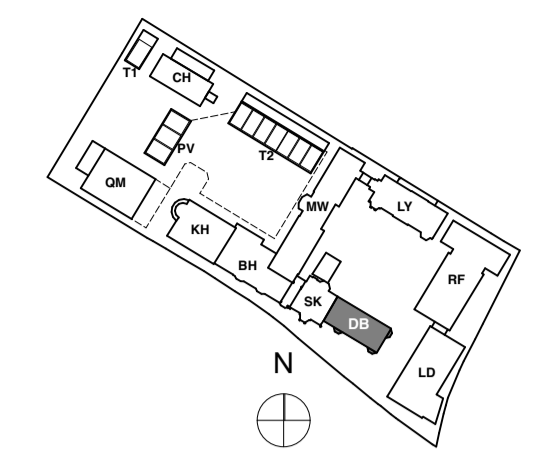


**DIMENSION AT ORIGINAL SHEET SIZE**  
 Contractors must check all dimensions on site. Only figured dimensions are to be worked from.  
 Discrepancies must be reported to the Architect before proceeding. © This drawing is Copyright



**KEY PLAN**  
 NOTE:  
 ALL DIMENSIONS ARE FOR GUIDELINES ONLY - ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR MANUFACTURING

DB External Windows And Doors Schedule																		
Location	DB_EXT BASEMENT (CONC)																	
Window Ref	DB-ED-BO-01B	DB-ED-BO-02	DB-ED-BO-03	DB-W-BO-01A	DB-W-BO-01C	DB-ED-GF-14	DB-ED-GF-18	DB-ED-GF-20	DB-ED-GF-22	DB-ED-GF-27	DB-W-GF-01	DB-W-GF-02	DB-W-GF-03	DB-W-GF-04	DB-W-GF-05	DB-W-GF-06	DB-W-GF-07	
H+R Reference	N/A	N/A	N/A	N/A	N/A	DB-0-W20	DB-0-W16	DB-0-W14	DB-0-W12	N/A	DB-0-W32	DB-0-W31	DB-0-W30	DB-0-W29	DB-0-W28	DB-0-W27	DB-0-W26	
Approx W x H Size	1,716x2,250	1,404x2,460	1,404x2,460	---	---	905x2,479	1,156x2,549	1,300x2,380	870x2,324	1,068x2,264	1,100x1,915	1,100x1,915	800x1,915	1,100x1,915	800x1,915	1,100x1,915	1,100x1,915	
Elevation				Please refer to plans and elevations for more detail.	Please refer to plans and elevations for more detail.													
Status	New Double Door	New Double Door	New Double Door	Structural Screen	Structural Screen	New Door	New Door	New Door	New Door	Existing Door	Existing Window	Existing Window	Existing Window	Existing Window	Existing Window	Existing Window	Existing Window	
Glazing	Structural Glazing	Single Glazing	Single Glazing	Structural Glazing	Structural Glazing	Single Glazed	Single Glazed	N/A	Single Glazed	N/A	Single Glazed Opaque	Single Glazed	Single Glazed	Single Glazed	Single Glazed	Single Glazed	Single Glazed Opaque	
External Frame Colour	N/A	White	White	N/A	N/A	White	White	Royal Blue	White	Royal Blue	White	White	White	White	White	White	White	
Description	Structural glass double door opening out	Timber double door with 12 no panes each. Opening out	Timber double door with 12 no panes each. Opening out	All structural glazing panels to three sides of conciege with set of double door ref DB-ED-BO-01B	All structural glazing panels to three sides of conciege with set of double door ref DB-ED-BO-01B	15 panes timber door opening out	15 panes timber door opening out	4 paneled timber door opening in	12 pane door with fixed 3 no panes over, 8 panes fixed panels with 2 panes over to each side.	4 paneled timber door opening in	Timber sash window with 6 over 6 window pane arrangement.	Timber sash window with 6 over 6 window pane arrangement.	Timber sash window with 4 over 4 window pane arrangement.	Timber sash window with 6 over 6 window pane arrangement.	Timber sash window with 4 over 4 window pane arrangement.	Timber sash window with 6 over 6 window pane arrangement.	Timber sash window with 6 over 6 window pane arrangement.	
Proposed Approach	To manufacturer recommendations	N/A	N/A	To manufacturer recommendations	To manufacturer recommendations	N/A	N/A	New door to match existing ref: DB-ED-GF-27	N/A	Completely refurbish and repair existing door, including incorporating draught stripping. Door to be eased.	Completely refurbish and repair existing window, including incorporating draught stripping. Window to be eased. Glazing to be replaced with opaque.	Completely refurbish and repair existing window, including incorporating draught stripping.	Completely refurbish and repair existing window, including incorporating draught stripping.	Completely refurbish and repair existing window, including incorporating draught stripping.	Completely refurbish and repair existing window, including incorporating draught stripping.	Completely refurbish and repair existing window, including incorporating draught stripping.	Completely refurbish and repair existing window, including incorporating draught stripping. Glazing to be replaced with opaque.	
Ironmongery	New Ironmongery (TBC)	New ironmongery match existing in style through out the building. Additional latches to be installed.	New ironmongery match existing in style through out the building. Additional latches to be installed.	N/A	N/A	New ironmongery match existing in style through out the building. Additional latches to be installed.	New ironmongery match existing in style through out the building. Additional latches to be installed.	New ironmongery match existing in style through out the building. Additional latches to be installed.	New ironmongery match existing in style through out the building. Additional latches to be installed.	New ironmongery match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	

To be developed further

## CONSTRUCTION

REVISION	DRN	CHKD	DATE
C1 Issue for Construction	K/C	TW	02/12/2016



CLIENT  
 MOUNT ANVIL LTD

PROJECT  
 KIDDERPORE AVENUE

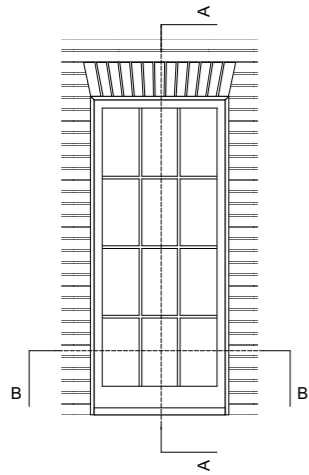
DRAWING  
 Dudin Brown  
 External Window And Door Schedule Sheet 1 of 5

