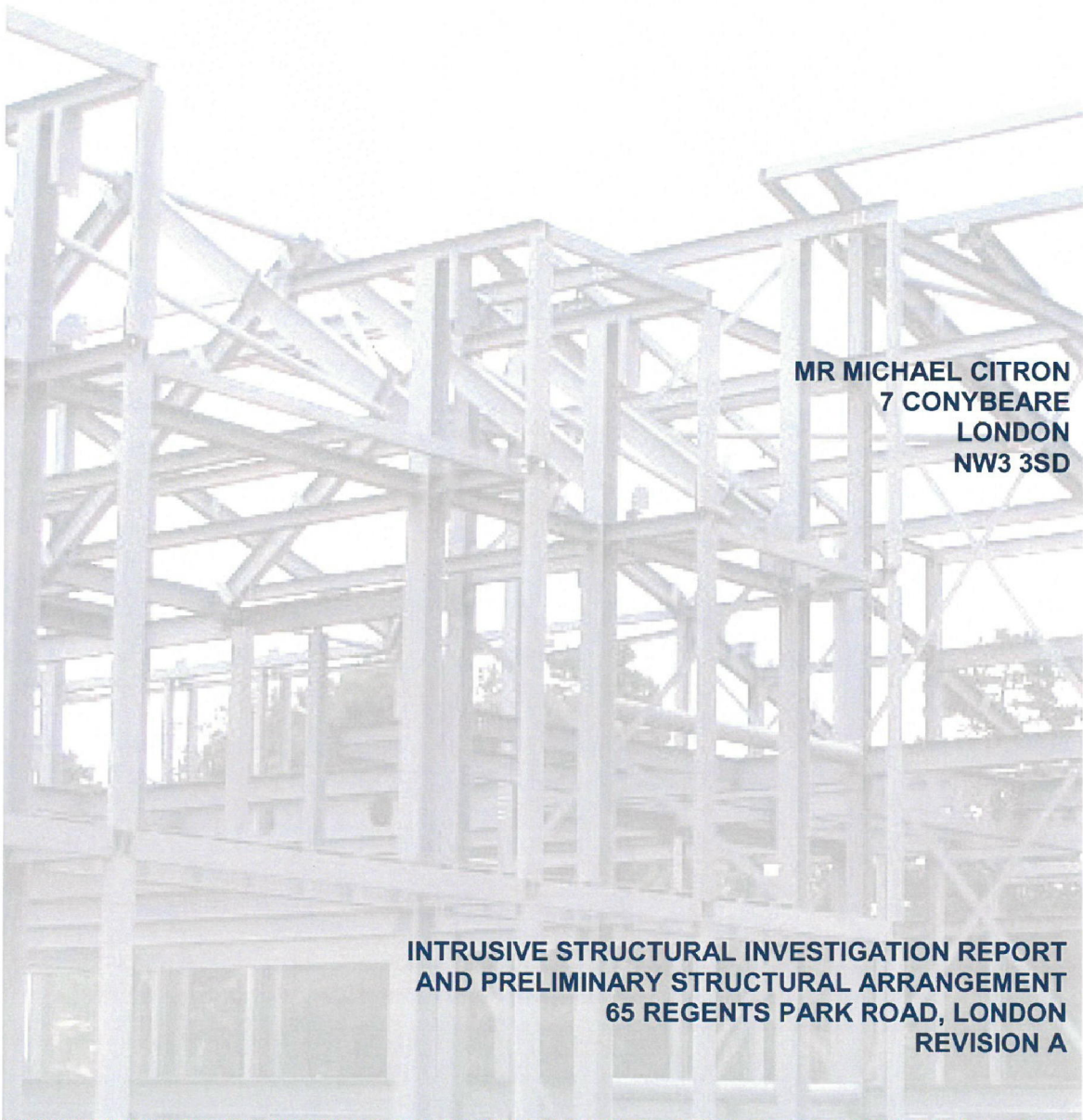


JP Chick & Partners Ltd
Consulting Civil & Structural Engineers



**MR MICHAEL CITRON
7 CONYBEARE
LONDON
NW3 3SD**

**INTRUSIVE STRUCTURAL INVESTIGATION REPORT
AND PRELIMINARY STRUCTURAL ARRANGEMENT
65 REGENTS PARK ROAD, LONDON
REVISION A**

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1.0 INTRODUCTION

Further to the completion of our visual structural inspection undertaken October 2015, J P Chick and Partners have been appointed by Mr Michael Citron, to undertake the intrusive investigation recommended in our original report to confirm the existing construction and provide a preliminary structural arrangement for consideration. This report shall be read in conjunction with our original report.

