to a terrace or group of buildings and where continuing the pattern of development would help to re-unite a group of buildings and townscape; where alterations are architecturally sympathetic to the age and character of the building and retain the overall integrity of the roof form; or where there are a variety of additions or alterations to roofs which create an established pattern and where further development of a similar form would not cause additional harm (paragraph 5.7).

3.3 Specific guidance is provided in relation to balconies and terraces, which states that they should form an integral element in the design of elevations. A terrace provided at roof level should be set back behind the slope of a pitched roof or behind a parapet on a flat roof. It should not result in the parapet height being altered; and any handrails should be well set back behind the line of the roofslope, and be invisible from the ground (paragraph 5.25)

3.4 The proposed roof terrace would be similar to other roof terraces approved along the surrounding terrace and is considered acceptable in principle. The terrace would be sunken into the existing structure (within the flat roof section of the mansard roof) and would have no visual impact on the surrounding area. It would be accessed via new stairs continued from the existing internal staircase. The site inspection of the roof structure revealed this to be modern therefore no historic fabric would be lost. There are a number of similar schemes for roof terraces that have been approved at adjoining properties including 5, 6, 15, 16, 21, 22, 31 Chester Terrace. The roof terrace would be screened from views from the surrounding streets and Regent's Park and would be acceptable in design terms.

3.5 The new stair access, glass screen and use of the roof as a terrace would not impact on the fabric or the plan form at this level and would not be visible from the public realm to neighbouring properties. Refurbishment of the mansard roof structure, reusing the existing materials but raising the level of the rear upstand to match that at the front, would have an acceptable impact on the fabric and would not be visible in any public views. In this regard the external works at roof terrace would not harm the special interest of the listed building or character and appearance of the Conservation Area and is therefore considered acceptable.

3.6 Two floor-mounted air conditioning units would be installed on the roof adjacent to the parapet wall. The air conditioning units would not be visible from the street or neighbouring properties and would be considered acceptable.

Alterations to rear fenestration

3.7 CPG1 (Design) states that where it is necessary to alter or replace windows that are original or in the style of the originals, they should be replaced like for like wherever possible in order to preserve the character of the property and the surrounding area. New windows should match the originals as closely as possible in terms of type, glazing patterns and proportions (including the shape, size and placement of glazing bars), opening method, materials and finishes, detailing and the overall size of the window opening (paragraph 4.7).

3.8 The original rear fenestration pattern was altered in the 1960s. Although the existing windows are mostly traditional timber sashes, their proportions and detailing are not consistent with the original Regency date of the terrace. The rear elevation fenestration has been significantly altered since, particularly over the lower floors, with most of the windows in a 1/1 configuration. The proposed windows would be timber-framed sash windows within the existing window frames with the same glazing bars, but would replace the existing single glazing with slimline double glazing. LAMAS has suggested that secondary glazing should be considered rather than double glazed windows on the rear elevation. Given the modified character of the rear elevation, and the reconstructed character of the entire rear of the terrace, the replacement windows are not considered to harm the special architectural or historic interest of the listed building, and are therefore considered to be acceptable.

3.9 Other external works including other new services and replacement CCTV equipment on the rear elevation. These are modest in number and size and are considered acceptable.

Internal alterations

3.10 It also includes refurbishment and minor alterations to the arrangement of the rooms on the principal floors with more extensive re-arrangement to the interiors in the basement and upper floors.

Ground floor

3.11 A new opening will be made between the dining room and kitchen, with folding double doors, retaining nibs and a downstand, and will avoid harm to special interest by retaining the legibility of the historic sequence of rooms. The existing entrance sequence will be retained, with new double doors to the lobby doors, and with the doorway to the kitchen rearranged but retaining the enclosure of the stair compartment and corridor. Floor finishes, including on the main staircase, and joinery to conceal servicing will be altered throughout the floor and would be controlled by condition requiring submission of details to the usual specifications.