SCALE 1:1 @ A1 DATE December 2016

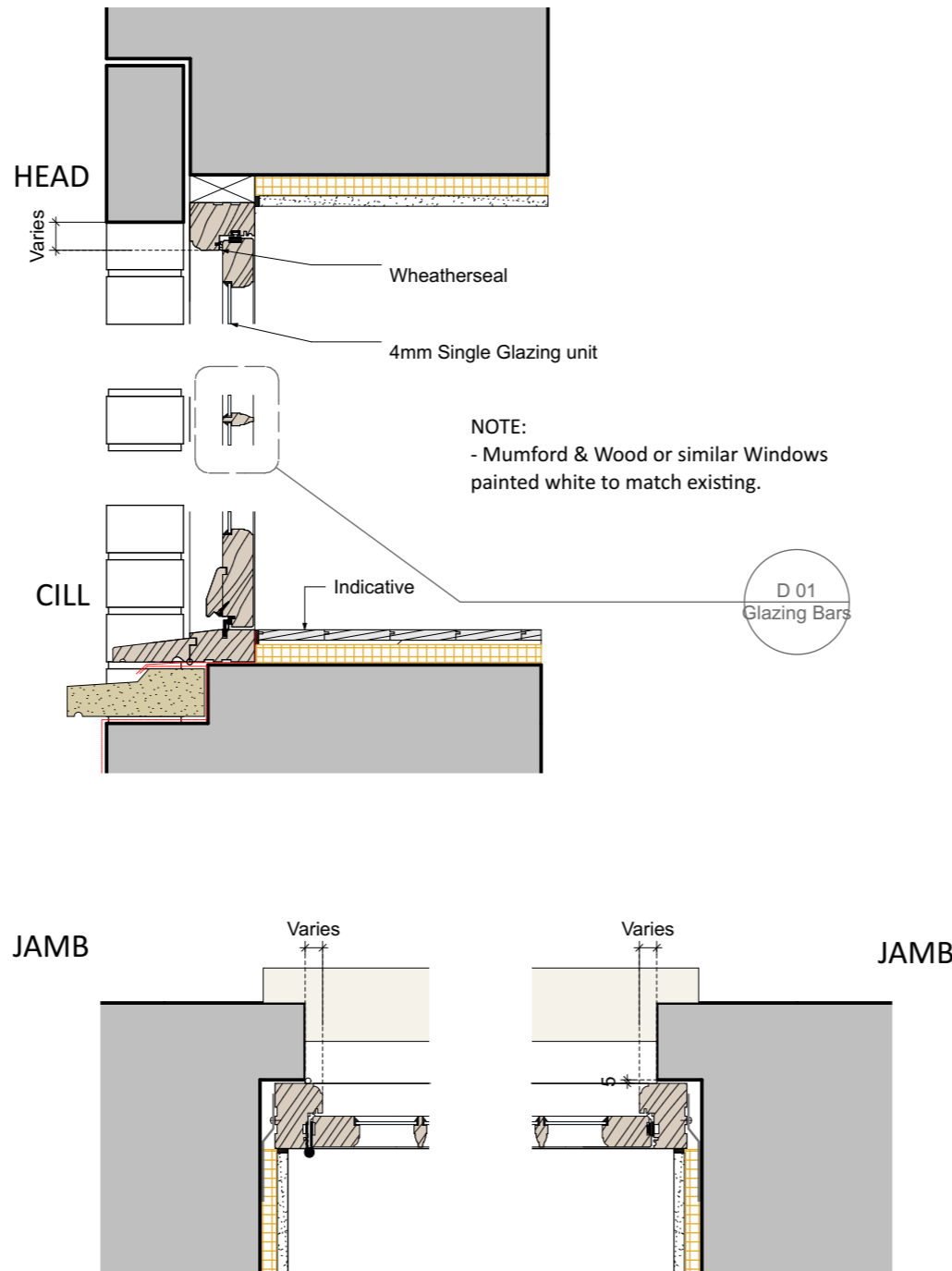
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 9000-DRG-DB-001

DRAWN BY K/C  
 REV C1

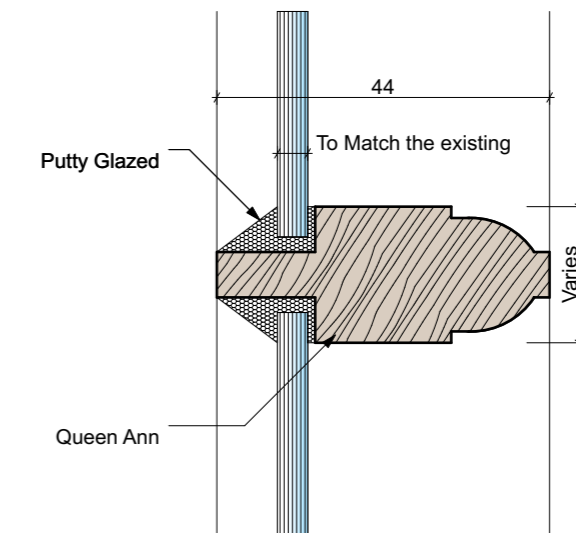
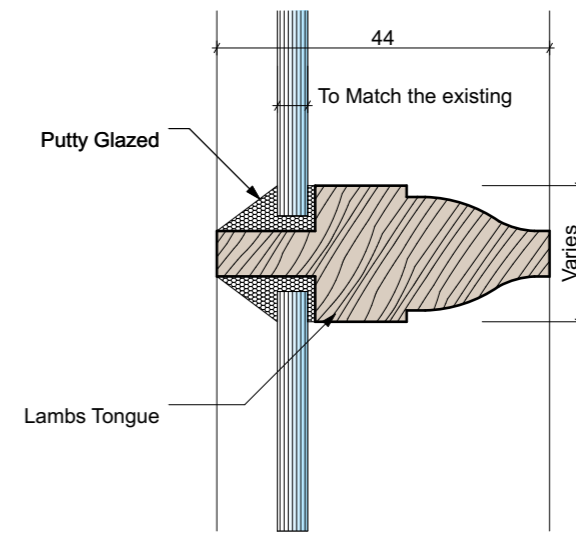
**A & Q PARTNERSHIP (LONDON) LTD**  
 THE LUX BUILDING, 2-4 HOXTON SQUARE, LONDON N1 6 NU  
 Tel: 020 7613 2244 Fax: 020 7613 2642 Email: london@aqp.co.uk  
 ARCHITECTURE DESIGN MASTERPLANNING INTERIORS



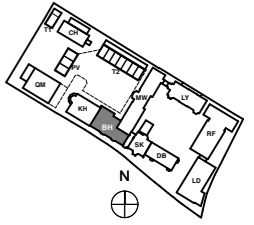
Typical Door Elevation 1:50



TYPICAL CONSERVATION DOORSET. HEAD, CILL & JAMB DETAIL 1:10



D01 - Glazing Bars - Type to suit existing Heritage Building 1:1



KEY PLAN  
NOTE:  
ALL INFORMATION SHOWN ON THIS DRAWINGS IS SUBJECT TO DESIGN DEVELOPMENT

FOR TENDER

REVISION	DRN	CHKD	DATE
T1	First Issue Issue for Tender Trickle vent Removed	GC GC	KC KC 28/07/2016 08/08/2016



CLIENT  
MOUNT ANVIL LTD



PROJECT  
KIDDERPORE AVENUE

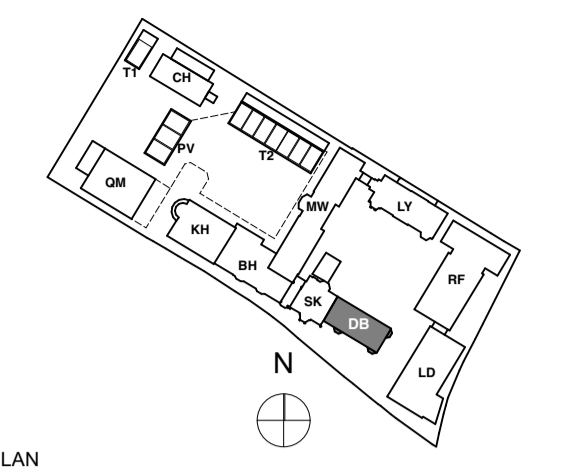
DRAWING  
Generally Applicable  
Typical New Timber Door Detail

SCALE 1:10, 1:50, 1:1 @ A3 DATE August 2016

DRAWING No. 15 230  
9000-DRG-00GN- DE020  
DRAWN BY GC  
REV T1

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KEY PLAN  
NOTE:  
ALL DIMENSIONS WITH \* (STAR) ARE ANTICIPATED AND SHOULD BE CHECKED AND CONFIRMED ON SITE PRIOR TO CONSTRUCTION



Slate Cill to be replaced to match existing

Existing Terracotta Grille to remain, To be blocked from behind

To be developed further

REPAIR WORK KEY

- Stonework - Repair
  - Brickwork - Repair.
  - Repointing - Rake out and repoint to match existing.
  - Stained area to be cleaned.
  - Any type of fitting to be removed and brickwork made good.
  - Render - Repair
  - Brickwork - New to match existing
  - Structural Crack to be repaired to Structural Engineer's specification.
  - Cornice - Repair
  - Decorative Brickwork to be renewed to match existing brickwork.
  - Lightning Conductor to be removed and brickwork made good.
- Note: All cables to be removed and brickwork made good

