



## **Location Plan**

Scale 1:1250

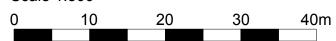
0 10 20 30 40 50 60 70 80 90 100m





# **Existing Block Plan**

Scale 1:500



NOTES

© COPYRIGHT - DETAILED PLANNING LTD

all dimension should be checked on site prior to works commencing. Variations in squareness, depth of plaster etc, must be checked for. Where new walls are shown as aligned with existing walls, physical removal of brickwork and / or plaster to establish the actual position of the wall being attached to must be checked.

any discrepancies should be reported in writing immediately.

when printing off PDF's, check that the drawings are printed to correct paper size and scale.

documents should be used as to the drawing status described

property owner to ensure that all aspects of the "party wall etc., act 1996" are complied with prior to any works commencing on site.



## DETAILED PLANNING

UNIT6, ST ALBANS HOUSE ST ALBANS LANE GOLDERS GREEN LONDON NW11 7QE

T 0208 1500 494 E INFO@DETAILED-PLANNING.CO.UK WWW.DETAILED-PLANNING.CO.UK

CLIENT

Mr James Bentley

SITE

17 Ulysses Road, London NW6 1ED

DRAWING TITLE

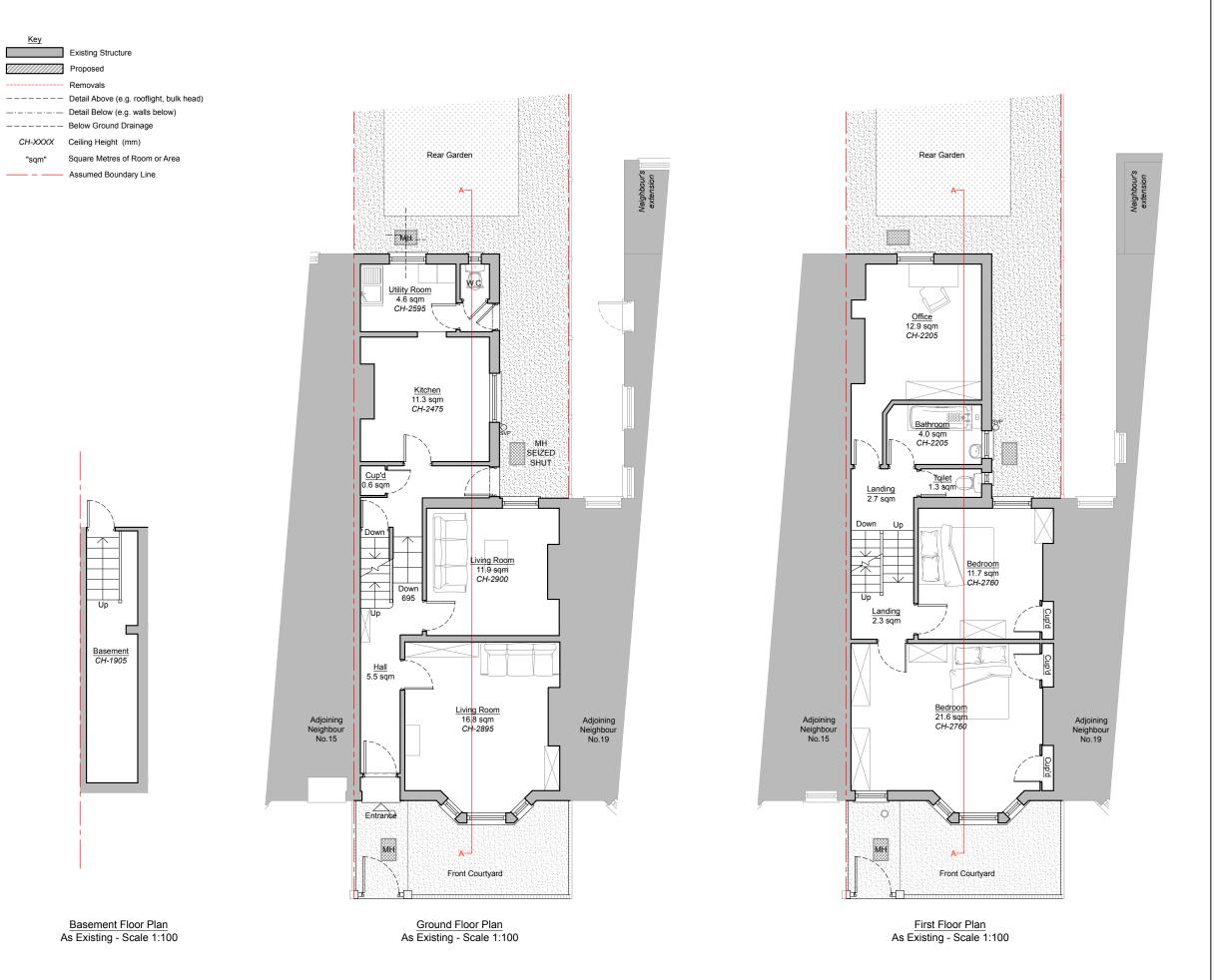
Location Plan and Existing Block Plan

DRAWINGS STATUS

Planning

SCALE	DATE	DRAWN	CHECKED
As Noted @ A3	Feb. 2017	P.S. & L.M.	P.D P.C.
DRAWING	NO.		REVISION

1219JB\_FUL: SH1 REVISION O



© COPYRIGHT - DETAILED PLANNING LTD

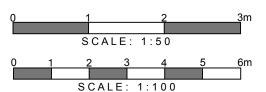
all dimension should be checked on site prior to works commencing. Variations in squareness, depth of plaster etc, must be checked for. Where new walls are shown as aligned with existing walls, physical removal of brickwork and / or plaster to establish the actual position of the wall being attached to must be checked.

any discrepancies should be reported in writing immediately.

when printing off PDF's, check that the drawings are printed to correct paper size and scale.

documents should be used as to the drawing status described

property owner to ensure that all aspects of the "party wall etc., act 1996" are complied with prior to any works commencing on site.