Basement and vaults

3.12 A corridor will be removed in the basement to create rooms with larger volumes and larger doorways, but broadly retaining the arrangement and entrance sequence on this floor, without harm to fabric of special interest. A new timber staircase will replace the existing, to the ground floor, which has no special interest and is therefore considered acceptable. A new screen and doors will create an entrance beneath the bridge in the front lightwell: the detailed design of this would be controlled by condition to ensure it is lightweight and realised more sympathetically than at neighbouring houses in the terrace. The lightwell will be refurbished with quality York stone slabs, and the vaults excavated and new openings created to make useable spaces. LAMAS has objected to the excavation to increase storage in the original vaults with the subsequent loss of historic fabric. The agent has advised that through investigation of the vaults that the existing floor construction is a recent (possibly mid 1960's) in-situ cast concrete slab laid over compacted fill. There would be minimal loss of historic fabric resulting from lowering the floor level and the proposal will nonetheless retain the basic volume and legibility of the sequence, so avoiding harm. The vault openings will be fitted with glazed fixed panels, behind the existing timber doors, to light the new rooms. Overall, the impact on the special interest of the vaults as functional spaces is acceptable. The concrete floor slab in the lightwell and vaults is to be renewed, and that is acceptable; however, the impact on the surrounding masonry, especially in the vaults, of the implementation of this replacement needs to be fully understood. This would be sought by condition requiring a method statement to be submitted and approved.

First floor

3.13 The doorway off the stair compartment will be renewed, but set within the existing archway. As elsewhere, the fireplace, floor finishes, decorative mouldings, skirtings and joinery will be controlled by condition. Slight floor-levelling will be acceptable, since the floor structure has been wholly renewed.

Second and third floors

3.14 Reconfiguration of the second and third floors, retaining a stair compartment, corridors and the essential arrangement is acceptable because the rooms at this level have no particular historic quality in their volume, form or finishes, and the fabric is entirely modern.

3.15 Following a series of lengthy discussions the original plans relating mainly to the internal alterations at lower ground and ground floor have been amended to address issues raised by officers. Regents Park Conservation Area Advisory Committee (CAAC) originally objected to the proposal due to the impact of the works on the internal and external character of the building. Following the submission of revised drawings the CAAC have withdrawn their objection to the proposal subject to detailed design conditions relating to the glazed screen under the front steps.

Amenity

3.16 Policy CS5 seeks to protect the amenity of Camden's residents by ensuring the impact of development is fully considered. Furthermore, Policy DP26 seeks to ensure that development protects the quality of life of neighbouring residents. This includes privacy, outlook and implications on daylight and sunlight. CPG6 (Amenity) provides further specific guidance with regards to privacy and outlook

3.17 The proposed use of the roof as a terrace area is considered to be acceptable and will not adversely impact on neighbouring properties with regards to overlooking or loss of daylight. The proposed terrace will be inset into the roof and will be approximately 23 sq metres in size. It will be reached via a new stair access from third floor level and will also incorporate a glass enclosure for the new staircase. The terrace is in excess of 18m from the properties to the rear. It will not enable views into habitable rooms in the adjoining properties.

3.18 Due to the fact that the proposed terrace will be inset into the roof and will be surrounded by a parapet wall and roofslope it is considered that it will not interfere with the privacy of neighbouring properties or result in any potential increase in noise levels.

3.19 A noise report has been submitted in support of the application and has been reviewed by the Council's Environmental Health officer who raises no objections to the proposal subject to standard condition to ensure that the external noise level remains within the minimum noise level requirements.

4 Conclusion

4.1 On balance, the proposals are considered to preserve and enhance the special character of the host Grade I Listed Building and wider Regents Park Conservation Area, and are considered acceptable.

4.2 Special regard has been attached to the desirability of preserving the listed building or its setting or any features of special architectural or historic interest which it possesses under s.66 of the Listed Buildings and Conservation Areas Act 1990 as amended by the Enterprise and Regulatory Reform Act (ERR) 2013.

4.3 Special attention has been paid to the desirability of preserving or enhancing the character or appearance of the conservation area, under s.72 of the Listed Buildings and Conservation Areas Act 1990 as amended by the Enterprise and Regulatory Reform Act (ERR) 2013.

5 Recommendation

5.1 Grant conditional planning permission and conditional listed building consent.

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 15th August 2016, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

Mr. Theo Manzaroli
Purcell LLP
15 Bermondsey Square
London
SE1 3UN

Application Ref: **2015/7195/P**
Please ask for: **Elaine Quigley**
Telephone: 020 7974 **5101**

12 July 2016

DRAFT

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Householder Application Granted

Address:
28 Chester Terrace
London
NW1 4ND

DECISION

Proposal:

Alterations including replacement of existing roof structure, creation of roof terrace, installation of 2 floor mounted air conditioning units, timber louvre screen, glass enclosure and lift over run on the roof, new chimney pots, lowering of lower ground vault floor under the pavement with new openings to create additional non-habitable storage space, installation of timber glazed screen and door under the front entrance steps within front lightwell, replacement of timber sash single pane windows with timber sash double glazed windows at ground, first and second floors on the rear elevation, replacement of CCTV cameras and replacement lighting on the front and rear elevations of the single family dwelling.