- No. 1 Material Name
- 1 Structural glass balustrade by Handrail Design or similar. Top rail colour - black.
- 2 Metal railing finished in black gloss paint.
- 3 Existing roof repairs as drawing 9000-DRG-00GN-DE016.
- 4 9x6" black painted cast iron vent
- 5 Heritage range cast aluminium RWP finished in gloss black paint
- 6 Structural glazing
- 7 New timber window by Mummford and Wood or similar, colour to match existing
- 8 New timber door by Mummford and Wood or similar, colour to match existing
- 9 Metal fascia to new balcony colour white
- 10 New stone coping to match existing
- 11 Metal fascia to new terrace colour white
- 12 Existing brickwork
- 13 New Lead covered canopy to match existing
- 14 New Brick to match existing

CONSTRUCTION

REVISION	DRN	CHKD	DATE
C1 Issue for Construction	K/C	TW	02/12/2016



PROJECT  
KIDDERPORE AVENUE

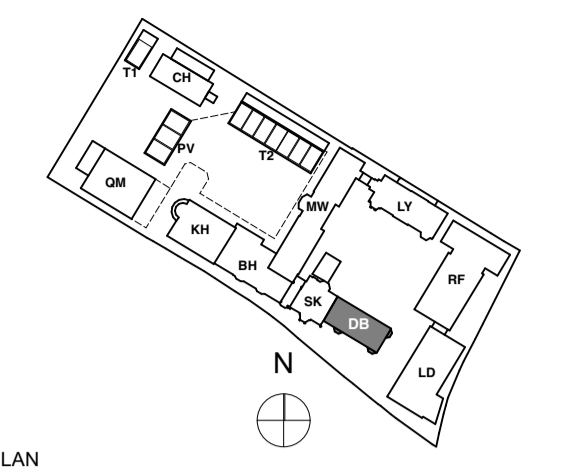
DRAWING  
Dudin Brown  
South Elevation As Proposed

SCALE 1:50 @ A1 DATE December 2016

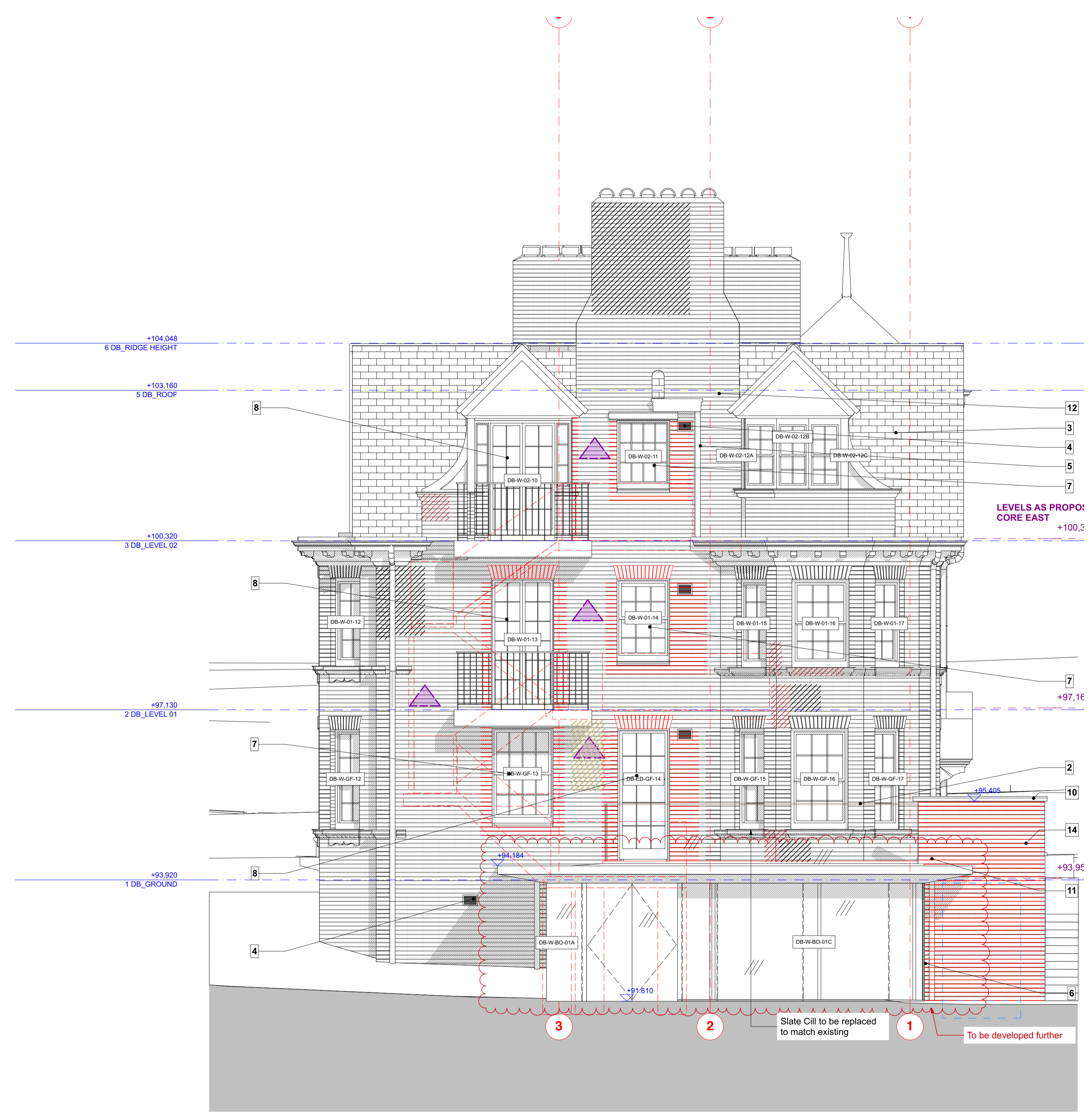
DRAWING No. 9000-DRG-02DB-EL001  
DRAWN BY GC  
REV C1

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KEY PLAN  
NOTE:  
ALL DIMENSIONS WITH \* (STAR) ARE ANTICIPATED AND SHOULD BE CHECKED AND CONFIRMED ON SITE PRIOR TO CONSTRUCTION



REPAIR WORK KEY

- Stonework - Repair
  - Brickwork - Repair.
  - Repointing - Rake out and repoint to match existing.
  - Stained area to be cleaned.
  - Any type of fitting to be removed and brickwork made good.
  - Render - Repair
  - Brickwork - New to match existing
  - Structural Crack to be repaired to Structural Engineer's specification.
  - Cornice - Repair
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  - Lightning Conductor to be removed and brickwork made good.
- Note: All cables to be removed and brickwork made good

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- 6 Structural glazing
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- 9 Metal fascia to new balcony colour white
- 10 New stone coping to match existing
- 11 Metal fascia to new terrace colour white
- 12 Existing brickwork
- 13 New Lead covered canopy to match existing
- 14 New Brick to match existing