## DETAILED PLANNING

UNIT6, ST ALBANS HOUSE ST ALBANS LANE GOLDERS GREEN LONDON NW11 7QE

T 0208 1500 494 E INFO@DETAILED-PLANNING.CO.UK WWW.DETAILED-PLANNING.CO.UK

CLIENT

Mr James Bentley

SITE

17 Ulysses Road, London NW6 1ED

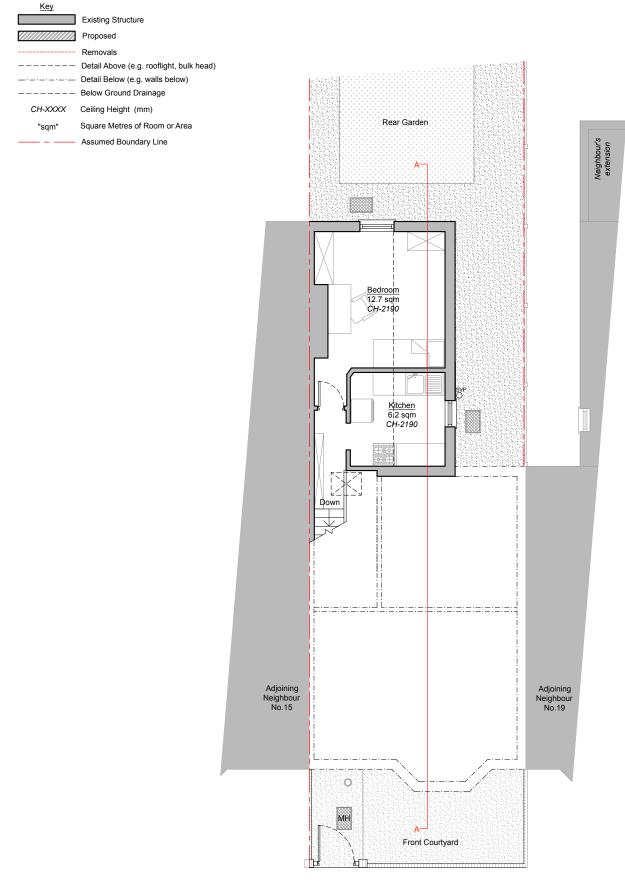
DRAWING TITLE

Existing Basement, Ground and First Floor Plans

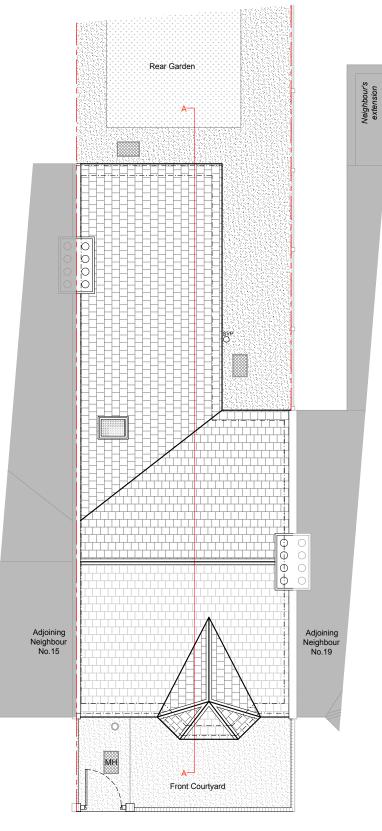
DRAWINGS STATUS

Planning

SCALE	DATE	DRAWN	CHECKED
1:100 @ A3	Feb. 2017	P.S. & L.M.	P.D P.C.
DRAWING	NO.		REVISION
1219JB_FUL: 5	SH2		0



Second Floor Plan
As Existing - Scale 1:100



Roof Plan
As Existing - Scale 1:100

© COPYRIGHT - DETAILED PLANNING LTD

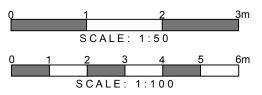
all dimension should be checked on site prior to works commencing. Variations in squareness, depth of plaster etc, must be checked for. Where new walls are shown as aligned with existing walls, physical removal of brickwork and / or plaster to establish the actual position of the wall being attached to must be checked.

any discrepancies should be reported in writing immediately.

when printing off PDF's, check that the drawings are printed to correct paper size and scale.

documents should be used as to the drawing status described

property owner to ensure that all aspects of the "party wall etc., act 1996" are complied with prior to any works commencing on site.





