



STUDIO ASTRAGAL

**STATEMENT OF HERITAGE SIGNIFICANCE
10 REGENT'S PARK TERRACE, LONDON NW1**



**For
Mr Godeau & Ms Gastaldo
December 2016**

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1. Introduction

- 1.1 This Statement of Heritage Significance has been produced to inform and guide the design and consideration of a proposal for demolition of the existing basement level conservatory and construction of a larger modern flat roofed conservatory, removal of the iron stairs and balcony and the ground floor door, part blocking up the opening and forming a new sliding sash window with a segmental brick arch above on the rear wing, removal of a shed at basement level and formation of sash windows in the rear and side of the single storey rear extension and internal alterations at basement, ground and first floors. However, the statement is comprehensive enough to inform, guide and assess other proposals.
- 1.2 Section 128 of the Government's National Planning Policy Framework (1) requires that:
"In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance. As a minimum the relevant historic environment record should have been consulted and the heritage assets assessed using appropriate expertise where necessary. Where a site on which development is proposed includes or has the potential to include heritage assets with archaeological interest, local planning authorities should require developers to submit an appropriate desk-based assessment and, where necessary, a field evaluation."
- 1.3 The British Standards Institute's BS7913:2013 Guide to the Conservation of Historic Buildings, Section 4, (2) gives guidance on the assessment of a heritage asset's value and significance. It makes the point that *"understanding the contribution of a particular historic building to the wider historic environment allows significance to be taken into account when making decisions."* It goes on to state that: *"A thorough understanding of the significance of the historic building is important prior to reconciling work proposals with the existing built fabric and archaeological resource."*
- 1.4 This study takes into account the guidance of the British Standard and Historic England's document - Conservation Principles (3) and other HE guidance in its scope and methodology. This methodology is also advised by ICOMOS for use on World Heritage properties (17). The purpose of the report is to guide the design process and to provide a basis for assessing the effects of the proposals on the heritage significance of the building. It is not intended to evaluate the impact of the proposals.
- 1.5 Aspects of a building's heritage significance can include *inter alia*, its cultural, social, historic, architectural and technological heritage and association with important historical events or people. The relative heritage significance of the building as a whole and its individual elements including its fabric, spaces and features have been assessed and ranked on a range of:

Very High Significance

High Significance

Medium Significance

Low Significance

Negligible Significance

No Significance.

This is not an exact science and is a matter of objective professional judgment based on the available evidence. Where an element or feature has been assessed as being of Low, Negligible or No Heritage Significance, it does not necessarily mean that its design, materials or workmanship are of poor quality. It is quite possible for modern features to be of high architectural quality in themselves and be worthy of retention, whilst having no heritage significance.

- 1.6 The terrace is Listed Grade II (4). Listed buildings are of national importance and are graded in descending order I, II* and II. The building is thus not of the highest or second highest importance in a national context. It is in the Primrose Hill Conservation Area (5).

2. The Building's Physical Context

- 2.1 The terrace is located in the London Borough of Camden, in the historic parish of North St Pancras in an area now known as Primrose Hill. This area is located to the North of Regent's Park and its surrounding grand terraces and villas, and to the south of the Regent's Canal, with Camden Town being to the east. The character of the Primrose Hill Conservation Area has been defined in the Conservation Area Statement 5 - Primrose Hill produced by the London Borough of Camden (5) and need not be rehearsed here.
- 2.2 Regent's Park Terrace is situated on the east side of Oval Road, which runs approximately north - south. Behind it is Gloucester Crescent. Oval Road is lined on its west side by a short row of modern red brick townhouses at its south end and beyond this paired villas of yellow stock brick with stuccoed mouldings. This part of Primrose Hill was developed after part of the estate of Lord Southampton was sold off in the 1840s. According to Pevsner the construction of the railway line into Euston Station prevented the realisation of the original grand layout of two crescents (6). Pevsner describes Gloucester Crescent as the most ambitious part of the development, constructed as terraces in the form of linked villas in an Italianate style between 1845-50 and having "*rather disorganised elevations*" (6) In my opinion the eclectic mixture of styles is rather pleasing.



The paired stucco-trimmed villas on the west side of Oval Road opposite Regent's Park Terrace



The long even stretch of Regent's Park Terrace seen from Oval Road

2.3 LB Camden's Conservation Area Character Statement says about Regent's Park Terrace:-

“The terrace is accessed by a private highway and is set back some distance from Oval Road behind a long narrow grassed garden area. This private garden makes a significant contribution to the green character of the Conservation Area and is a London Square, as designated under the London Squares Act. This garden contains a line of very large trees, including London Plane and Robinia, which dominate Oval Road by their sheer size. The garden is separated from the pavement on Oval Road by a 1.2 metre high brick wall, which has been altered to accommodate the trunks of the largest London Plane Trees.” (5)



The south end of Regent's Park Terrace and Gloucester Terrace with its Italianate terraces in the form of linked villas.



The buildings to the north of Regent's Park Terrace in Oval Road

The Front Boundary Wall and Railings

- 2.4 The boundary to Oval Road is enclosed with an approximately 1.2m high wall of London Stock bricks. This has a plain Portland limestone coping. A northern section has a brick dentil detail below the coping.
- 2.5 The southern entrance has a brick pillar on its left-hand side, which has been rebuilt in recent times. No pillar one exists on its right-hand side. On the left-hand side of the entrance a low wall with a Portland stone coping topped by heavy ornate cast iron railings curves around from Gloucester Crescent into Oval Road. The low wall and railings are divided by two brick pillars with Portland stone bases and caps and terminates with an end pillar.
- 2.6 On the right-hand side of the entrance a low brick wall with a Portland Stone coping encloses the front and side garden of No. 1 Regent's Park Terrace. This wall curves around the corner into Gloucester Crescent.
- 2.7 The northern entrance to the private road is flanked on either side by brick pillars with plain stone caps. They lack stone bases and their deep bases are formed by render over the brickwork and are painted black. To the north of the entrance is a low wall. This has a Portland stone coping and is topped by the original heavy ornate cast iron railings that match those at the south entrance.
- 2.8 The front boundary wall, pillars and railings fronting on Oval Road and Gloucester Crescent are an important element of the buildings' setting and the character of this part of the conservation area. Those parts of the wall and pillars that are original are considered to be of High Heritage Significance. The reconstructed parts that have lost their piers and brick dentils are essential for the maintenance of the whole composition and are considered to be of Medium Heritage Significance. They are considered to be an important element of the Terrace's setting that give seclusion to the front grounds. Moreover, they are also considered to be important element in the street scene in urban design terms.

	
<p>Grass verge & trees within the wall. Traditional design cast iron lampposts and lanterns of modern date. No Significance</p>	<p>Railings and Pillars on the corner of Gloucester Crescent and Oval Road with Portland stone pillar cap and wall coping - High Significance</p>

	
<p>Example of cast iron coalhole plate, later replacement - Medium Significance.</p>	<p>Example of cast iron coalhole plate, probably original - Medium - Significance.</p>
<p>York Stone Paving and Granite Kerbs - Medium Significance. Note: wide cemented joints indicate that paving has been relaid in modern times.</p>	

The Front Grounds

- 2.9 Behind the front wall is a grass verge with large trees of varying species. The trees make a valuable contribution to the setting of the Listed Buildings and the street scene and character of this part of the conservation area. Along this verge are several cast iron lampposts with lanterns, which although in a traditional style, are clearly modern and have metal doors in their bases to access the electrics. These make a positive contribution to the front grounds. There also is a cast iron lamppost with a lantern set in a shrubby border along the northern boundary. This is of a different style and lacks a door in its base. It may be an original gas lamp that has been converted to electricity. Its lantern is a modern replica. If original to the site it would be of High Heritage Significance.
- 2.10 The private road's carriageway is asphalted and has wide granite kerbs and gullies formed of granite setts. The pavement is of York stone flags. This pavement has wide cemented joints and appears to have been re-laid in modern times. There are vaults below the pavement, which appear to extend under the carriageway. Many of them retain their coalholes and coalhole plates. All are interesting street features worthy of retention as evidence of the servicing arrangements and heating technology of the 19th C. No. 10 has lost its coal-hole.
- 2.11 At the rear of No. 10 is an attractive reasonable sized garden for an inner city location. This is enclosed by high brick walls largely paved in York stone, with shrub borders and two large trees at the end.



The rear garden. York stone paving.

2.12 The houses in this group (Nos. 1-21) all have two-storey rear wings at basement and ground levels of the same depth and design. Some properties have been extended and have additional two-storey shorter extensions in brick above these. Two to the south of No. 10 have first half-landing level conservatories on top of their rear wings. The one at No. 8 is of a traditional design with small pane divisions to match the building's fenestration. No. 11 to the north has a modern glass conservatory at basement level. No. 9 to the south does not have a conservatory.



The rear of the houses to the south side. Conservatories on top of the rear wings.



The rear of the houses to the north side. Taller brick rear extensions.

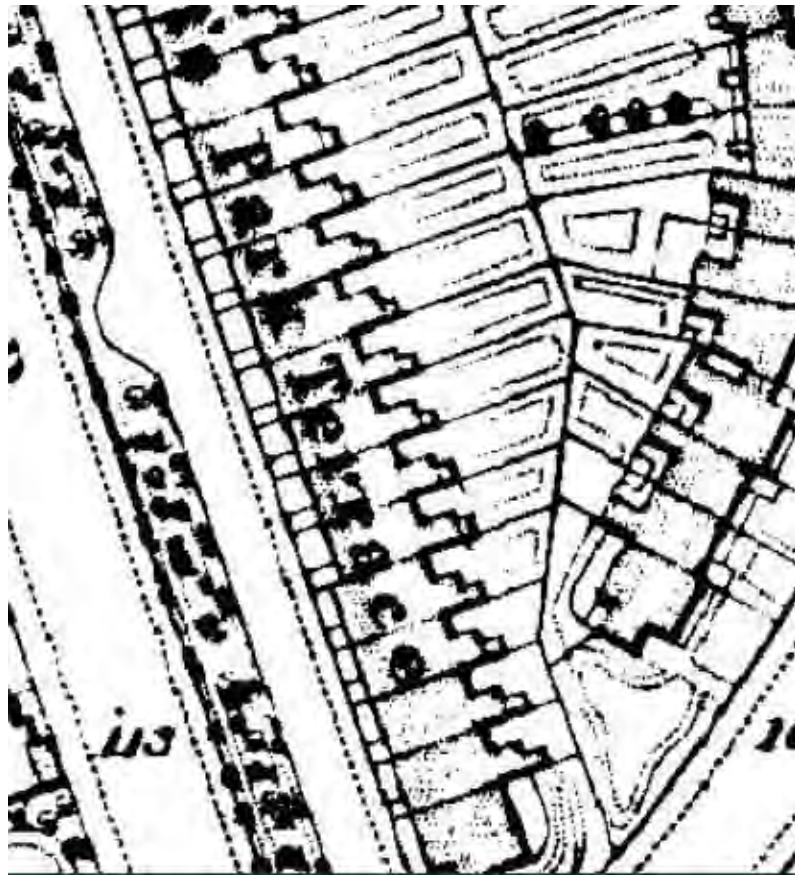
2.13 Behind Regent's Park Terrace are the backs of the large 19th C villas of Gloucester Terrace. Some of which have rear extensions and glass conservatories.