CONSTRUCTION

REVISION	DRN	CHKD	DATE
C1 Issue for Construction	K/C	TW	02/12/2016



CLIENT  
MOUNT ANVIL LTD

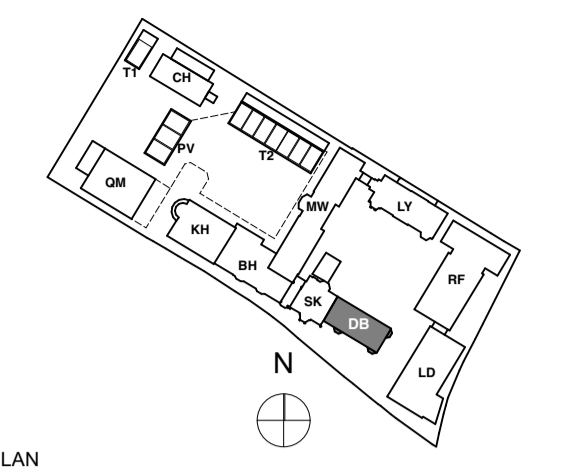
PROJECT  
KIDDERPORE AVENUE

DRAWING  
Dudin Brown  
East Elevation As Proposed

SCALE 1:50 @ A1 DATE December 2016  
DRAWING No. 9000-DRG-02DB-EL002 DRAWN BY GC REV C1

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KEY PLAN  
NOTE:  
ALL DIMENSIONS WITH \* (STAR) ARE ANTICIPATED AND SHOULD BE CHECKED AND CONFIRMED ON SITE PRIOR TO CONSTRUCTION



### CONSTRUCTION

REVISION	DRN	CHKD	DATE
C1 Issue for Construction	K/C	TW	02/12/2016



CLIENT  
MOUNT ANVIL LTD

PROJECT  
KIDDERPORE AVENUE

DRAWING  
Dudin Brown  
North Elevation As Proposed

SCALE 1:50 @ A1 DATE December 2016

DRAWING No. 15 230  
9000-DRG-02DB-EL003

DRAWN BY GC  
REV C1

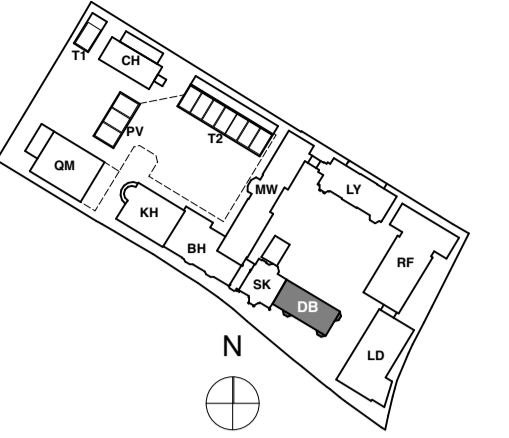
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#### REPAIR WORK KEY

- Stonework - Repair
  - Brickwork - Repair.
  - Repointing - Rake out and repoint to match existing.
  - Stained area to be cleaned.
  - Any type of fitting to be removed and brickwork made good.
  - Render - Repair
  - Brickwork - New to match existing
  - Structural Crack to be repaired to Structural Engineer's specification.
  - Cornice - Repair
  - Decorative Brickwork to be renewed to match existing brickwork.
  - Lightning Conductor to be removed and brickwork made good.
- Note: All cables to be removed and brickwork made good

- No. 1 Material Name
- 2 Structural glass balustrade by Handrail Design or similar. Top rail colour - black.
- 3 Metal railing finished in black gloss paint.
- 4 Existing roof repairs as drawing 9000-DRG-00GN-DE016.
- 5 9x6" black painted cast iron vent
- 6 Heritage range cast aluminium RWP finished in gloss black paint
- 7 Structural glazing
- 8 New timber window by Mummford and Wood or similar, colour to match existing
- 9 New stone coping to match existing
- 10 Metal fascia to new balcony colour white
- 11 New stone coping to match existing
- 12 Metal fascia to new terrace colour white
- 13 Existing brickwork
- 14 New Lead covered canopy to match existing
- 15 New Brick to match existing





KEY PLAN

NOTE:  
ALL DIMENSIONS ARE FOR GUIDELINES ONLY - ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR MANUFACTURING

Location	DB_GROUND																		
Window Ref	DB-W-GF-08	DB-W-GF-09	DB-W-GF-10	DB-W-GF-11	DB-W-GF-12	DB-W-GF-13	DB-W-GF-15	DB-W-GF-16	DB-W-GF-17	DB-W-GF-19	DB-W-GF-21	DB-W-GF-23	DB-W-GF-24	DB-W-GF-25	DB-W-GF-26	DB-W-GF-28	DB-W-GF-29	DB-W-01-01	
H+R Reference	DB-0-W25	DB-0-W24	DB-0-W23	DB-0-W22	DB-0-W21	N/A	DB-0-W19	DB-0-W18	DB-0-W17	DB-0-W15	DB-0-W13	DB-0-W11	DB-0-W10	DB-0-W9	DB-0-W8	DB-0-W7	DB-0-W6	DB-1-W28	
Approx W x H Size	1,100x1,915	1,100x1,915	800x1,915	1,100x1,915	800x1,915	1,300x1,875	800x1,915	1,100x1,915	800x1,915	1,100x1,915	1,100x1,915	1,100x1,915	800x1,915	800x1,915	800x1,915	1,175x1,950	1,175x1,800	1,100x1,675	
Elevation																			
Status	Existing Window	Existing Window	Existing Window	Existing Window	Existing Window	New Window	Existing Window	Existing Window	Existing Window	Existing Window	Existing Window	Existing Window	Existing Window	Existing Window	Existing Window	Existing Window	Existing Window	Existing Window	
Glazing	Single Glazed	Single Glazed	Single Glazed	Single Glazed	Single Glazed	Single Glazed	Single Glazed	Single Glazed	Single Glazed	Single Glazed	Single Glazed	Single Glazed	Single Glazed Opaque	Single Glazed	Single Glazed	Single Glazed	Single Glazed	Single Glazed Opaque	
External Frame Colour	White	White	White	White	White	White	White	White	White	White	White	White	White	White	White	White	White	White	
Description	Timber sash window with 6 over 6 window pane arrangement.	Timber sash window with 6 over 6 window pane arrangement.	Timber sash window with 4 over 4 window pane arrangement.	Timber sash window with 6 over 6 window pane arrangement.	Timber sash window with 4 over 4 window pane arrangement.	Timber sash window with 8 over 8 window pane arrangement.	Timber sash window with 4 over 4 window pane arrangement.	Timber sash window with 6 over 6 window pane arrangement.	Timber sash window with 4 over 4 window pane arrangement.	Timber sash window with 6 over 6 window pane arrangement.	Timber sash window with 6 over 6 window pane arrangement.	Timber sash window with 6 over 6 window pane arrangement.	Timber sash window with 4 over 4 window pane arrangement.	Timber sash window with 4 over 4 window pane arrangement.	Timber sash window with 4 over 4 window pane arrangement.	Timber sash window with 4 over 4 window pane arrangement.	Timber sash window with 6 over 6 window pane arrangement.	Timber sash window with 6 over 6 window pane arrangement.	Timber sash window with 6 over 6 window pane arrangement.
Proposed Approach	Completely refurbish and repair existing window, including incorporating draught stripping.	Completely refurbish and repair existing window, including incorporating draught stripping.	Completely refurbish and repair existing window, including incorporating draught stripping. Window to be eased. External timber cill to be replaced to match existing.	Completely refurbish and repair existing window, including incorporating draught stripping. Window to be eased. External timber cill to be raised.	Completely refurbish and repair existing window, including incorporating draught stripping. Window to be eased. External timber cill to be replaced to match existing.	N/A	Completely refurbish and repair existing window, including incorporating draught stripping.	Completely refurbish and repair existing window, including incorporating draught stripping.	Completely refurbish and repair existing window, including incorporating draught stripping.	Completely refurbish and repair existing window, including incorporating draught stripping.	Completely refurbish and repair existing window, including incorporating draught stripping.	Completely refurbish and repair existing window, including incorporating draught stripping. Top louvers to be replaced for 3 no planes. Glazing to be replaced with opaque.	Completely refurbish and repair existing window, including incorporating draught stripping. Top louvers to be replaced for 2 no planes. Opaque glass replaces with clear.	Completely refurbish and repair existing window, including incorporating draught stripping. Top louvers to be replaced for 2 no planes. Opaque glass replaces with clear.	Completely refurbish and repair existing window, including incorporating draught stripping. Top louvers to be replaced for 2 no planes. Opaque glass replaces with clear.	Completely refurbish and repair existing window, including incorporating draught stripping. Top louvers to be replaced for 2 no planes. Opaque glass replaces with clear.	Completely refurbish and repair existing window, including incorporating draught stripping.	Completely refurbish and repair existing window, including incorporating draught stripping.	Completely refurbish and repair existing window, including incorporating draught stripping. Timber fixed to pulley lining to be removed. Glazing to be replaced with opaque.
Ironmongery	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	New ironmongery match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.