We attended the property on Tuesday 18 October 2016 accompanied by our client Mr Michael Citron, Mr Jeremy Peacock of Formwork Architects and the clients' builder.

2.0 PREVIOUS RECOMMENDATIONS

Section 7.0 of our previous report recommended the following intrusive investigations;

- Roof construction over which the proposed construction will sit.
- Basement construction beyond the rear wall.
- Confirm the internal structure such as joist spans and bearings.

It was not necessary to investigate the existing roof construction due to a slight alteration to the proposed design and construction methodology as it is now proposed to raise the floor level up away from the existing roof as this will reduce the number of steps down into the extension, increasing the floor area. This methodology will also minimise the number of penetrations through existing waterproofing.

3.0 INTRUSIVE INVESTIGATION

3.1 Basement Construction Beyond the Rear Wall

The clients' builder removed the finishing panel and an area of blockwork used to infill what is believed to be a window / coal chute which revealed the presumed void to be filled with what appeared to be general construction rubble; crushed concrete, masonry and the like.

The ground floor slab of the butchers was visible which we consider to be bearing on the fill material. A vertical plastic pipe was also visible immediately to the right of the opening which when traced back through the building is believed to be a rainwater downpipe that serves the rear extension roof. It is considered that this pipe along with other rainwater and foul water pipes from the rear of the building are routed down to the basement, across to the front elevation where they discharge into a sewer within Regents Park Road.



3.2 Internal Structure of Flat

We inspected the internal structure, joist spans and load bearing walls via an existing hatch in the suspended ceiling located within the bathroom. Unfortunately, the joist spans were hidden behind what appeared to be the original lathe and plaster finishes. A single duct was observed above the suspended ceiling which presumably provides air extraction / ventilation which were traced through the flat to a vent in the rear wall.

The cracking observed during our initial inspection to the load bearing wall has spread although the crack widths have remained similar. The previous distortions observed to the doorway and floor do not appear to have worsened.

Please refer to Appendix A for a photographic record of inspection.

4.0 LIMITATIONS

This report shall be for the private and confidential use of the client for whom it was undertaken and it should not be reproduced in whole or in part or relied upon by third parties for any use without the express written authority of J P Chick and Partners Limited. Unless stated otherwise in the report, we have not disturbed any fixtures and therefore no fitted carpets, floorboards or linings have been removed. Coupled with this, we have not exposed

the foundations or tested the drains to the property. We are therefore unable to report that such part of the property is free from defect.

We have not inspected woodwork or other parts of the structure, which are covered, unexposed or inaccessible and we are therefore unable to report that any such part of the property is free from defect.

The condition of the finishes, waterproofing, damp penetration and structural timbers, unless specifically referred to, are not the subject of this report. We would recommend the services of a specialist to cover these areas.

5.0 PROPOSED STRUCTURAL ARRANGEMENTS

Based on our inspections and investigations we have provided a potential structural arrangement for the proposed first floor extension for consideration and preliminary costing. The internal alterations, removal of the load bearing wall, remains the same.

To summarise we propose to support the extension from two steel beams that are raised up above the existing roof level. The principal steel will span the width of the property taking support from the Party Walls

15 November 2016
IG15/295 Rev A

65 Regents Park Road, London

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either side and support the rear wall and roof of the proposed extension. A secondary steel will cleat into the primary steel, spanning to and taking support from the existing rear wall. This beam will support the side wall of the proposed extension.

The final floor level is to be confirmed by the Architect to minimise the number of steps required into the extension. The extension itself will be constructed from timber studwork sheathed with plywood create a diaphragm action providing the lateral stability.

Internally, the load bearing wall will be replaced with a down stand steel beam let into the Party Walls. The bearing in the wall shared with No. 67 shall be carefully considered as we are aware of a beam at this level within No. 67 present near this location. Consideration will be required to the construction methodology and we consider it likely that the beam will require splicing to aid handling and installation.

Please refer to Appendix B for details.

The proposals are subject to statutory approvals such as planning, building regulations and party wall agreements. We can provide Party Wall services and would be happy to provide you with a fee quotation should this be of interest.



Simon Laird
On behalf of J P Chick & Partners Limited



Paul Davis
On behalf of J P Chick & Partners Limited

15 November 2016
IG15/295 Rev A

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APPENDIX A

Photographic Schedule



Photo A – Blockwork removed from window / coal chute revealing construction rubble material.



Photo B – Rainwater pipe and underside of slab to butchers preparation area.



Photo C – Cracking to internal load bearing wall appears to have spread, crack widths have remained static.