Drawing Nos: Site location plan (001); 002; 100; 101; 106; 107; 108; 200A; 201C; 202A; 203A; 204C; 206C; 207A; 208B; 209C; 210B; Plant Noise Assessment produced by CSG Acoustics dated 18th December 2015.

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

Executive Director Supporting Communities



- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policy DP24 and DP25 of the London Borough of Camden Local Development Framework Development Policies.

- 3 The development hereby permitted shall be carried out in accordance with the following approved plans Site location plan (001); 002; 100; 101; 106; 107; 108; 200A; 201C; 202A; 203A; 204C; 206C; 207A; 208B; 209C; 210B; Plant Noise Assessment produced by CSG Acoustics dated 18th December 2015.

Reason: For the avoidance of doubt and in the interest of proper planning.

- 4 No standing furniture or fixtures and fittings shall extend above the ridge of the roof of the building.

Reason: To safeguard the appearance of the premises and the character of the immediate area and Regents Park Conservation Area in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policy DP24 and DP25 of the London Borough of Camden Local Development Framework Development Policies.

- 5 Noise levels at a point 1 metre external to sensitive facades shall be at least 5dB(A) less than the existing background measurement (LA90), expressed in dB(A) when all plant/equipment (or any part of it) is in operation unless the plant/equipment hereby permitted will have a noise that has a distinguishable, discrete continuous note (whine, hiss, screech, hum) and/or if there are distinct impulses (bangs, clicks, clatters, thumps), then the noise levels from that piece of plant/equipment at any sensitive façade shall be at least 10dB(A) below the LA90, expressed in dB(A).

Reason: To safeguard the amenities of the adjoining premises and the area generally in accordance with the requirements of policy CS5 of the London Borough of Camden Local Development Framework Core Strategy and policies DP26 and DP28 of the London Borough of Camden Local Development Framework Development Policies.

Informative(s):

1 Reasons for granting permission.

The proposals would include alterations to the roof, and rear elevation including replacement double glazed windows, replacement CCTV cameras and new lighting on the rear elevation. It also includes refurbishment and minor alterations to the arrangement of the rooms on the principal floors with more extensive re-arrangement to the interiors in the basement and upper floors.

The main alteration proposed to the exterior of the building is the formation of a roof terrace. This terrace would be sunk into the existing structure (within the flat roof section of the mansard roof) and would have no visual impact on the surrounding area. It would be accessed via new stairs continued from the existing internal staircase. The site inspection of the roof structure revealed this to be modern therefore no historic fabric would be lost. There are a number of similar schemes for roof terraces that have been approved at adjoining properties including 5, 6, 15, 16, 21, 22, 31 Chester Terrace. The principle of creating a roof terrace within the existing roof structure is therefore considered acceptable within the terrace of buildings. The roof terrace would be screened from views from the surrounding streets and Regent's Park and would be acceptable in design terms.

The new stair access, glass screen and use of the roof as a terrace would not impact on the fabric or the plan form at this level and would not be visible from the public realm to neighbouring properties. Refurbishment of the mansard roof structure, reusing the existing materials but raising the level of the rear upstand to match that at the front, would have an acceptable impact on the fabric and is unlikely to be visible in any public views. In this regard the external works at roof terrace would not harm the special interest of the listed building or character and appearance of the Conservation Area and is therefore considered acceptable. A condition would be attached to ensure that no standing furniture or fixtures and fittings would be installed that would be visible above the ridge of the roof to ensure that the character and appearance of the Regent's Park Conservation Area are conserved.

Two floor-mounted air conditioning units would be installed on the roof adjacent to the parapet wall. The air conditioning units would not be visible from the street or neighbouring properties and would be considered acceptable.

Other external works including new slimline timber framed double glazed windows and other new services and replacement CCTV equipment on the rear elevation are modest in number and size and are considered acceptable.

The proposed use of the roof as a terrace area is considered to be acceptable and will not adversely impact on neighbouring properties with regards to overlooking or loss of daylight. The proposed terrace will be inset into the roof and will be approximately 23 sq metres in size. It will be reached via a new stair access from third floor level and will also incorporate a glass enclosure for the new staircase. The terrace is in excess of 18m from the properties to the rear. It will not enable views into habitable rooms in the adjoining properties.