# CONSTRUCTION

REVISION	DRN	CHKD	DATE
C1 Issue for Construction	K/C	TW	02/12/2016



CLIENT  
MOUNT ANVIL LTD

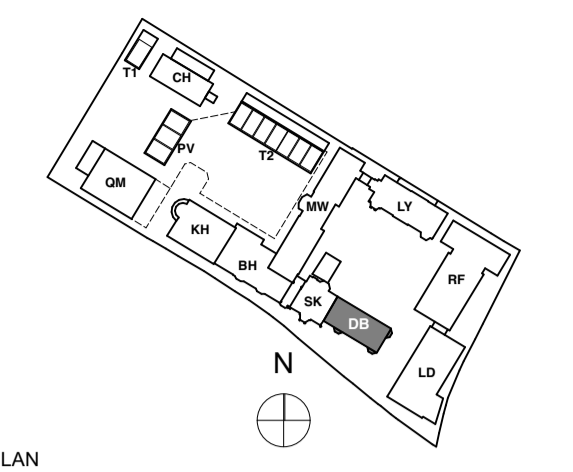
PROJECT  
KIDDERPORE AVENUE

DRAWING  
Dudin Brown  
External Window And Door Schedule Sheet 2 of 5

SCALE 1:1 @ A1 DATE December 2016

DRAWING No. 15 230  
9000-DRG-DB-002

DRAWN BY K/C  
REV C1



KEY PLAN  
NOTE:  
ALL DIMENSIONS ARE FOR GUIDELINES ONLY - ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR MANUFACTURING

Location																				
Window Ref	DB-W-01-02	DB-W-01-03	DB-W-01-04	DB-W-01-05	DB-W-01-06	DB-W-01-07	DB-W-01-08	DB-W-01-09	DB-W-01-10	DB-W-01-11	DB-W-01-12	DB-W-01-13	DB-W-01-14	DB-W-01-15	DB-W-01-16	DB-W-01-17	DB-W-01-18	DB-W-01-19		
H+R Reference	DB-1-W27	DB-1-W26	DB-1-W25	DB-1-W24	DB-1-W23	DB-1-W22	DB-1-W21	DB-1-W20	DB-1-W19	DB-1-W18	DB-1-W17	N/A	DB-1-W16	DB-1-W15	DB-1-W14	DB-1-W13	DB-1-W12	DB-1-W11		
Approx W x H Size	1,100x1,675	800x1,675	1,100x1,675	800x1,675	1,100x1,675	1,100x1,675	1,100x1,675	1,100x1,675	800x1,675	1,100x1,675	800x1,675	1,300x2,532	1,144x1,633	800x1,675	1,100x1,675	800x1,675	1,100x1,675	1,100x1,675		
Elevation																				
Status	Existing Window	Existing Window	Existing Window	Existing Window	Existing Window	Existing Window	Existing Window	Existing Window	Existing Window	Existing Window	Existing Window	Existing Window	New Door	Existing Window	Existing Window	Existing Window	Existing Window	Existing Window	Existing Window	
Glazing	Single Glazed	Single Glazed	Single Glazed	Single Glazed	Single Glazed	Single Glazed	Single Glazed Opaque	Single Glazed	Single Glazed	Single Glazed	Single Glazed	Single Glazed	Single Glazed	Single Glazed	Single Glazed	Single Glazed	Single Glazed	Single Glazed	Single Glazed	
External Frame Colour	White	White	White	White	White	White	White	White	White	White	White	White	White	White	White	White	White	White	White	
Description	Timber sash window with 6 over 6 window pane arrangement.	Timber sash window with 4 over 4 window pane arrangement.	Timber sash window with 6 over 6 window pane arrangement.	Timber sash window with 4 over 4 window pane arrangement.	Timber sash window with 6 over 6 window pane arrangement.	Timber sash window with 6 over 6 window pane arrangement.	Timber sash window with 6 over 6 window pane arrangement.	Timber sash window with 6 over 6 window pane arrangement.	Timber sash window with 6 over 6 window pane arrangement.	Timber sash window with 4 over 4 window pane arrangement.	Timber sash window with 6 over 6 window pane arrangement.	Timber sash window with 4 over 4 window pane arrangement.	A pair of side hung doors 12no panes each.	Timber sash window with 6 over 6 window pane arrangement.	Timber sash window with 4 over 4 window pane arrangement.	Timber sash window with 6 over 6 window pane arrangement.	Timber sash window with 4 over 4 window pane arrangement.	Timber sash window with 6 over 6 window pane arrangement.	Timber sash window with 6 over 6 window pane arrangement.	
Proposed Approach	Completely refurbish and repair existing window, including incorporating draught stripping. Timber fixed to pulley lining to be removed. All decaying timber to be replaced to match existing.	Completely refurbish and repair existing window, including incorporating draught stripping. Timber fixed to pulley lining to be removed.	Completely refurbish and repair existing window, including incorporating draught stripping. Timber fixed to pulley lining to be removed. Window to be eased.	Completely refurbish and repair existing window, including incorporating draught stripping. Timber fixed to pulley lining to be removed.	Completely refurbish and repair existing window, including incorporating draught stripping. Timber fixed to pulley lining to be removed. External timber cill to be raised.	Completely refurbish and repair existing window, including incorporating draught stripping. Timber fixed to pulley lining to be removed.	Completely refurbish and repair existing window, including incorporating draught stripping. Timber fixed to pulley lining to be removed. Glazing to be replaced with opaque.	Completely refurbish and repair existing window, including incorporating draught stripping. Timber fixed to pulley lining to be removed.	Completely refurbish and repair existing window, including incorporating draught stripping. Timber fixed to pulley lining to be removed.	Completely refurbish and repair existing window, including incorporating draught stripping. Timber fixed to pulley lining to be removed.	Completely refurbish and repair existing window, including incorporating draught stripping. Timber fixed to pulley lining to be removed.	Completely refurbish and repair existing window, including incorporating draught stripping. Timber fixed to pulley lining to be removed.	N/A	Completely refurbish and repair existing window, including incorporating draught stripping.	Completely refurbish and repair existing window, including incorporating draught stripping. Timber fixed to pulley lining to be removed.	Completely refurbish and repair existing window, including incorporating draught stripping. Timber fixed to pulley lining to be removed.	Completely refurbish and repair existing window, including incorporating draught stripping.	Completely refurbish and repair existing window, including incorporating draught stripping. Timber fixed to pulley lining to be removed.	Completely refurbish and repair existing window, including incorporating draught stripping. Timber fixed to pulley lining to be removed.	Completely refurbish and repair existing window, including incorporating draught stripping. Timber fixed to pulley lining to be removed.
Ironmongery	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	New ironmongery match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.