3. The Building's Social Context

- 3.1 The rapid expansion of London in the 18th and 19th centuries as the capital of a growing industrial and trading economy and empire produced an expanded affluent professional, business and entrepreneurial middle and upper classes. The landed aristocracy also benefited from economic growth and the resultant property development boom. The population of London grew substantially and London experienced a major suburban expansion to accommodate the growing population. The Regent's Canal was built between 1812 and 1820 to serve the commercial transport needs of north London and to link the Paddington arm of the Grand Union Canal to the Thames at the Limehouse Basin. The architect and town planner John Nash had produced a plan for the Prince Regent to redevelop an area of north London and the laying out of a new park and the canal was incorporated into the scheme to run around the northern edge of Regent's Park (7).
- 3.2 Regent's Park is "*an early C19 landscape park designed by John Nash as a setting for villa residences*"(8) The park and its buildings Nash's Regent's Park and its buildings was laid out between 1811 and 1827 and was opened as a public park from 1835 onwards (8), providing leisure facilities for the growing affluent classes. Following the laying out of Regent's Park, the London to Birmingham Railway (now the Euston Line) was constructed under the direction of Robert Stephenson between 1833 -1838 (9).
- 3.3 The basic planning unit for suburban development was the landed estate. Initially the architectural layout and form used were straight formal terraces in a classical style with garden squares. Later garden suburbs were developed with crescents and villas in more diverse styles, including the Italianate.
- 3.4 Primrose Hill was developed after part of the estate of Lord Southampton was sold at auction in 1840 (6). The land was divided up into lots. Development was completed by about 1870. According to one source, the built-up part was named after Archibald Primrose, during whose premiership the London Underground railway network rapidly expanded (10). Other authors, including Sheppard, say that it was because the public park on the hill used to be covered in primroses. From its inception it was a fashionable place to live and remains so today.
- 3.5 Regent's Park Terrace was built was built on Lot 208 in 1845-1846 (6) (9). Its occupants would have been affluent middle class families of professionals, small business people and minor landed gentry. At that time, the auction lot plan showed a few houses already built at the southwest end of the Gloucester Crescent where it joins Oval Road.
- 3.6 Given the limited nature of the proposed alterations, a detailed search of the building's inhabitants in historic street directories is not necessary. Walford records that Louis (Lajos) Kossuth the Hungarian patriot was living in the Terrace in 1851 (11). Kossuth was a prominent lawyer, journalist and politician who played a key role in the Hungarian Revolution of 1848 and became Regent-Governor of the Kingdom of Hungary. After its failure he went into exile abroad, including Britain where he was widely feted and treated as a hero (12). No. 8 has a blue plaque commemorating Humphrey Jennings, a documentary filmmaker who lived there between 1944 and 1950.

4. The Building's History and Development

- 4.1 According to Pevsner, the Terrace was constructed in 1845-1846. However, No. 22 is distinctly different from the rest of the terrace in style, materials and height and may be a slightly later 19th C infill. The front façade of the terrace and the front boundary's entrance pillars and railings at the south end have not changed in appearance since it was originally built. A photograph dated circa 1906, which cannot be reproduced here for copyright reasons, shows the south end of the terrace as it is today (13). All the architectural features of the terrace itself and the front boundary railings appear to be original, or if replaced, excellent copies. The 1869 Ordnance Survey Map shows all the houses in the terrace having rear wings of the same shape and size and so were original part of the building. They are basically the same size and shape today, apart from a few minor extensions.



1869 Ordnance Survey Plan of Regent's Park Terrace, showing original rear wings.

Copyright British History Online (16)

- 4.2 The exceptions are the front entrance steps and landings, a few of which have been rebuilt or reclad in modern times in stone or in some cases clad in white marble tiles with black diamond corners. The door to No. 22 has had its top two panels replaced with glazing. The cruciform mullions and transoms of the two central first floor windows on south end elevation of No. 1 also appear to be a later alteration.
- 4.3 The York stone paving in front of the houses has been re-laid and some or all of it may have been replaced. This is evidenced by the fact that the flags now have wide cemented joints between them. Originally they would have been laid tight up against each other, without gaps and without any mortar in the joints. Small modern cast iron bollards have been installed along the pavement edge to discourage pavement parking over the vaults below. Some of the houses' vaults, including No.10, have lost their coalhole plates. The surviving ones vary in style and some are very worn and appear much older, which implies that others are later replacements. Traditional style cast iron lampposts and lanterns were recently installed on the grass verge.
- 4.4 The photograph of circa 1906 of the south end of the Terrace shows the terrace and the front boundary wall and the railings and pillars at the south end are as they are today (13). There was no gate or a pillar on the right-hand side to support it.
- 4.5 Photographs taken circa 1964 & 1968 in LB Camden's archive also show the south entrance as it is today (14).



The south entrance circa 1964

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Camden Local Studies and Archives Centre

- 4.6 Small photographs taken by the Camden History Society in 1980, which were too small to copy adequately, show the boundary wall having a number of intermediate pillars at regular intervals along its length (15). The photographs also show the north and south entrances as they are today. A long stretch of the front boundary wall and some of its entrance pilasters have since been rebuilt.
- 4.7 An online search of the Planning and Building Control records for No. 10 was carried out. The results are listed in Appendix 3 and discussed below.
- 4.8 In 1976 Listed Building consent was granted (HB1177) for the erection of a conservatory on the existing rear balcony. This involved raising the southern wall of the rear wing and constructing a narrow column of brickwork against the main back wall on the north side. The conservatory was shown with four plain window sashes at the rear with the roof glazing also having four divisions lining up with the window divisions. The north side had five window sashes. The windows had no glazing bar subdivisions. The drawings show that at that time there was a full width timber balcony with horizontal rails at ground floor level and external timber stairs with parallel sloping rails down to basement level in the garden on the back of the rear wing. The ground floor door was shown as having a concrete lintel and was fully glazed and divided into small panes. At basement level there were French doors in the main back wall. There was no boiler room extension at ground level.
- 4.9 In 1981 Listed Building Consent was granted (HB2550) for the retention of internal alterations and the enlargement of the rear second floor stair window. The as-existing plans show the layout of the ground floor entrance hall and staircase compartment and the position of the doors to the two principal rooms as they are today. There was no archway opening between the front and rear ground floor rooms. In the rear wing at ground floor level, there was small lobby area and leading off this a separate W.C. with a small window in the south party wall to one side and a bathroom and W.C. to the rear. A door in the rear wall of the bathroom gave access to external stairs leading down into the garden. There was no balcony across the full width of the rear wing and the stairs were directly in front of the door. There was no boiler room extension at ground floor level. The first floor conservatory was shown with the roof glazing divided into four sections, not three as they are today.

- 4.10 At first floor level the front room still had its door and there was a large archway between the front and rear rooms, which had a pair of two-leaved bi-fold doors. The doors have since been removed. At second floor level, the layout of the landing and the position of the door to the front bedroom were as they are today. The door to the rear bedroom still existed. There was a door between the two rooms and the rear room had a sink in it. The third floor layout was as original and the front part was only one room. The rear south room on the third floor was a bathroom. There was a rooflight above the landing.
- 4.11 A proposed section showed the cill of the landing window being lowered, as it is today. The proposed internal alterations included removal of most of the original wall between the front and rear rooms and their doors on the ground floor and reducing the depth of the front room and enlarging the rear room by constructing a new partition nearer to the front room's chimneybreast and repositioning the doors to those rooms. The rear room was to be a kitchen. These alterations were implemented and were shown in the drawings for the Listed Building Consent granted in 1992 (9270185). The layout is not like this today. In the rear wing at ground floor level, the bathroom and its partition and door were to be removed. These alterations have been implemented and are as today.
- 4.12 On the first floor, the pair of bi-fold doors to the arch between the two rooms was to be removed. This has been implemented and it is like this today. On the second floor, the door and part of the partition wall of the rear room were to be removed and a lobby area formed between the front and rear rooms by partitioning the rear room. The door to the front room was to be blocked up and new doors formed to the rooms from the new corridor. The end of the second floor landing was to be partitioned off to form a cupboard. It is not known if this was implemented and the second floor layout is not like this today. On the third floor, the landing was to be enlarged. This was implemented and remains like this today. The front room was to be subdivided by a partition with a recess in it, presumably to form an area for a wardrobe in the smaller southern room. It is not known whether this partition was implemented in this way and it is straight without a recess today.
- 4.13 In 1991 Listed Building Consent and Planning Permission were granted (9170077 & 9100396) for the demolition of an existing first floor rear conservatory and its replacement by a new conservatory. The drawings are scant, but show proposed tripartite casement windows at the rear with a wide central window sash and narrow side sashes with glazing bar subdivisions into small panes. It is not known if this was implemented and the conservatory's glazing pattern is not like this today.
- 4.14 In 1992, an application (92/2/0423) was made under the Building Regulations for a conservatory, but the Building Control team was not notified of a commencement of work and the application was placed in a "Lapsed" status and the records destroyed.
- 4.15 In 1992 Listed Building Consent and Planning Permission were granted (9170224 & 9101320) for the erection of a first floor rear glazed balcony and replacement of an existing timber staircase. The incorrect drawing has been loaded on the council's website so it was not possible to examine the approved drawings. However, the glazed balcony appears not to have been implemented. However, the timber stairs and balcony have been replaced and an as-existing drawing dated 1998 shows stairs and a balcony with straight vertical rails, not the decorative cast iron ones as they are today.
- 4.16 In 1992 Listed Building Consent was granted (9270185) for the "restoration of double-doors between the principal ground floor rooms" and alterations to a secondary internal ground floor door. This involved reinstating the partition wall and door to the rear ground floor room back in their original positions, which were implemented and are like this today, blocking up the non-original door to the front room, and the formation of an opening with a pair of two-panelled doors in the non-original partition between the two rooms. It was not really a restoration as originally there was no archway and double-doors between the front and rear rooms. The kitchen in the rear room was to be refitted and the front face of the chimneybreast removed and a range cooker inserted. The rear room's window was to be replaced by French doors with toplights above. It is not known if the alterations to the chimneybreast were implemented. It is not like this today. The French doors were not implemented and the original window and shutters survive.
- 4.17 In 1996 Listed Building Consent was granted (L9602036) for the relocation of a partition wall between ground floor dining room and kitchen. This involved the removal of the

non-original partition wall that ran into the corner of the front chimneybreast and the reinstatement of the partition wall in its original position, with an archway and double-doors. At that time, the front fireplace did not exist and the proposals included reopening and reinstating it, although no details were given of the design of the mantelpiece or grate. It is not known if this scheme was implemented in full and only part of the wall on the south side has been reinstated in its original position today.