Photo D – Air extraction / ventilation ducting within suspended ceiling located within Bathroom.



Photo E – Existing assumed foul water pipework from 2nd floor flat to be relocated.

15 November 2016
IG15/295 Rev A

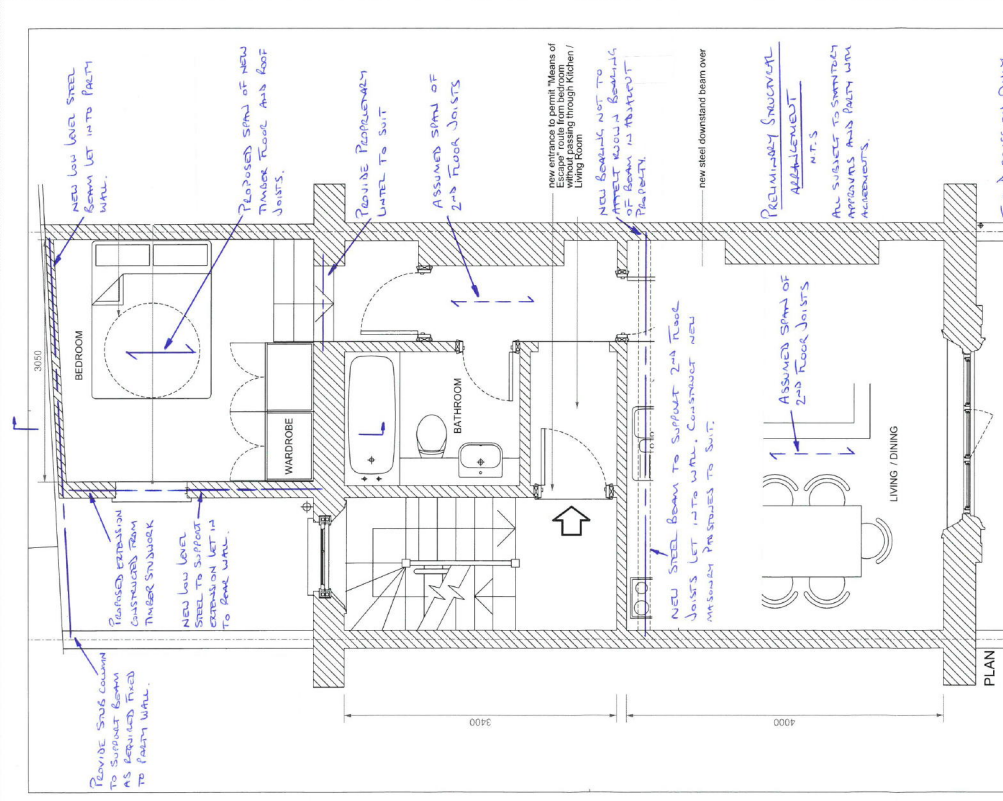
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APPENDIX B

Proposed Structural Arrangement



REMOVE STUD COLUMN TO SUPPORT BEAM & PROVIDE TIED TO PARTY WALL.

REMOVE EXISTING CHIMNEY FROM TIMBER STUDWORK

NEW LOW LEVEL STEEL TO SUPPORT EXPANSION LET IN TO BRICK WALL.

NEW LOW LEVEL STEEL BEAM LET INTO PARTY WALL.

PROPOSED SIMN OF NEW TIMBER FLOOR AND ROOF JOISTS.

REMOVE PROPOSED WHEEL TO SUIT

ASSUMED SIMN OF 2ND FLOOR JOISTS

new entrance to permit 'Means of Escape' without passing through Kitchen / Living Room

NEW ROOFING NOT TO MATCH ROOM A BEARING OF BEAM IN PARTIAL PARTY

new steel downstand beam over

ASSUMED SIMN OF 2ND FLOOR JOISTS

PRELIMINARY STRUCTURAL ARRANGEMENT

ALL SUBJECT TO STRUCTURAL APPROVALS AND PARTY WALL AGREEMENTS

FORMWORK ARCHITECTS LTD
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 Tel: 020 7732 7289
 Fax: 020 7732 7299
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 E: info@formwork.co.uk
 T: 020 7732 7289
 F: 020 7732 7299

Designed by: **Sumas** Date: **16/12/24**
 Checked by: **M** Date: **16/12/24**

65 Results Park Road, London

FOR DISCUSSION ONLY

CALCULATION SHEET

SHEET NO.

SKETCH SHEET

LOCATION: 65 REDDITS PARK ROAD, LONDON

JP Chick & Partners Ltd
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Eng: S. LIND Date: Nov 16 Job No.: 1515/295 Sheet of