## CONSTRUCTION

REVISION	DRN	CHKD	DATE
C1 Issue for Construction	K/C	TW	02/12/2016



CLIENT  
MOUNT ANVIL LTD

PROJECT  
KIDDERPORE AVENUE

DRAWING  
Dudin Brown  
External Window And Door Schedule Sheet 3 of 5

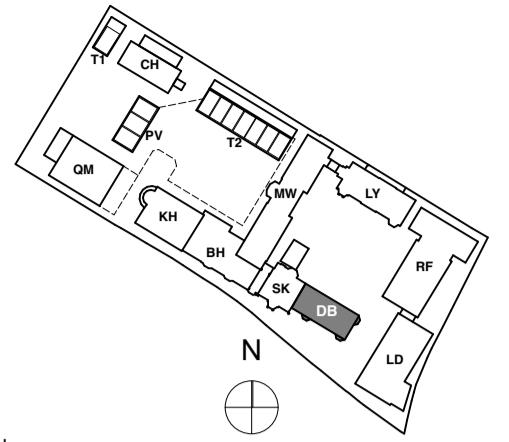
SCALE 1:1 @ A1 DATE December 2016

DRAWING No. 15 230  
9000-DRG-DB-003

DRAWN BY K/C  
REV C1

A & Q PARTNERSHIP ( LONDON ) LTD  
THE LUX BUILDING, 2-4 HOXTON SQUARE, LONDON N1 6 NU  
Tel: 020 7613 2244 Fax: 020 7613 2642 Email: london@aqp.co.uk  
ARCHITECTURE DESIGN MASTERPLANNING INTERIORS





KEY PLAN

NOTE:  
ALL DIMENSIONS ARE FOR GUIDELINES ONLY - ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR MANUFACTURING

Location	DB_LEVEL 01																	
Window Ref	DB-W-01-20	DB-W-01-21	DB-W-01-22A	DB-W-01-22B	DB-W-01-22C	DB-W-01-23	DB-W-01-24	DB-W-01-25	DB-W-01-26	DB-W-01-27	DB-W-01-28	DB-W-01-29	DB-W-02-01	DB-W-02-02	DB-W-02-03	DB-W-02-04	DB-W-02-05	DB-W-02-06
H+R Reference	DB-1-W10	DB-1-W9	DB-1-W8	DB-1-W8	DB-1-W8	DB-1-W7	DB-1-W6	DB-1-W5	DB-1-W4	DB-1-W3	DB-1-W2	DB-1-W1	DB-2-W21	DB-2-W20	DB-2-W19	DB-2-W18	DB-2-W17	DB-2-W16
Approx W x H Size	1,100x1,675	1,100x1,675	650x1,675	875x1,675	650x1,675	1,100x1,675	800x1,675	800x1,675	800x1,675	1,175x1,810	1,175x1,340	1,175x1,340	820x1,360	820x1,360	820x1,360	1,175x1,360	820x1,360	820x1,360
Elevation																		
Status	Existing Window	Existing Window	Existing Window	Existing Window	Existing Window	Existing Window	Existing Window	Existing Window	Existing Window	Existing Window	Existing Window	Existing Window	Existing Window	Existing Window	Existing Window	Existing Window	Existing Window	Existing Window
Glazing	Single Glazed	Single Glazed	Single Glazed	Single Glazed	Single Glazed	Single Glazed Opaque	Single Glazed	Single Glazed	Single Glazed	Single Glazed	Single Glazed	Single Glazed	Single Glazed Opaque	Single Glazed	Single Glazed	Single Glazed	Single Glazed	Single Glazed
External Frame Colour	White	White	White	White	White	White	White	White	White	White	White	White	White	White	White	White	White	White
Description	Timber sash window with 6 over 6 window pane arrangement.	Timber sash window with 6 over 6 window pane arrangement.	Part of 3no sash Window. Timber sash window with 4 over 4 window pane arrangement.	Part of 3no sash Window. Timber sash window with 6 over 6 window pane arrangement.	Part of 3no sash Window. Timber sash window with 4 over 4 window pane arrangement.	Timber sash window with 6 over 6 window pane arrangement.	Timber sash window with 4 over 4 window pane arrangement.	Timber sash window with 4 over 4 window pane arrangement.	Timber sash window with 4 over 4 window pane arrangement.	Timber sash window with 4 over 4 window pane arrangement.	Timber sash window with 6 over 6 window pane arrangement.	Timber sash window with 6 over 6 window pane arrangement.	Timber sash window with 6 over 6 window pane arrangement.	Timber sash window with 6 over 6 window pane arrangement.	Timber sash window with 6 over 6 window pane arrangement.	1 no. timber sash window with a 6 over 6 window pane arrangement. The upper sash was arch headed. 2 no. sidehung timber casement windows either side of the timber sash.	Timber sash window with 6 over 6 window pane arrangement.	Timber sash window with 6 over 6 window pane arrangement.
Proposed Approach	Completely refurbish and repair existing window, including incorporating draught stripping. Timber fixed to pulley lining to be removed.	Completely refurbish and repair existing window, including incorporating draught stripping. Timber fixed to pulley lining to be removed.	Completely refurbish and repair existing window, including incorporating draught stripping. Window to be eased.	Completely refurbish and repair existing window, including incorporating draught stripping. Window to be eased.	Completely refurbish and repair existing window, including incorporating draught stripping. Window to be eased.	Completely refurbish and repair existing window, including incorporating draught stripping. Top louvers to be replaced for 3 no planes. Opaque glass replaces with clear.	Completely refurbish and repair existing window, including incorporating draught stripping. Window to be eased. Top louvers to be replaced for 2 no planes. Opaque glass replaces with clear.	Completely refurbish and repair existing window, including incorporating draught stripping. Window to be eased. Top louvers to be replaced for 2 no planes. Opaque glass replaces with clear.	Completely refurbish and repair existing window, including incorporating draught stripping. Window to be eased. Top louvers to be replaced for 2 no planes. Opaque glass replaces with clear.	Completely refurbish and repair existing window, including incorporating draught stripping. Timber fixed to pulley lining to be removed.	Completely refurbish and repair existing window, including incorporating draught stripping. Timber fixed to pulley lining to be removed.	Completely refurbish and repair existing window, including incorporating draught stripping. Timber fixed to pulley lining to be removed. Missing bead to be added to match existing.	Completely refurbish and repair existing window, including incorporating draught stripping. Timber fixed to pulley lining to be removed. External timber sill to be replaced. Glazing to be replaced with opaque.	Completely refurbish and repair existing window, including incorporating draught stripping. Timber fixed to pulley lining to be removed. Glazing to be replaced with opaque.	Completely refurbish and repair existing window, including incorporating draught stripping. Timber fixed to pulley lining to be removed. Missing bead to be added. Glazing to be replaced with opaque.	Completely refurbish and repair existing window, including incorporating draught stripping.	Completely refurbish and repair existing window, including incorporating draught stripping. Timber fixed to pulley lining to be removed.	Completely refurbish and repair existing window, including incorporating draught stripping. Timber fixed to pulley lining to be removed. All decaying timber to be replaced to match existing.
Ironmongery	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.

CONSTRUCTION

REVISION	DRN	CHKD	DATE
C1 Issue for Construction	K/C	TW	02/12/2016



CLIENT  
MOUNT ANVIL LTD

PROJECT  
KIDDERPORE AVENUE

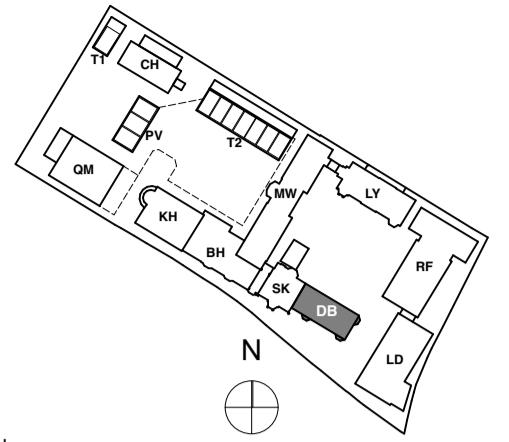
DRAWING  
Dudin Brown  
External Window And Door Schedule Sheet 4 of 5