- 4.18 In 1998 Listed Building Consent and Planning Permission were granted (LE9800323R1 & PE9800322R1) for the erection of a ground floor conservatory to the rear and alterations to the front basement porch and installation of new window on the ground floor rear elevation.
- 4.19 The as-existing section shows the wall under the landing of the front entrance bridge with a solid six-panelled door with a fanlight above divided into six panes in a three-over-three pattern and there being no window. The proposed section shows the space under the bridge being extended under a curved lead roof with a solid six-panelled door and a window to its side divided into six panes in a three-over-three pattern and full-width glazing above the transom divided vertically in six panes. Whilst this extension has been implemented, the door, window and top glazing are not as shown in the drawing.
- 4.20 An as-existing drawing shows the north flank wall of the rear wing as having a door and two small plain windows without glazing bar subdivisions. The smaller window survives and is still like that today. The wall is shown as being rendered at basement level, which cannot be correct, as the surviving section of wall today remains unrendered brickwork. The as-existing drawings show the basement main rear wall as having French doors divided by glazing bars into four panes per door and a plain glazed toplight. The main rear wall at basement level was shown as being rendered.
- 4.21 The conservatory on top of the rear wing is shown as having three plain window sashes without glazing bars on the rear and north sides and the roof glazing divided in six strips, lining up with the rear window divisions. The roof and north wall are not like this today.
- 4.22 The ground floor door of the rear wing is shown with a concrete lintel as it is today. The balcony at ground floor level and stairs down the garden are shown with plain straight vertical railed balustrading rather than the decorative cast iron balustrading they have today. They also show the existing boiler room extension at basement level. Thus the boiler room appears to have been constructed between 1981 and 1998.
- 4.23 The proposed drawings show the construction of a basement conservatory albeit larger than the existing one today, extending almost to the corner of the rear wing. It had four folding doors with single horizontal glazing bars dividing each into two panes. The roof glazing was also divided into four, lining up with the door divisions. However, this was not built in accordance with the plan as the conservatory today is shorter, lacks glazing bars to its doors and its roof glazing has five divisions, not four, and these do not relate to the door divisions.
- 4.24 The boiler room is shown as being rebuilt taller with a rendered rear wall and a rear sliding sash window divided in small panes in a six-over-six pattern. Internally there was to be an opening linking it to the rear wing to form a larger kitchen. This was not implemented and the boiler room remains the same today.
- 4.25 However, whilst the plans show the removal of the basement French doors, the main back wall was retained, as was the north flank wall of the rear wing, with the door and windows in it being blocked up.
- 4.26 The as-existing plan shows most of the basement's original internal plan form and compartmentalisation surviving. Only the wall between the front room and the servants' and tradespersons' entrance corridor and the front room had been removed and there was a partition and door between the staircase compartment and the enlarged front room. A bathroom was shown in the front vault and a kitchen in the rear wing.
- 4.27 The proposed plan shows the removal of the wall between the basement rear room and the staircase compartment, the reinstatement of the wall between the front room and the former entrance corridor and the removal of the non-original door between the entrance hall and staircase compartment. However the original partition between the main front and rear rooms was to be removed and a new partition formed that ran into the corner of the front room's chimneybreast, thus enlarging the rear room at the expense of the front

room. It is not known if this scheme was implemented in its entirety and the basement is not like this today, as all the internal partition walls are missing.

- 4.28 In 2000, Building Regulation approval was obtained (00/1/0035) for a new bathroom and drainage work in the basement.
- 4.29 Thus it appears that whilst the wall between the basement front room and the former entrance corridor was removed before 1998, the complete removal at basement level of all the remaining internal partition walls, most of the rear main back wall and most of the north flank wall of the rear extension took place after 1998.
- 4.30 There appear to have been alterations to the conservatory since it was built circa 1975. If the drawings are to be believed, it seems that the roof was changed from having 4 divisions to six, between 1981 and 1998, possibly in 1991, and to three divisions after 1998. The rear wall had four divisions and the side wall five, but by 1998, had three at the rear and four on the side, with the apex above the transom being further subdivided by vertical glazing bars to give eight panes as it has today. This change may also have occurred in 1991.
- 4.31 Since 1996 the kitchen has been moved from the ground floor rear room to the ground floor front room and the front face of its chimneybreast was removed and an Aga range cooker inserted inside it. After 1998 the basement kitchen was removed from rear wing and relocated to the utility room under the main entrance bridge landing at the front and the bathroom removed from the vault under pavement.
- 4.32 At some point after 1981, the rear room on the second floor was subdivided to form a dressing area with a partition having a wide opening in it with sliding double doors. The remainder of the rear room was converted to a bathroom. That room's entrance door was removed and blocked up and a wide opening formed in the original partition between the front and rear rooms. After 1998 built-in wardrobes were also fitted in front of the chimneybreast and fireplace in the second floor front room.
- 4.33 None of the drawings give sufficient detail to assess when the missing fireplaces were lost, or when new architectural features were installed. The non-original doors, skirting boards, dado rails, ceiling cornices and recessed ceiling spotlights probably all date from either the times when the alterations to the partitioning of the respective rooms took place or since 1998.

5. Description of the Exterior of the Building

The Front Façade of the Terrace

- 5.1 The building is part of a terrace of twenty-one Regency townhouses designed as a single composition. The terrace has three storeys over basements. Its design is classically inspired and is typical of late Georgian and Regency London terraced town houses built to house minor gentry and affluent middle class families. They have a strong vertical architectural hierarchy, which also reflects the functional and social hierarchy of how each floor was occupied. Originally, the basements would have accommodated the kitchens, sculleries, pantries and wine cellars, with the front rooms possibly being housekeepers' living accommodation. The ground floor rooms were often used as dining rooms, studies, libraries, etc. The principal reception rooms where visitors would have been entertained socially would have been on the first floor, being the *piano nobile*. The families' bedrooms would have occupied the second floors, whilst the third floor would have been further children's bedrooms and servants' bedrooms. This hierarchy is reflected externally in the design and heights of each floor and their windows and internally by the relative scale, quality and ornateness of architectural features.
- 5.2 Nos. 1 - 21 form a symmetrical façade with slightly projecting end houses. They are constructed of yellow London Stock bricks with stuccoed ground floor and basement front elevations incised with horizontal rustication bandings. Their butterfly roofs are concealed behind a parapet with a stuccoed modillion cornice and blocking course. Each house is two-bayed with two windows on each floor. Nos. 2 - 22 have square headed doorways.
- 5.3 The entrance doors are approached by stone steps and landings bridging the lightwells. The spaces under the bridges at basement level are all enclosed, but may originally have been open which is a typical Georgian and Regency arrangement. Their side walls have windows and entrance doors of varying layouts and styles. Access to the basement

lightwells and doors is by winder steps with plain cast iron balustrades and York stone treads. These were the servants' and tradespersons' entrances.

- 5.4 Originally all the entrance steps would have been of Portland stone and the bridge landings of Nos. 2-21 paved with either a single or two slabs of Portland or York stone. However, many of the steps and landings have been altered. Some have been clad in white marble tiles. Others have been reclad in Portland stone or reconstructed with stone (apparently mostly or all Portland stone) treads and risers and landings. One landing has been concreted. Others still have York stone landings, but laid in a number of small slabs, which may either be the original slabs cut up or later replacements in smaller sizes. The entrance to No.1 is on the southern end return. It has a stuccoed portico with pilasters, a round-arched doorway, a cornice and a parapet.
- 5.5 All their front doors are four-panelled with flat recessed panels and ogee bolection mouldings. They have generous moulded frames imitating sub-pilasters with corniced transom-heads and fanlights above. The window openings have stucco architraves, with those on the first and second floors having corniced hood mouldings. The first floor hood mouldings are bracketed. The windows are timber double-hung sliding sashes, divided into small panes in the Regency style. Some of the windows have external timber blind boxes, including Nos. 7, 9 and 12. The first floor has a continuous stone balcony with cast iron railings. There are plain stucco storey bands to the second and third floors.
- 5.6 The front basement lightwells and the sides of the entrance steps are enclosed by cast iron railings. Their top-rails are plain flat bar and the plain common rails have foliated pointed finials. The thicker queen posts have foliate mouldings top and bottom and larger ball-tipped foliated finials. The south end of the railings at No. 1 is terminated at a brick pier.



Regent's Park Terrace view from the south, overall - High Significance.



Regent's Park Terrace front elevation viewed from the north, overall - High Significance.