Due to the fact that the proposed terrace will be inset into the roof and will be surrounded by a parapet wall and roofslope it is considered that it will not interfere with the privacy of neighbouring properties or result in any potential increase in noise levels.

The Councils' Environmental Health Officer has assessed the plant noise assessment submitted in support of the application. No objections were raised subject to the condition to ensure the air conditioning units operate within the minimum noise standards.

The site's planning and appeal history has been taken into account when coming to this decision. An objection was received from the Regents Park Conservation Advisory Committee to the original proposal. These were withdrawn following the submission of amended drawings.

Special attention has been paid to the desirability of preserving or enhancing the character or appearance of the conservation area, under s.72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended by the Enterprise and Regulatory Reform Act (ERR) 2013.

As such, the proposed development is in general accordance with policies CS5 and CS14 of the London Borough of Camden Local Development Framework Core Strategy and policies DP24, DP25, DP26 and DP28 of the London Borough of Camden Local Development Framework Development Policies. The proposed development also accords with policies 7.4, 7.6 and 7.8 of the London Plan 2016; and paragraphs 14, 17, 56-66 and 126-141 of the National Planning Policy Framework.

- 2 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts which cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Argyle Street WC1H 8EQ, (tel: 020-7974 6941).
- 3 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Compliance and Enforcement team [Regulatory Services], Camden Town Hall, Argyle Street, WC1H 8EQ (Tel. No. 020 7974 4444 or on the website <http://www.camden.gov.uk/ccm/content/contacts/council-contacts/environment/contact-the-environmental-health-team.en> or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

Executive Director Supporting Communities

DRAFT

DECISION

Purcell LLP
15 Bermondsey Square
London
SE1 3UN

Application Ref: **2016/0307/L**
Please ask for: **Elaine Quigley**
Telephone: 020 7974 **5101**

12 July 2016

DRAFT

Dear Sir/Madam

DECISION

Planning (Listed Building and Conservation Areas) Act 1990

Listed Building Consent Granted

Address:
28 Chester Terrace
London
NW1 4ND

DECISION

Proposal:

External and internal alterations including replacement of existing roof structure, creation of roof terrace, installation of 2 no. floor mounted air conditioning units, timber louvre screen, glass enclosure and lift over run on the roof, new clay chimney pots, lowering of lower ground vault floor under the pavement with new openings to create additional non-habitable storage space, installation of timber glazed screen and door under the front entrance steps within front lighwell, replacement of timber sash single pane windows with timber sash double glazed windows at ground, first and second floors on the rear elevation, replacement of CCTV cameras and replacement lighting on the front and rear elevations, internal alterations including replacement and reconfiguration of walls and partitions, replacement of staircase from second to third floor level and extension from third floor to roof level. replacement of doors, cornices, and flooring to all floors of the existing single family dwelling.

Drawing Nos: Site location plan (001); 002; 100; 101; 106; 107; 108; 200A; 201C; 202A; 203A; 204C; 206C; 207A; 208B; 209C; 210B; Plant Noise Assessment produced by CSG Acoustics dated 18th December 2015.

Executive Director Supporting Communities



The Council has considered your application and decided to grant subject to the following condition(s):

Conditions And Reasons:

- 1 The works hereby permitted shall be begun not later than the end of three years from the date of this consent.

Reason: In order to comply with the provisions of Section 18 of the Planning (Listed Buildings and Conservation Areas) Act 1990.

- 2 All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, colour, texture and profile, unless shown otherwise on the drawings or other documentation hereby approved or required by any condition(s) attached to this consent.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policy DP25 of the London Borough of Camden Local Development Framework Development Policies.

- 3 The works hereby approved are only those specifically indicated on the drawing(s) referred to above.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policy DP25 of the London Borough of Camden Local Development Framework Development Policies.

- 4 Detailed drawings, or samples of materials as appropriate, in respect of the following, shall be submitted to and approved in writing by the local planning authority before the relevant part of the work is begun:

a) Typical details of new railings at a scale of 1:10 with finials at 1:1, including materials, finish and method of fixing into the plinth.

b) Plan, elevation and section drawings of all new doors at a scale of 1:10 with typical moulding and architrave details at a scale of 1:1.

c) Plan, elevation and section drawings, including jambs, head and cill, of all new window and door openings.

d) Plan, elevation and section drawings of all new windows at a scale of 1:10 with typical glazing bar details at 1:1.

e) Samples and/or manufacturer's details of new facing materials for the (to be provided on site and retained on site during the course of the works).

f) Details of service runs for all new bathrooms/kitchens, demonstrating the relationship of new pipework with the structure of the building.