## DETAILED PLANNING

UNIT6, ST ALBANS HOUSE ST ALBANS LANE GOLDERS GREEN LONDON NW11 7QE

T 0208 1500 494 E INFO@DETAILED-PLANNING.CO.UK WWW.DETAILED-PLANNING.CO.UK

CLIENT

Mr James Bentley

SIT

17 Ulysses Road, London NW6 1ED

DRAWING TITLE

Existing Second Floor and Roof Plans

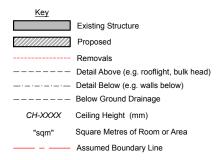
DRAWINGS STATUS

Planning

 SCALE
 DATE
 DRAWN
 CHECKED

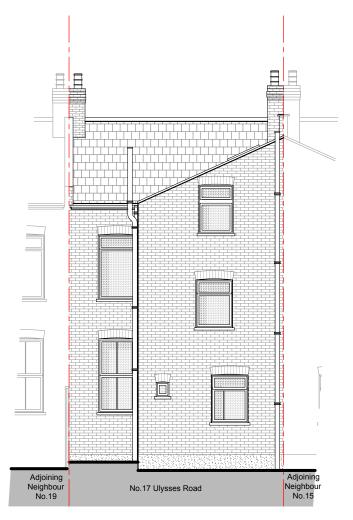
 1:100 @ A3
 Feb. 2017
 P.S. & L.M.
 P.D. - P.C.

DRAWING NO. 1219JB\_FUL: SH3 REVISION 0





Front Elevation
As Existing - Scale 1:100



Rear Elevation
As Existing - Scale 1:100

#### © COPYRIGHT - DETAILED PLANNING LTD

all dimension should be checked on site prior to works commencing. Variations in squareness, depth of plaster etc, must be checked for. Where new walls are shown as aligned with existing walls, physical removal of brickwork and / or plaster to establish the actual position of the wall being attached to must be checked.

any discrepancies should be reported in writing immediately.

when printing off PDF's, check that the drawings are printed to correct paper size and scale.

documents should be used as to the drawing status described

property owner to ensure that all aspects of the "party wall etc., act 1996" are complied with prior to any works commencing on site.