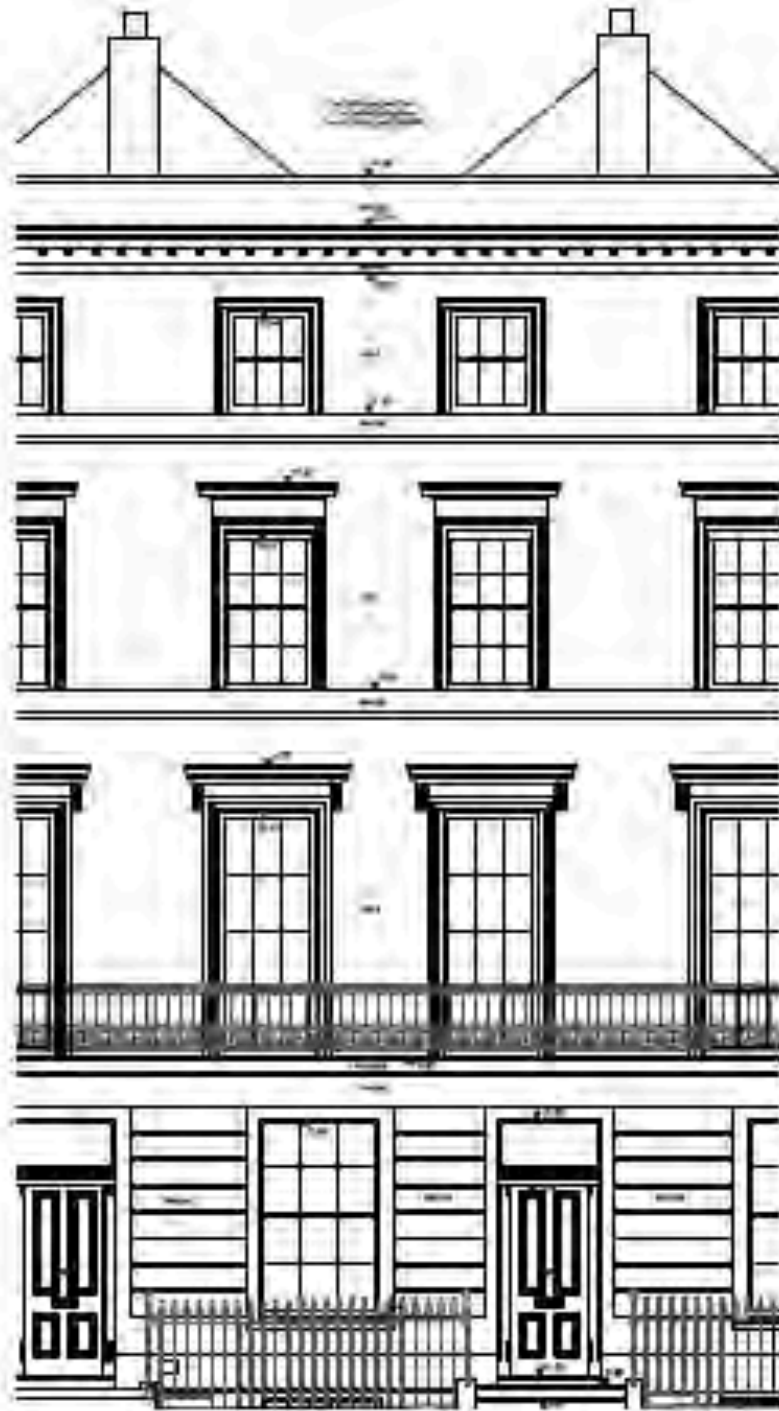
- 5.7 No. 22 is different and is only two storeys in height, plus a basement and is entirely stuccoed. It has a projecting stuccoed portico and a round-arched doorway, a balustraded parapet and only one window on each floor. The ground floor window is a wider tripartite one. It has a cornice and balustraded parapet.
- 5.8 All the stucco-work is painted in a pale cream colour apart from No. 22, which is white. The basement lightwell railings and balcony railings are painted gloss black. The front doors are painted in a variety of colours.
- 5.9 The street façade is virtually unchanged in appearance since it was built and its architectural features are either original or are very accurate replacements. It retains a very high degree of architectural unity and integrity. Such alterations that have occurred are confined to the basement side walls under the entrance steps and bridges and to the surfaces of the steps and landings. These alterations are considered to be of No heritage significance. Some of these alterations are unsympathetic to the character of the building. However, these items could be restored or enhanced relatively easily. Overall, the street facade is considered to be of High Heritage Significance. It is remarkably free of modern clutter, such as telephone and television aerial cables, satellite dishes etc. that so often disfigure historic buildings. Burglar alarms are generally unobtrusively located at basement level.

The Front Façade of No. 10

- 5.10 This is intact and as original from ground to top floors apart from the front entrance steps and landing. Some of the windows have been replaced in a matching style. The second floor windows have small external blind boxes. There are no cables, pipes, burglar alarms or satellite dishes on the front elevation.
- 5.11 The landing has been clad in modern times with white marble octagonal tiles with black stone (slate?) diamonds in the corners. The risers and treads of the steps up onto the

landing are also clad in white marble, as is the doorstep. There are also white marble linings to the Portland stone plinths at the sides. These are harmful modern alterations.

- 5.12 The steps down into the basement front lightwell are of York stone, but have been patch repaired in cement. They have plain cast iron bannisters and handrails.
- 5.13 At basement level, the area under the landing of the bridge has been enclosed and extended outwards with a lead roof over it. This build-out has a half-glazed door, with the glazing being divided into six panes by glazing bars. The bottom timber part is divided into three flat recessed panels with mouldings around them. To its right-hand side is a six-paned window. This build-out and its window are inappropriate harmful modern alterations. The original basement entrance door would have been a solid four-panelled one, having flush panels with butt and beaded edges on the outside and flat recessed panels with no mouldings on the inside. Any window would have been a sliding sash, but it is likely that originally the area under the bridge would have been open and the door located underneath the main entrance door.
- 5.14 The basement front window has metal bars over it as protection against intruders. This is a harmful modern alteration.
- 5.15 The lightwell is paved in York stone. There are plain-boarded doors to two vaults under the pavement. An unattractive white plastic boiler flue with a plume pipe extension and a white plastic condensate pipe protrude through the wall of the vaults. The vaults have lost the coalhole plate in the pavement above.
- 5.16 The overall heritage significance of the front elevation, in common with the rest of this group is High, notwithstanding the alterations.



1 Existing Front Elevation
1:100

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The Rear Elevation

- 5.17 The rear elevation is of London Stock brick and has a two-storey rear wing at basement and ground floor levels. This has a York stone coping with brick dentils below it. The parapet above the third floor also has a York stone coping.
- 5.18 The windows from ground to third floor levels are Regency style sliding sashes divided into small panes and have shallow segmental curved brick on end arched heads and painted stone cills. The rear room windows from ground to third floors are all six-over-six pane pattern. The heights of the windows reduce progressively up the building, reflecting the building's architectural hierarchy.
- 5.19 The main staircase compartment is lit by original French doors with a semi-circular brick arched head at first floor half landing level. The doors are divided by glazing bars with margin panes. These are considered of High Heritage Significance.
- 5.20 At second floor half-landing level it is lit by a larger nine-over-nine pane window. This window is significantly larger than those of most other buildings in the terrace and has been enlarged in modern times by lowering the cill.
- 5.21 At basement level the main rear elevation has been altered by the removal of the original window and most of the main back wall to form a larger opening and the construction of a modern glass conservatory. The conservatory is of no heritage significance or architectural merit. Almost the entire north flank wall of the rear wing within the conservatory also has been removed. The remainder of the walls within the conservatory have been plastered and painted white. These are harmful modern alterations. The remaining brickwork of the rear wing outside the conservatory and also a section of the brick garden wall on the other side have been painted white, which detracts from their character and appearance.
- 5.22 A two-storey rear wing, half the width of the building projects to the rear. This is lit at ground level by a small window on its north elevation, which has lost its original frame and now has a single plain glazed sash and by a pair of windows at ground floor level, also on its north elevation. The latter have sliding sashes in a six-over-six pane pattern and segmental curved brick on end heads and painted stone cills. The rear wing has been altered at the rear by the construction of a black painted metal balcony and stairs leading from a new door down into the garden. Its railings are in decorative moulded cast iron. The door is an inappropriate modern two-panelled one with the bottom panel being flat and recessed and the top panel plain glazed. Above it is an unattractive and inappropriate concrete lintel. This door and its lintel are harmful modern alterations and have no heritage significance.
- 5.23 A modern conservatory with plain glazed windows has been constructed on top of the rear wing. The party wall on the north side has been built up in matching London Stock brick. The plain glazed windows are considered unsympathetic in their proportions and glazing pattern. The brickwork within the conservatory has been painted white which also detracts from the building's character and appearance. It has no heritage significance or architectural merit.
- 5.24 A small modern single-storey rear extension has been added to the rear wing. It is constructed of London Stock brick and has white painted deep timber fascias, a felt roof and a modern flush door. There is a white plastic boiler flue with a plume pipe protruding from it. The fascias, felt roof, door and plume pipe are harmful modern features and this extension has no heritage significance or architectural merit. A small powder blue painted timber shed with a shallow monopitched roof adjoins the rear of this extension. This is a harmful modern addition.
- 5.25 Overall, notwithstanding the harmful modern alterations, the rear elevation is considered to be of Medium heritage significance.

The Roof

- 5.26 The building has a "butterfly" roof with a central valley and the roof pitches are hipped at the front and rear. It is designed to be hidden behind the parapet in views from ground level. Originally, it would have been clad in slate. It is of High Significance.



1 Existing Rear Elevation
1:100

6. Description of the Interior of the Building

The Basement

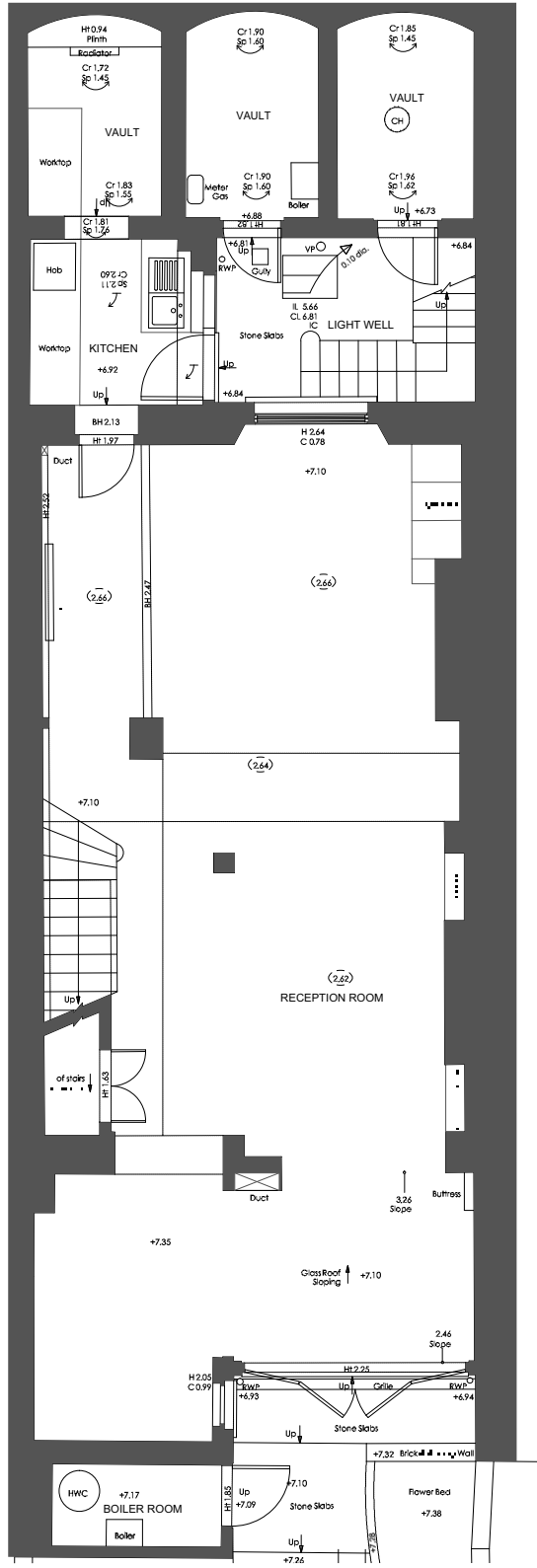
- 6.1 The floor plan at basement level has been radically altered and all its internal partition walls have been removed. Most of the original main rear wall and the northern flank wall of the rear wing also have been removed, resulting in the basement becoming a single open-plan space. The chimneybreasts survive, but have lost their fireplaces and the openings have been blocked up. Whilst they are original features and are foci of the former room spaces, their heritage significance is considered Low. The floor is carpeted and it is not known if any original flooring survives.
- 6.2 The original stone basement stairs and their wrought iron balustrade survive and are of High heritage significance. The front window is a sliding sash. The skirting boards have ogee mouldings and are modern and in an inappropriate style for a basement and have no heritage significance. Originally they would have been plain without mouldings.
- 6.3 A doorway at the front leads into the space under the main entrance steps and bridge. Originally this space may have been open and not enclosed, in which case this door would have been the external entrance door for servants and tradespersons. The door is an inappropriate four-panelled one with raised and fielded panels. It should have flat recessed panels without mouldings on its inside and if it were originally an outside door, flush panels with butt and beaded edges externally.
- 6.4 The space under the entrance steps and bridge now forms a utility room. This has been extended outwards on the north side and has an inappropriate modern half-glazed external door. There is an opening leading into one of the three pavement vaults. Their walls and vaulted ceilings are tiled. The other two vaults are accessed from doors in the front basement light well.
- 6.5 All the modern alterations are all harmful to the building's character. The overall heritage significance of the basement is considered Negligible now.