SCALE 1:1 @ A1 DATE December 2016

DRAWING No. 15 230  
9000-DRG-DB-004

DRAWN BY K/C  
REV C1





KEY PLAN

NOTE:  
ALL DIMENSIONS ARE FOR GUIDELINES ONLY - ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR MANUFACTURING

Location	DB_LEVEL 02																	DB [3D REF ONLY]
Window Ref	DB-W-02-07	DB-W-02-08	DB-W-02-09	DB-W-02-11	DB-W-02-12A	DB-W-02-12B	DB-W-02-12C	DB-W-02-13	DB-W-02-14	DB-W-02-15	DB-W-02-16	DB-W-02-17	DB-W-02-18	DB-W-02-19	DB-W-02-20	DB-W-02-21	DB-W-02-22	DB-W-02-10
H+R Reference	DB-2-W15	DB-2-W14	DB-2-W13	N/A	DB-2-W11	DB-2-W11	DB-2-W11	DB-2-W10	DB-2-W9	DB-2-W8	DB-2-W7	DB-2-W6	DB-2-W5	DB-2-W4	DB-2-W3	DB-2-W2	DB-2-W1	DB-2-W12
Approx W x H Size	820x1,360	820x1,360	1,175x1,360	1,144x1,365	1,820x1,360			1,175x1,360	820x1,360	820x1,360	820x1,360	1,175x1,360	820x1,360	820x1,360	820x1,360	1,175x1,175	1,175x1,175	1,220x2,215
Elevation																		
Status	Existing Window	Existing Window	Existing Window	New Window	Existing Window	Existing Window	Existing Window	Existing Window	Existing Window	Existing Window	Existing Window	Existing Window	Existing Window	Existing Window	Existing Window	Existing Window	Existing Window	New Door
Glazing	Single Glazed	Single Glazed	Single Glazed	Single Glazed	Single Glazed	Single Glazed	Single Glazed	Single Glazed	Single Glazed Opaque	Single Glazed	Single Glazed	Single Glazed	Single Glazed	Single Glazed	Single Glazed	Single Glazed	Single Glazed	Single Glazed
External Frame Colour	White	White	White	White	White	White	White	White	White	White	White	White	White	White	White	White	White	White
Description	Timber sash window with 6 over 6 window pane arrangement.	Timber sash window with 6 over 6 window pane arrangement.	1 no. timber sash window with a 6 over 6 window pane arrangement. The upper sash was arch headed. 2 no. sidehung timber casement windows either side of the timbersash.	Timber sash window 4 over 8 window pane arrangement.	Part of 3 no timber sash windows each with 4 over 4 window pane arrangements.	Part of 3 no timber sash windows each with 4 over 4 window pane arrangements.	Part of 3 no timber sash windows each with 4 over 4 window pane arrangements.	1 no. timber sash window with a 6 over 6 window pane arrangement. The upper sash was arch headed. 2 no. sidehung timber casement windows either side of the timbersash.	Timber sash window with 6 over 6 window pane arrangement.	Timber sash window with 6 over 6 window pane arrangement.	Timber sash window with 6 over 6 window pane arrangement.	1 no. timber sash window with a 6 over 6 window pane arrangement. The upper sash was arch headed. 2 no. sidehung timber casement windows either side of the timbersash.	Timber sash window with 6 over 6 window pane arrangement.	Timber sash window with 6 over 6 window pane arrangement.	Timber sash window with 6 over 6 window pane arrangement.	Timber sash window with 3 over 6 window pane arrangement.	Timber sash window with 3 over 6 window pane arrangement.	Timber double door opening out with 12 panes each. 3no panes of fixed glass to each side.
Proposed Approach	Completely refurbish and repair existing window, including incorporating draught stripping. Timber fixed to pulley lining to be removed. Window to be eased.	Completely refurbish and repair existing window, including incorporating draught stripping. Timber fixed to pulley lining to be removed. Window to be eased.	Completely refurbish and repair existing window, including incorporating draught stripping. Sash to be eased. All decayed timber to be replaced to match existing.	N/A	Completely refurbish and repair existing window, including incorporating draught stripping. Sash to be eased. All decayed timber to be replaced to match existing.	Completely refurbish and repair existing window, including incorporating draught stripping. Sash to be eased. All decayed timber to be replaced to match existing.	Completely refurbish and repair existing window, including incorporating draught stripping. Sash to be eased. All decayed timber to be replaced to match existing.	Completely refurbish and repair existing window, including incorporating draught stripping. Window to be eased. Glazing to be replaced with opaque.	Completely refurbish and repair existing window, including incorporating draught stripping. Window to be eased.	Completely refurbish and repair existing window, including incorporating draught stripping. Window to be eased.	Completely refurbish and repair existing window, including incorporating draught stripping. Window to be eased.	Completely refurbish and repair existing window, including incorporating draught stripping. Window to be eased. Arched parting bead to be replaced to match existing.	Completely refurbish and repair existing window, including incorporating draught stripping. Window to be eased. Missing bead to be replaced to match existing.	Completely refurbish and repair existing window, including incorporating draught stripping. Timber fixed to pulley lining to be removed. Window to be eased.	Completely refurbish and repair existing window, including incorporating draught stripping. Timber fixed to pulley lining to be removed. Window to be eased.	Completely refurbish and repair existing window, including incorporating draught stripping. Parting slip to be replaced.	Completely refurbish and repair existing window, including incorporating draught stripping. Window to be eased.	N/A
Ironmongery	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	New ironmongery match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	Existing ironmongery to be replaced with new to match existing in style through out the building. Additional latches to be installed.	New ironmongery match existing in style through out the building. Additional latches to be installed.