## DETAILED PLANNING

UNIT6, ST ALBANS HOUSE ST ALBANS LANE GOLDERS GREEN LONDON NW11 7QE

T 0208 1500 494 E INFO@DETAILED-PLANNING.CO.UK WWW.DETAILED-PLANNING.CO.UK

## CLIENT

Mr James Bentley

#### CITE

17 Ulysses Road, London NW6 1ED

### DRAWING TITLE

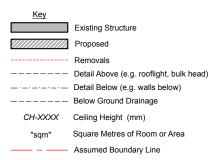
Existing Front and Rear Elevations

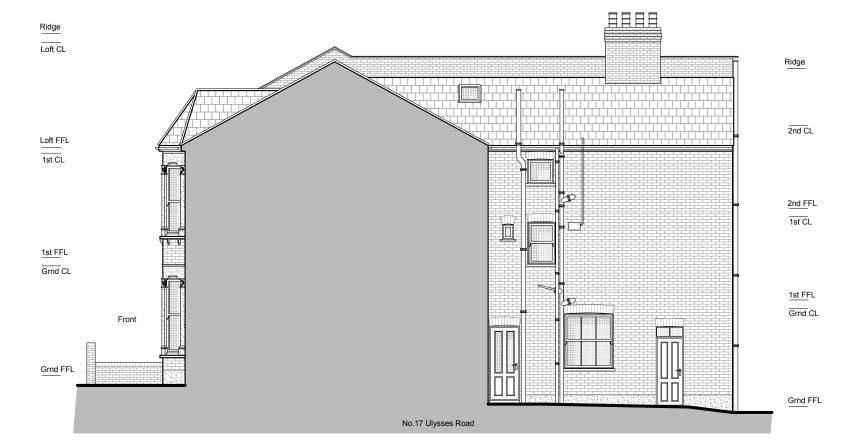
## DRAWINGS STATUS

### Planning

SCALE	DATE	DRAWN	CHECKED
1:100 @ A3	Feb. 2017	P.S. & L.M.	P.D P.C.
DRAWING	NO		REVISION

DRAWING NO. 1219JB\_FUL: SH4 REVISIO 0





Side Elevation
As Existing - Scale 1:100

#### © COPYRIGHT - DETAILED PLANNING LTD

all dimension should be checked on site prior to works commencing. Variations in squareness, depth of plaster etc, must be checked for. Where new walls are shown as aligned with existing walls, physical removal of brickwork and / or plaster to establish the actual position of the wall being attached to must be checked.

any discrepancies should be reported in writing immediately.

when printing off PDF's, check that the drawings are printed to correct paper size and scale.

documents should be used as to the drawing status described

property owner to ensure that all aspects of the "party wall etc., act 1996" are complied with prior to any works commencing on site.





## DETAILED PLANNING

UNIT6, ST ALBANS HOUSE ST ALBANS LANE GOLDERS GREEN LONDON NW11 7QE

T 0208 1500 494 E INFO@DETAILED-PLANNING.CO.UK WWW.DETAILED-PLANNING.CO.UK

## CLIENT

Mr James Bentley

#### SITE

17 Ulysses Road, London NW6 1ED

## DRAWING TITLE

Existing Side Elevation

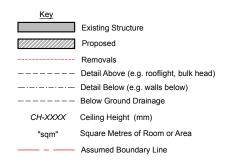
1219JB\_FUL: SH5

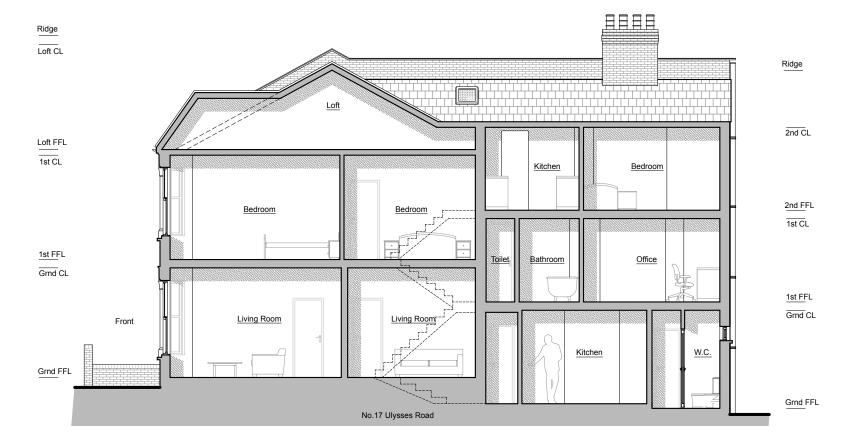
## DRAWINGS STATUS

#### Planning

SCALE	DATE	DRAWN	CHECKED
1:100 @ A3	Feb. 2017	P.S. & L.M.	P.D P.C.
DRAWING	NO.		REVISION

0





Section A-A
As Existing - Scale 1:100

#### © COPYRIGHT - DETAILED PLANNING LTD

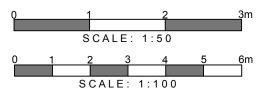
all dimension should be checked on site prior to works commencing. Variations in squareness, depth of plaster etc, must be checked for. Where new walls are shown as aligned with existing walls, physical removal of brickwork and / or plaster to establish the actual position of the wall being attached to must be checked.

any discrepancies should be reported in writing immediately.

when printing off PDF's, check that the drawings are printed to correct paper size and scale.

documents should be used as to the drawing status described

property owner to ensure that all aspects of the "party wall etc., act 1996" are complied with prior to any works commencing on site.





## DETAILED PLANNING

UNIT6, ST ALBANS HOUSE ST ALBANS LANE GOLDERS GREEN LONDON NW11 7QE

T 0208 1500 494 E INFO@DETAILED-PLANNING.CO.UK WWW.DETAILED-PLANNING.CO.UK

## CLIENT

Mr James Bentley

#### SITE

17 Ulysses Road, London NW6 1ED

## DRAWING TITLE

Existing Section A-A

## DRAWINGS STATUS

#### Planning

SCALE	DATE	DRAWN	CHECKED
1:100 @ A3	Feb. 2017	P.S. & L.M.	P.D P.C.
DRAWING	NO.		REVISION
1219JB_FUL: S	:H6		0