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Revisions
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Drawing title:
 Existing Lower Ground Floor Plan

Status:
 Planning

Scale:
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Drawn by:
 NE

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1 Existing Lower Ground Floor Plan
 1:50

The Basement

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The Ground Floor

- 6.6 The original plan form of this floor is largely as original, although this is partly the result of modern restoration work.
- 6.7 The Entrance Hall and Staircase Compartment: This still retains its original skirting boards and ceiling cornices and the decorative bracketed arch between it and the staircase compartment and rear corridor. However, whilst of an appropriate period design, the dado rails are modern additions. The inside of the front entrance door has been over-boarded and mouldings applied to mock up panelling, which is a harmful alteration. The doorways leading to the front and rear reception rooms have modern architraves of a period design, but no doors. The floor has been clad in stone (travertine?) in modern times, which is an inappropriate harmful modern alteration. It is not known if the original floorboards survive underneath. There are recessed spotlights on the ceiling, which is an inappropriate harmful alteration. Overall, the heritage significance of this space remains High, notwithstanding the modern alterations.
- 6.8 The Front Reception Room: This has been converted into a kitchen with the kitchen units running alongside the party wall. The fireplace and the front face of the chimneybreast have been removed and an Aga cooking range inserted. The visible skirting boards are original on the south wall and front wall. It is not known whether any original skirting boards survive behind the kitchen units. The original window shutters and timber panelling below the window survive although the latter has been largely obscured by a flat panel radiator. The ceiling cornice is a modern period replica and the ceiling rose has been lost. The door architrave inside the room is a modern period replica, but the door may be the original one that was relocated and then returned to its rightful place. The floor has been clad in inappropriate stone slabs (travertine?), which is an inappropriate harmful modern alteration. It is not known if the original floorboards survive underneath. There are recessed spotlights on the ceiling, which is an inappropriate alteration.
- 6.9 A large almost full height opening has been formed between the front and rear rooms. There is a short section of wall on the entrance hall side, which is a modern restoration, but none on the party wall side. This opening is not original and results in a loss of definition of the floor plan and compartmentalisation of this part of the building and is a harmful modern alteration.
- 6.10 The surviving original fabric and individual features are considered to be of High heritage significance. Because of the harmful modern alterations, overall the room is considered to be of Medium heritage significance. Had it not been altered and retained all its original features, it would have been considered of High heritage significance.
- 6.11 The Rear Reception Room: This room also has lost its fireplace. It has a modern plain cove ceiling cornice and has lost its ceiling rose. The floor has been overboarded with modern oak boarding. It is not known if the original floorboards survive underneath. These are harmful modern alterations. The skirting boards are mostly not original and the door architrave is also a modern restoration. There are recessed spotlights on the ceiling, which is an inappropriate alteration. The door may be a replica or the original one relocated and then reinstated in its original position. The original window, window shutters and panelling survive, although a flat panel radiator largely obscures the panelling below the window. These features are of High Significance.
- 6.12 Because of the modern alterations the heritage significance of this room is Medium. Had it retained all its original fabric and features it would have been High.
- 6.13 The Rear Wing: This service area has a separate W.C. and is used as a Utility room. Its floor has been covered in stone (travertine?) It is not known if the original floorboards survive underneath. Other than the door and architrave to the W.C., it has no original internal features and is of Low heritage significance. The door period style half-glazed door leading into it is not original but a modern one. Originally it would have been a solid four-panelled one with flat recessed panels and ogee bed-mouldings.

The Staircase

- 6.14 The original main staircase survives. It is located at the rear of the property, is constructed of timber and rises from front to rear. It has a continuous handrail up to the second floor landing. It is open-stringed without string mouldings. It has bull-nosed treads with scotia mouldings beneath. Its handrail terminates in a scroll on the ground

floor, where it is supported on an ornate cast iron newel post. The bannister rails are turned. Originally there was a panelled partition beneath the stairs enclosing the stairs to the basement, but the panels have been replaced with glass. This is a harmful modern alteration. Notwithstanding this alteration the stairs' heritage significance is High.

- 6.15 The stairs have a half-landing between the ground and first floors from which a pair of French doors open onto a terrace on top of the rear wing. The doors appear to be original. The doorway's reveals have timber panelling. These all are of High heritage significance.
- 6.16 The first floor landing retains its original skirting boards, ceiling cornice and door architraves. The dado rails however, appear to be a modern alteration. The floor is carpeted and it is not known if the original floorboards survive underneath.
- 6.17 At second-mezzanine level the stairs turn in a winder through 360 degrees. At this level there is a sliding sash window illuminating the staircase compartment. This window is not original and has been enlarged by lowering its cill. Its sash frame and glazing bars have ovolo mouldings.
- 6.18 The stairs to the basement are different. They are constructed of stone and have plain wrought iron bannisters and handrail. These stairs also are of High heritage significance.
- 6.19 There is a separate secondary winder staircase rising from the second floor landing to the third floor. This is also open-stringed and has turned newel posts at the top and bottom. It has plain square section stick bannister rails. This is of High heritage significance.

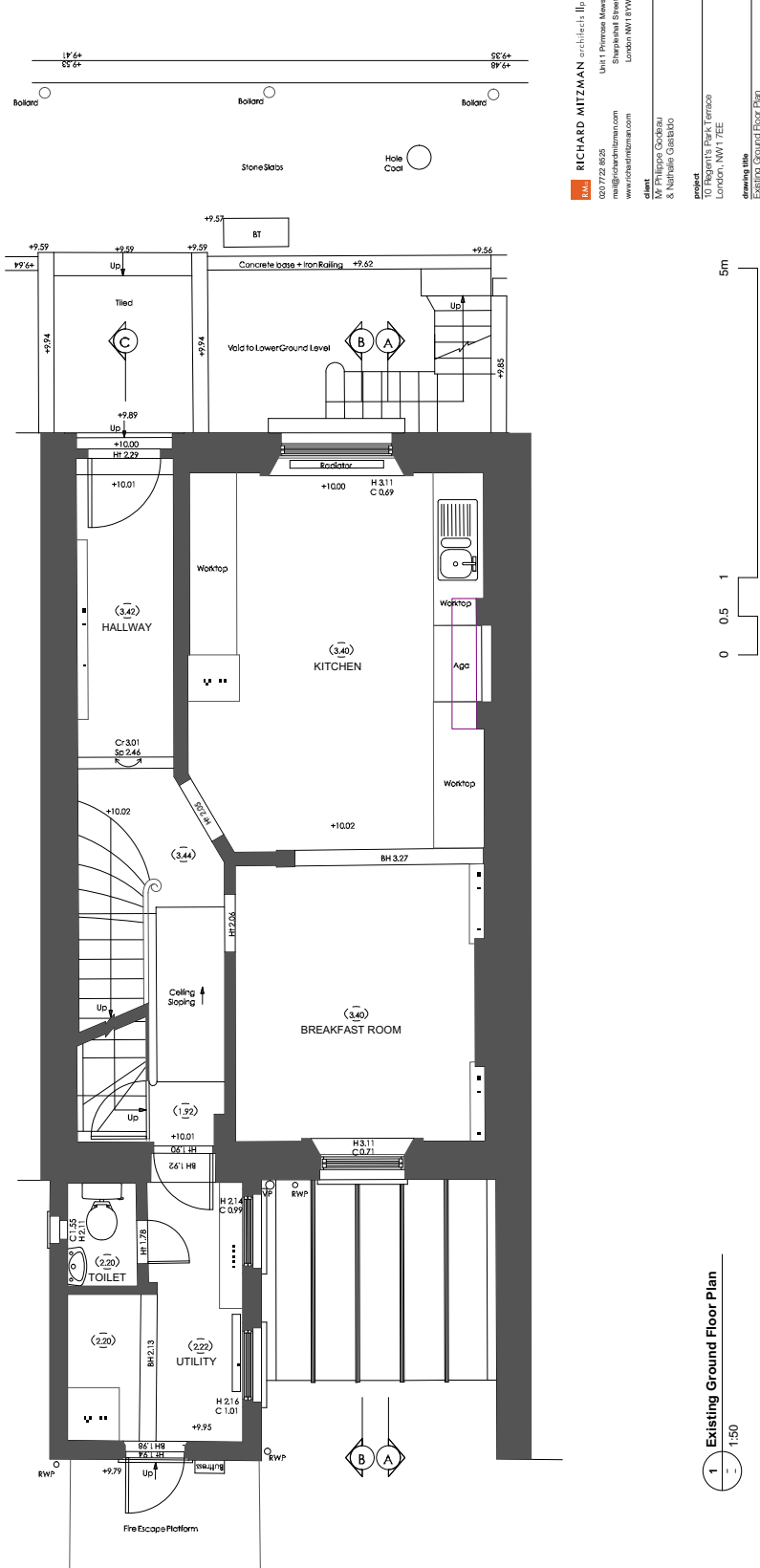
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Revisions:

P1 24.11.2016 Issued to client



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drawing title:
 Existing Ground Floor Plan

status:
 Planning

scale:
 1:50 (BAS)

drawn by:
 RME

date issued:
 24.11.2016

file reference:
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The Ground Floor