## CONSTRUCTION

REVISION	DRN	CHKD	DATE
C1 Issue for Construction	K/C	TW	02/12/2016



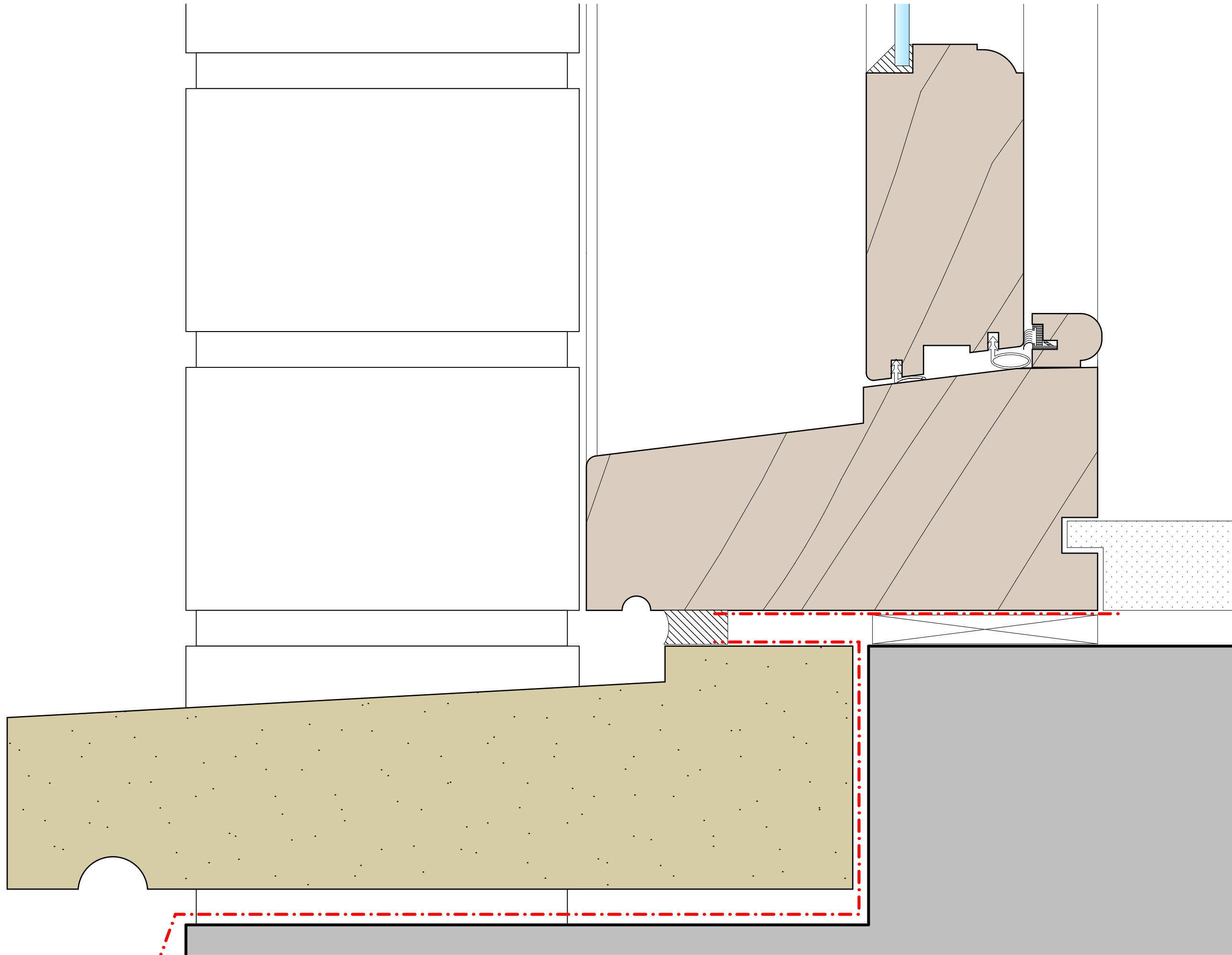
PROJECT  
KIDDERPORE AVENUE

DRAWING  
Dudin Brown  
External Window And Door Schedule Sheet 5 of 5

SCALE 1:1, 1:50 @ A1 DATE December 2016

DRAWING No. 9000-DRG-DB-005 DRAWN BY K/C REV C1

A & Q PARTNERSHIP (LONDON) LTD  
THE LUX BUILDING, 2-4 HOXTON SQUARE, LONDON N1 6 NU  
Tel: 020 7613 2244 Fax: 020 7613 2642 Email: london@aqp.co.uk  
ARCHITECTURE DESIGN MASTERPLANNING INTERIORS



Mumford & Wood or similar approved replacement double hung sliding sash window, wrapped in DPC in new or existing opening.

Single Glazed conservation Glass.

Glazing bars to match existing dominant type bar in existing building.

TYPICAL CONSERVATION REPLACEMENT WINDOW. CILL DETAIL 1:1

9000-SK-GN-232 161130 GC

**A&Q**

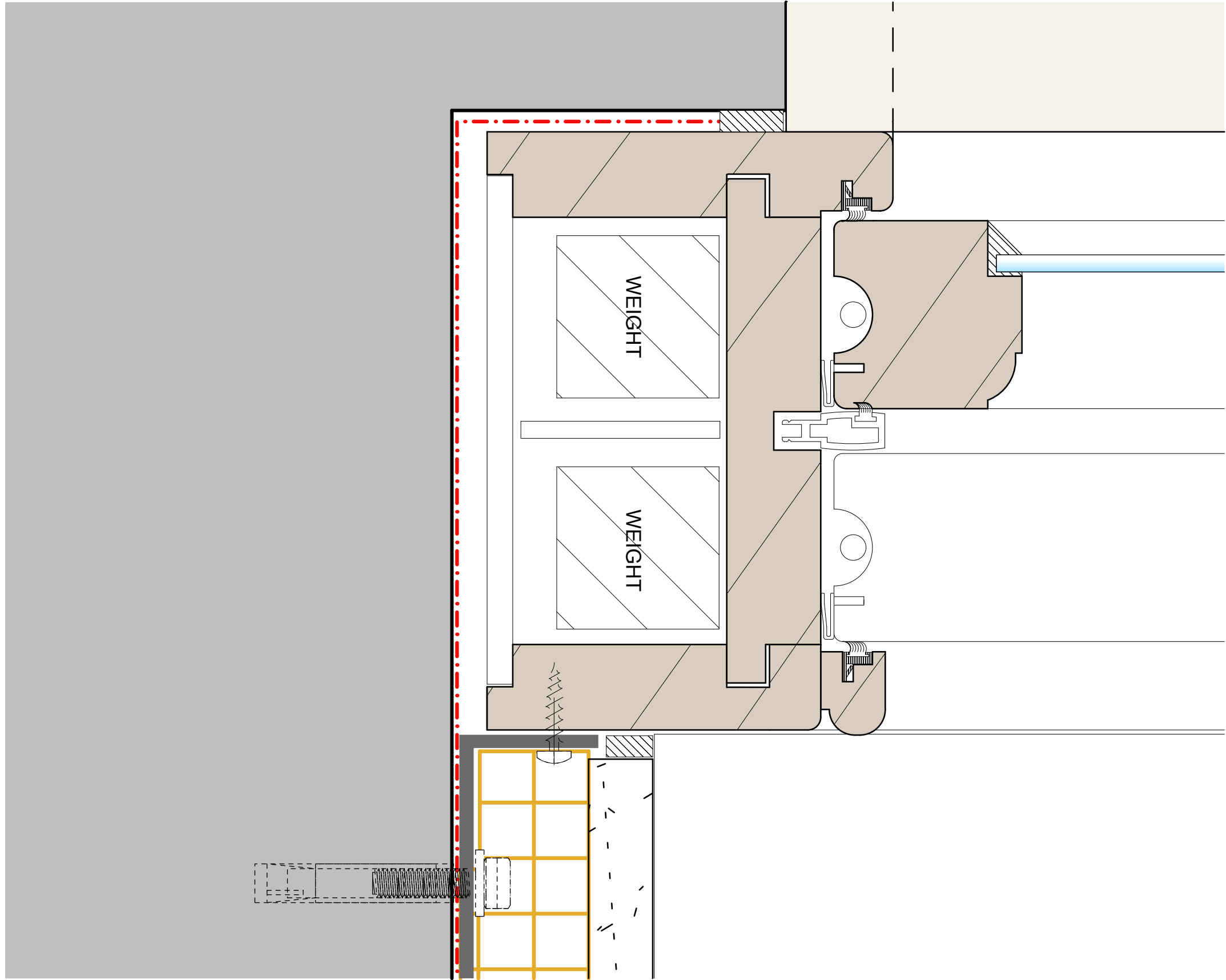
PARTNERSHIP

A & Q PARTNERSHIP (LONDON) LTD  
 THE LUX BUILDING, 2-4 HOXTON SQUARE, LONDON N1 6NU  
 Tel: 020 7613 2244 Fax: 020 7613 2642 Email: london@aqp.co.uk  
 ARCHITECTURE DESIGN MASTERPLANNING INTERIORS

TYPICAL CONSERVATION REPLACEMENT WINDOW. CILL DETAIL

1:1





TYPICAL CONSERVATION REPLACEMENT WINDOW. JAMB DETAIL

1:1

Mumford & Wood or similar approved replacement double hung sliding sash window, wrapped in DPC in new or existing opening.

Single Glazed conservation Glass.

Glazing bars to match existing dominant type bar in existing building.

TYPICAL CONSERVATION REPLACEMENT WINDOW. JAMB DETAIL 1:1

9000-SK-GN-233 161130 GC

**A&Q**

PARTNERSHIP

A & Q PARTNERSHIP (LONDON) LTD  
 THE LUX BUILDING, 2-4 HOXTON SQUARE, LONDON N1 6NU  
 Tel: 020 7613 2244 Fax: 020 7613 2642 Email: london@aqp.co.uk  
 ARCHITECTURE DESIGN MASTERPLANNING INTERIORS