The relevant part of the works shall not be carried out otherwise than in accordance with the details thus approved.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policy DP25 of the London Borough of Camden Local Development Framework Development Policies.

Informative(s):

1 Reasons for granting listed building consent.

The proposals would include alterations to the roof, and rear elevation including replacement double glazed windows, replacement CCTV cameras and new lighting on the rear elevation. It also includes refurbishment and minor alterations to the arrangement of the rooms on the principal floors with more extensive re-arrangement to the interiors in the basement and upper floors.

A new opening will be made between the dining room and kitchen, with folding double doors, retaining nibs and a downstand, and will avoid harm to special interest by retaining the legibility of the historic sequence of rooms. The existing entrance sequence will be retained, with new double doors to the lobby doors, and with the doorway to the kitchen rearranged but retaining the enclosure of the stair compartment and corridor. Floor finishes, including on the main staircase, and joinery to conceal servicing will be altered throughout the floor and must be controlled by pre-commencement condition requiring submission of details to the usual specifications.

A corridor will be removed in the basement to create rooms with larger volumes and larger doorways, but broadly retaining the arrangement and entrance sequence on this floor, and without harm to fabric of special interest. A new timber staircase will replace the existing, to the ground floor, which has no special interest. A new screen and doors will create an entrance beneath the bridge in the front lightwell: the design of this should be controlled by condition to ensure it is lightweight and realised more sympathetically than at neighbouring houses in the terrace. The lightwell will be refurbished with quality York stone slabs, and the vaults excavated and new openings created to make useable spaces, which will nonetheless retain the basic volume and legibility of the sequence, so avoiding harm. The vault openings will be fitted with glazed fixed panels, behind the existing timber doors, to light the new rooms. Overall, the impact on the special interest of the vaults as functional spaces is acceptable. The concrete floor slab in the lightwell and vaults is to be renewed, and that is acceptable; however, the impact on the surrounding masonry, especially in the vaults, of the implementation of this replacement needs to be fully understood with the submission of a construction

method statement.

The doorway off the stair compartment will be renewed, but set within the existing archway. As elsewhere, the fireplace, floor finishes, decorative mouldings, skirtings and joinery will be controlled by condition. Slight floor-levelling will be acceptable, since the floor structure has been wholly renewed.

Reconfiguration of the second and third floors, retaining a stair compartment - corridors and the essential arrangement - is acceptable because the rooms at this level have no particularly historic quality in their volume, form or finishes, and the fabric is entirely modern.

The roof terrace, being situated in an existing and non-original well between the slated roof slopes, will have no impact on the special interest of the listed building. Refurbishment of the mansard roof structure, reusing the existing materials but raising the level of the rear upstand to match that at the front, would have an acceptable impact on the fabric and is unlikely to be visible in any public views. The sliding glass roof, glazed screen and door, are acceptable.

- 2 New slimline timber-framed double-glazed windows on the rear elevation are an acceptable upgrade. Other new services and apparatus to be fitted to the rear elevation are either replacements or modest in number and size, and so are acceptable.

The lift mechanism will be replaced within the existing shaft, having no impact on special interest. The installation of a new heating system will not affect any significant historic fabric since the floor structure was entirely renewed after the War.

Overall, the external and internal alterations to the listed building would not cause a material level of harm to its significance and are acceptable.

The site's planning and appeal history has been taken into account when coming to this decision. No comments have been received as a result of the consultation process.

Special regard has been attached to the desirability of preserving the listed building and its features of special architectural or historic interest, under s.16 of the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended by the Enterprise and Regulatory Reform Act (ERR) 2013

As such, the proposal is in general accordance with policy CS14 of the London Borough of Camden Local Development Framework Core Strategy, and policy DP25 of the London Borough of Camden Local Development Framework Development Policies. The proposed development also accords with policy 7.8 of the London Plan 2016, and paragraphs 14, 17, 56-68 and 126-141 of the National Planning Policy Framework 2012.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

Executive Director Supporting Communities

DRAFT

DECISION