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The First Floor

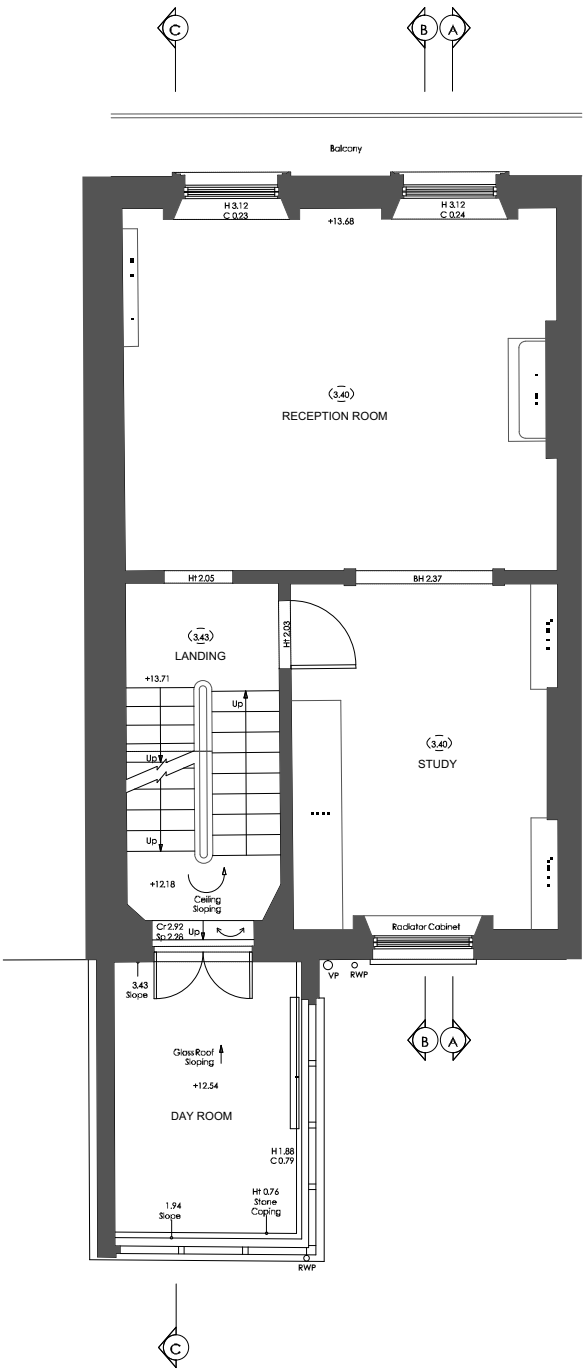
- 6.20 The first floor is the *piano nobile*, i.e. the most architecturally and socially important floor with the principal rooms of the house. Its layout and compartmentalisation is as original.
- 6.21 The Front Room: This has lost its entrance door although the door architraves survive on both sides. The chimneybreast survives. It has a grey marble period fireplace, which appears not to be original. Nevertheless, its architectural merit is high and it is of high quality and worthy of retention. It retains its original window shutters and architraves. The skirting boards on the party walls and front wall are original but those on the inner partition wall are not original but modern replacements that do not quite match. The ceiling cornice is a modern period replacement and the ceiling rose is missing. The northern French windows opening onto the balcony are original and have lamb's tongue mouldings, whereas the southern French doors are later replacements and their long ovolo mouldings do not match the originals. The floor has been overboarded with modern oak boards, which is a harmful modern alteration. It is not known whether the original floorboards survive underneath.
- 6.22 There is a wide double-door width opening between the front and rear rooms. This has period style timber linings and architraves, which are modern. Nevertheless, the opening appears to be original and such openings are common on first floors of buildings of this period, style and class. It has lost its pair of bi-fold doors.
- 6.23 The heritage significance of the surviving historic fabric and features is High and overall, the room's heritage significance is High, notwithstanding the modern alterations and missing features.
- 6.24 The Rear Room: This retains its chimneybreast although the fireplace has been removed and the opening blocked up. It retains its original four-panelled door, door architraves and window shutters. The skirting board on the rear wall is original but those on the other walls are modern and do not quite match the originals. There are modern, period style shelves in the chimney recesses. The ceiling cornice is an inappropriate plain modern coving and the ceiling rose has been lost. The floor has been overboarded with modern oak boards, which is a harmful modern alteration. It is not known whether the original floorboards survive underneath.
- 6.25 The heritage significance of the surviving historic fabric and features is High and overall, the room's heritage significance is High, notwithstanding the modern alterations and missing features.
- 6.26 The Conservatory: The French doors on the half-landing lead onto a terrace above the rear wing, which has been enclosed with a modern conservatory. There are no historic features within this space, other than the French doors and its heritage significance is None/Negligible. The brickwork of the walls enclosed within the conservatory has been painted white, which is a harmful alteration.

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Revisions
P1 24.11.16 based to client



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Drawing title:
 Existing First Floor Plan

Scale:
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Drawn by:
 NE

Date created:
 24.11.2016

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 P1



1 Existing First Floor Plan
 1:50

The Second Floor

- 6.27 The original layout and compartmentalisation has been altered slightly but broadly reflects the original layout. The partition wall between the landing and the front room has been moved forward, an airing cupboard created on the landing and the entrance to the front room repositioned. Its door and architrave are modern.
- 6.28 The Front Room: This room would have been the master bedroom of the house and remains so today. The chimneybreast and an original hob grate fireplace survive, which are of High Heritage Significance. However, built-in cupboards have been formed in front of them and the chimney recesses either side. This is a harmful modern alteration. The ceiling cornice is modern, albeit in period style and there is no ceiling rose. The skirting boards are also non-original. The floor has been overboarded with modern oak boards, which is a harmful modern alteration. It is not known whether the original floorboards survive underneath. The windows are modern replacements with ogee mouldings. There is a non-original wide opening in the wall between the front and rear rooms, which is a harmful modern alteration. There are recessed spotlights on the ceiling, which is an inappropriate harmful alteration. Overall, this room is of Medium heritage significance, notwithstanding the alterations.
- 6.29 The Rear Room: This room would have been the second most important bedroom originally. It has been divided to form a dressing area and the original room door has been removed and the opening blocked up. The new partition wall has a pair of sliding doors that slide back into the wall. Beyond these is an en suite bathroom. A corner chimneybreast survives but its fireplace has been removed, the opening blocked up and a W.C. installed in its place. The floor has been overboarded. It is not known whether the original floorboards survive underneath. Its sliding sash window and architrave are original. No other original features survive. Overall, this room is of Low Significance because of the alterations. Had it not been subdivided and lost its original features, it would have been of Medium significance.

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Project
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Drawing title
 Existing Second Floor Plan

Status
 Planning

Scale
 1:50 (PA3)

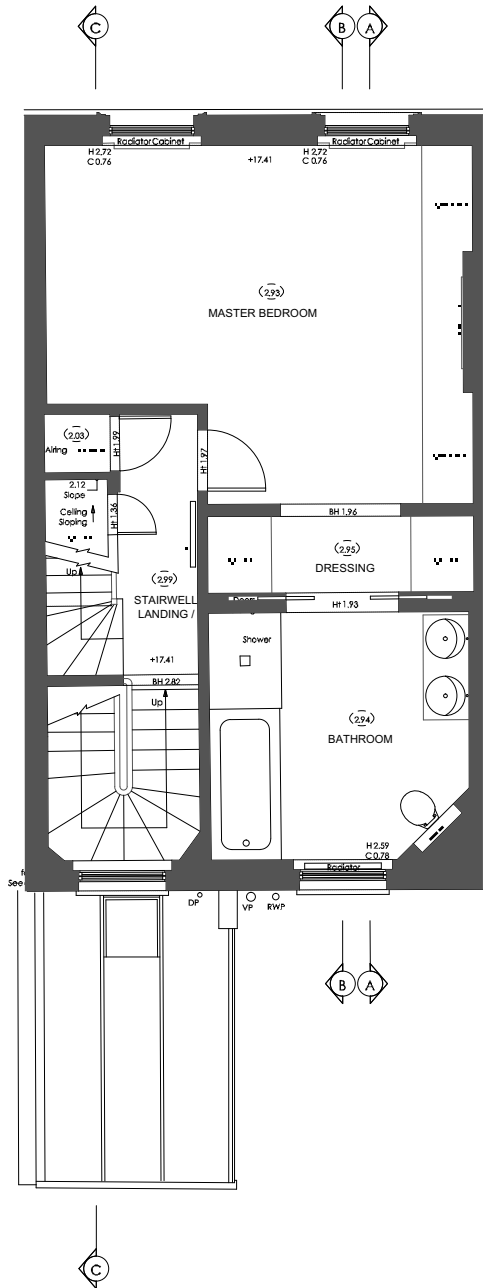
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1 Existing Second Floor Plan
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The Second Floor

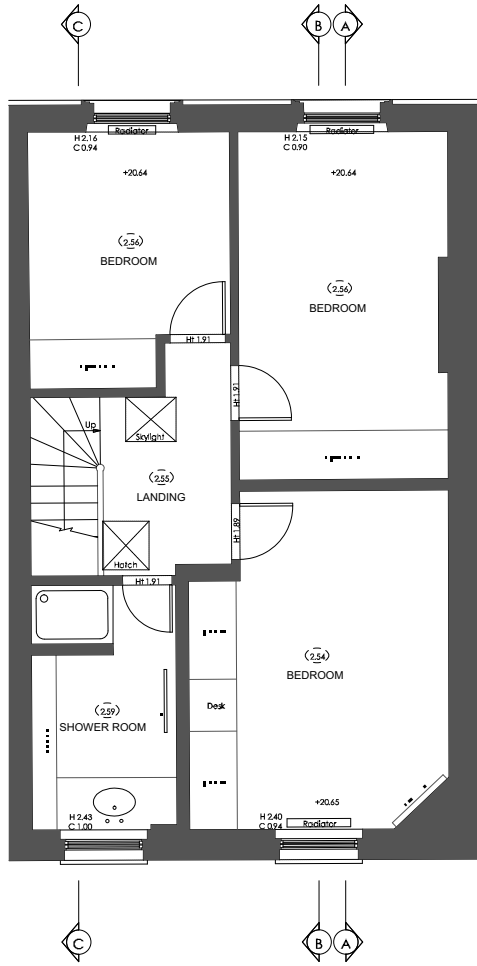
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The Third Floor

- 6.30 The third floor layout configuration has been altered. The front room has been subdivided and the landing enlarged. All the floors have been overboarded in modern times with oak boarding, which is a harmful modern alteration. It is not known whether the original floorboards survive underneath. All the rooms have recessed spotlights in their ceilings, which are harmful modern alterations.
- 6.31 The Landing: This has been enlarged and now has mostly modern stud partitions between it and the rooms, apart from the partition directly above the stairwell. There is a modern skylight illuminating the landing. The original stair balustrading on the landing survives. Its heritage significance is High. All the doors leading off the landing are modern flush ones with modern ogee architraves. The skirting boards are also modern. Apart from the stair balustrading, the heritage significance of this space is Negligible.
- 6.32 The Larger Front Bedroom: This retains its chimneybreast but the fireplace has been blocked up. It retains its original plain skirting boards, without mouldings apart from on the modern partition wall between it and the smaller front bedroom. Its heritage significance is Low.
- 6.33 The Smaller Front Bedroom: This retains its original plain skirting boards apart from on the modern partition wall. Its heritage significance is Low.
- 6.34 The Rear Bedroom: This room retains its original plain skirting boards. It has a corner fireplace with an original simple surround and small cast iron hob grate, which has High heritage significance. Overall, the heritage significance of this room is Low.
- 6.35 The Smaller Rear Room: this is a shower room and W.C. It has modern fittings and no heritage features survive. Its heritage significance is Negligible.

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 Existing Third Floor Plan
status
 Planning
scale
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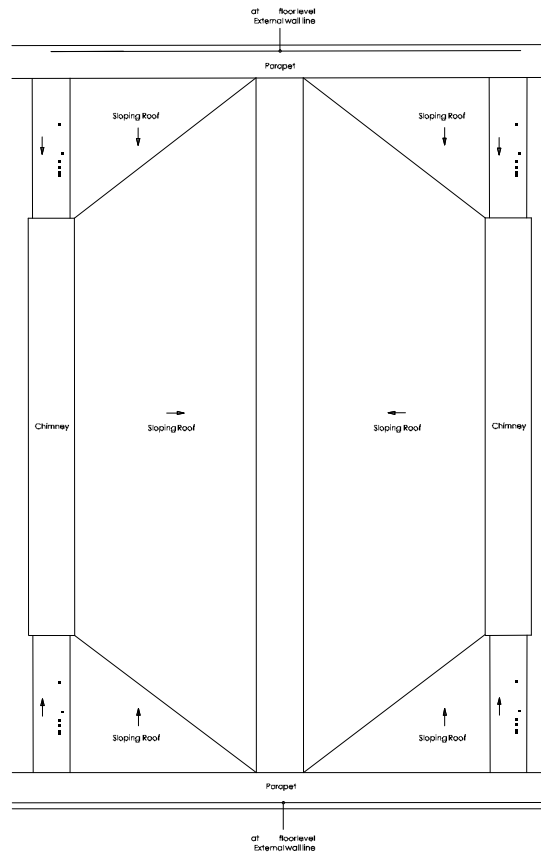
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Revisions
 P1 24.11.16 Based to client



1 Existing Roof Plan
 1:50

0 0.5 1
 5m

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drawing title
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author
 Planning

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- All dimensions shall be in metric units.
- All dimensions shall be in millimeters unless otherwise noted.
- All dimensions shall be in millimeters unless otherwise noted.
- All dimensions shall be in millimeters unless otherwise noted.
- All dimensions shall be in millimeters unless otherwise noted.

Revisions
P1 24.11.16 Issued to client

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client
Mr Philippe Godreau
& Nathalie Castaldo

project
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London, NW1 7EE

drawing title
Existing Section AA

status
Planning

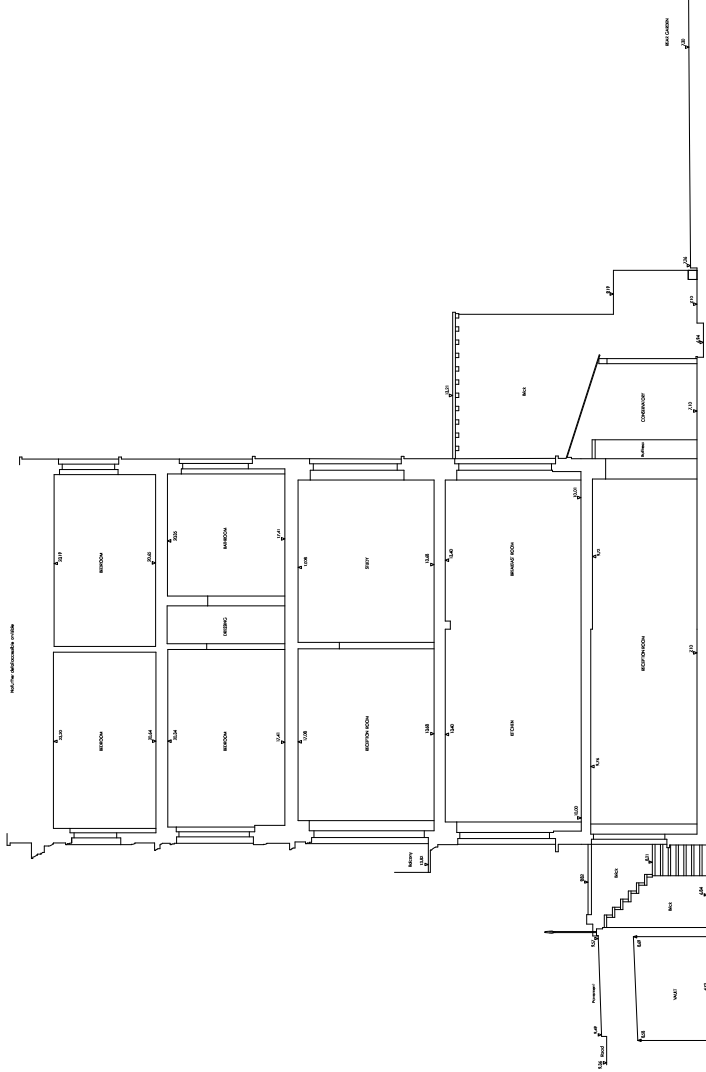
scale
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RME

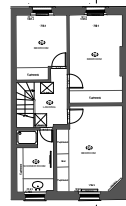
date created
24.11.2016

file reference
250-DWG-010-AA

revision
P1



1 Existing Section AA
1:100



Section A-A

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project
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drawing title
 Existing Section BB

status
 Planning

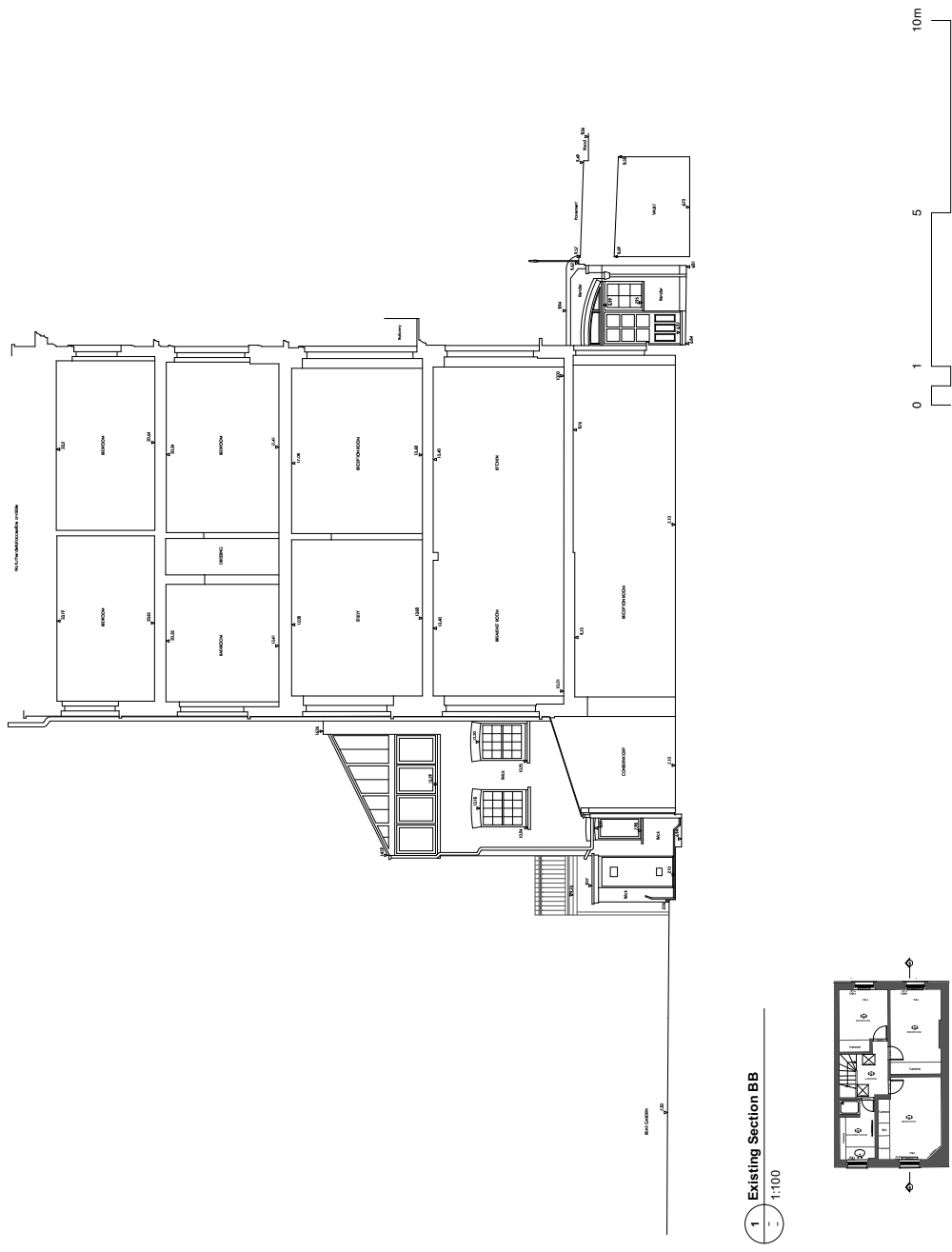
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drawn by
 NE

date created
 24.1.1.2016

file reference
 250-DWG-011-BB

revision
 P1



Section B-B

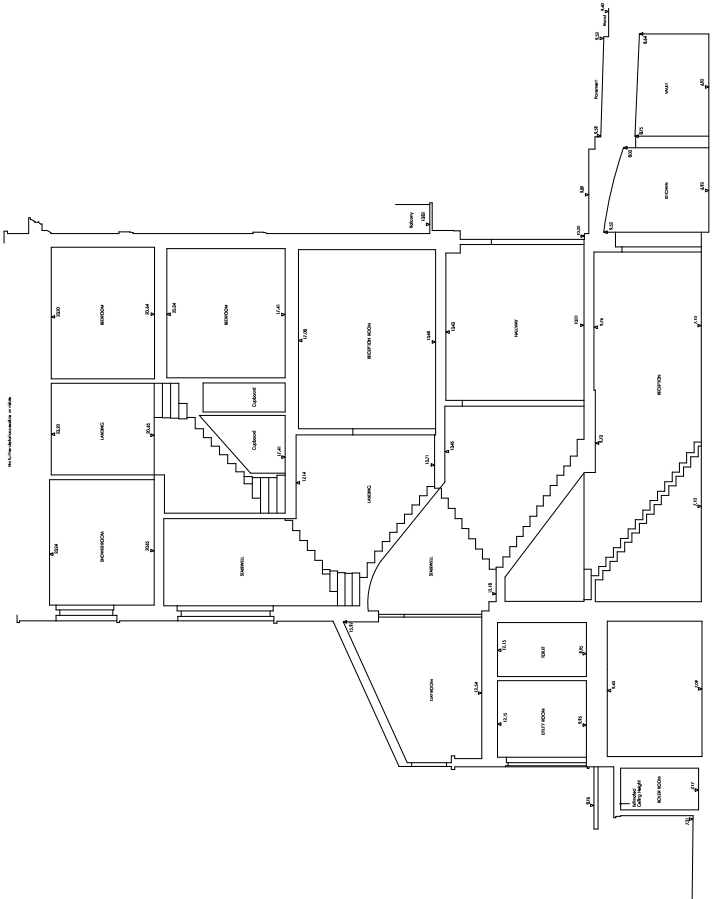
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Client
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 London, NW1 7EE

Drawing title
 Existing Section CC

Status
 Planning

Scale
 1:100/0.6A3

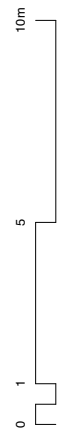
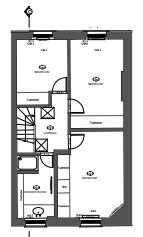
Drawn by
 NE

Date created
 24.11.2016

File reference
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Drawing no.
 P1

1 Existing Section CC
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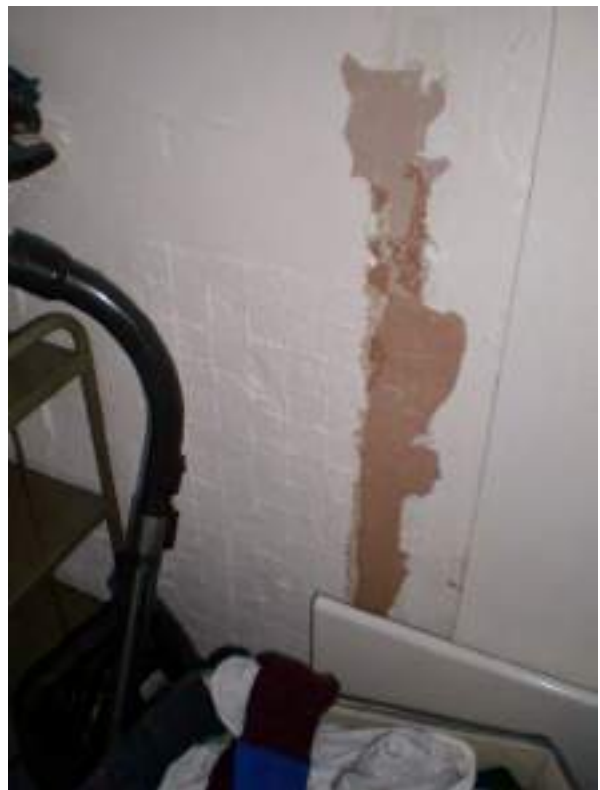


7. Condition and Defects





- 7.1 A condition survey or structural survey have not been carried out by Studio Astragal Ltd and what follows does not purport to be these and we do not accept any liability for any errors or omissions. In carrying out the study of the building’s architectural and historic character and the assessment of its heritage significance it was noted that whilst the property appears to be generally well-maintained and good condition, some defects were observed. Structural cracks were noted in several places in the rear wing at basement level, ground level and in the stone coping beneath the first floor conservatory. These may already have been the subject of further investigations and a report by a structural surveyor to identify the causes and to propose suitable remedies. However, if this has not been done, we consider it advisable that this is carried out as soon as possible by a suitably qualified and experienced structural surveyor.
- 7.2 Removing structural walls and inserting horizontal steel beams can throw additional weight on the remaining stubs of wall or onto the party walls and their foundations. This can result in the need for rebuilding, underpinning or other structural works to the remaining supporting structure, potentially resulting in a much larger intervention and loss of original fabric than just the immediate proposed alteration. Removal of main structural walls and even internal partition walls, which often have a support role, can result in sagging or dropping of floors and subsidence and cracking of walls if not carried out adequately.
- 7.3 Water stains were also observed on the ceiling of the third floor north rear room and it is recommended that this also be investigated by a suitably qualified and experienced surveyor.



Rear wing, basement. Crack in rear and south wall.



Rear wing, basement level. Defect in plaster.

	
<p>Rear wing, basement level. Crack in north wall above window.</p>	<p>Rear wing, ground floor level. Crack in north wall.</p>
	
<p>Rear wing Conservatory at first floor half - landing level. Crack in coping stone below conservatory timber framing on north wall.</p>	<p>Third floor rear north room. Water stain on ceiling.</p>

8. Summary and Conclusions

- 8.1 Being Grade II Listed, Nos. 1-22 Regent's Park Terrace are *de facto* of national importance. Moreover the terrace makes an important contribution to the character of this part of the Primrose Hill Conservation Area. The terrace as a whole is considered to be of High Heritage High Significance. However, not all parts of the buildings are of equal significance. The terrace's heritage significance resides primarily in the well-proportioned and elegant architectural design of its front façade. This overall is of High Heritage Significance, notwithstanding the alterations to some of the entrance steps and their landings. All surviving original fabric, original external features on the rear elevation, original internal plan forms, room proportions and original internal features are also of varying degrees of heritage significance.

- 8.2 This is also the case with No. 10. Its heritage significance lies in the historical-architectural value not only of its front façade as part of a group, but also in the historical architectural value of its surviving original fabric, internal plan form and compartmentalisation and internal features and the surviving original fabric, forms and features of its rear elevation.
- 8.3 Whilst there have been a number of alterations to the interior of No. 10, most of its historic fabric and many of its original internal features survive intact. Many of the alterations are harmful, but not so seriously harmful as to prejudice the overall High heritage significance of the building as a whole.
- 8.4 The modern external alterations and extensions at basement level are negative. Nonetheless, the rear elevation is considered to remain overall of Medium significance. Internally, the basement is considered of overall Negligible significance, apart from the stairs. The ground floor entrance hall and staircase compartment and the staircase are considered overall of High heritage significance, the ground floor principal rooms of Medium significance, the ground floor rear wing of Low significance, the first floor rooms of High significance, the second floor rooms of Medium significance and the third floor rooms of Low Significance, except for the bathroom, which is of Negligible significance. All surviving original features on the ground, first and second floors, the basement stairs and the fireplace on the third floor are considered of High significance. Other original features on the third floor and the basement chimneybreasts are considered of Low significance.
- 8.5 There are a number of enhancements and / or restorations that could be carried out to the building that would remove the negative elements. These are set out in Appendix 4.

Appendix 1 Photographic Survey of the Building

The Front Elevation



No. 10 The front Elevation. Overall - High Significance



No. 10 Four-panelled door with ogee bolection mouldings - High Significance. Steps and landing clad in marble & marble tiles - No Significance. Harmful modern alteration.



Steps and landing detail. Non-original marble tiles and step cladding. No Significance. Harmful modern alteration.



Non-original marble door step. No Significance. Harmful modern alteration.



An example of a surviving original Portland Stone door step.



Front door detail. Flat recessed panels with bolection mouldings. High Significance.



Front door jamb and transom moulding details. High Significance.



Front Basement Lightwell Non-original door & window infill under bridge - No Significance. Harmful modern alteration



Front Basement lightwell. Original York stone steps and railings, steps patched with cement. High Significance.



Front basement lightwell. Original door to vault - Low Significance. Modern boiler flue - harmful modern alteration.



Foliate moulding to queen post - High Significance.



Foliated pointed finials to common rails and ball tipped foliated finial to queen post - High Significance.



Parapet cornice with modillions, plain storey band below third floor windows. High Significance.



First floor stone balcony with cast iron railings. Windows with stucco architraves and corniced heads to first and second floors, Sliding sash windows - High Significance.



Detail of First Floor Window with bracketed cornice - High Significance



Detail of Second Floor Window with cornice - High Significance.

The Rear Elevation



Rear Elevation. Overall, Medium Significance. Untidy pipework - harmful alteration.



Modern Conservatory. No Significance. No architectural merit. Harmful modern alteration.



Modern single-storey brick extension and boiler flue and modern shed. No Significance. Harmful modern alterations.



Modern decorative iron stairs and balcony. No Significance.



Modern door and concrete lintel. No Significance. Harmful modern alterations.



North flank wall of rear wing. Medium Significance.

The Interior of the Building

The Basement



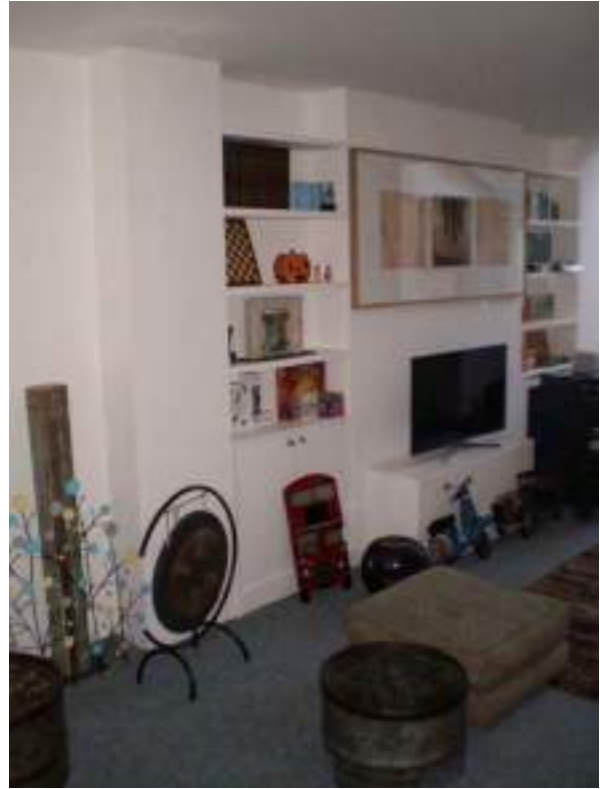
Basement Front Room - Negligible Significance. All internal partition walls removed - harmful modern alterations.



Basement Rear Room - Negligible Significance. All internal partition walls removed - harmful modern alterations.



Basement front room chimneybreast - Low Significance. Fireplace removed - harmful modern alteration.



Basement rear room chimneybreast - Low Significance. Fireplace removed - harmful modern alteration.



Basement stone stairs with cast iron railings - High Significance.



Mouldings on string, ground to basement stairs - High Significance.



Basement under-stair cupboard. Modern door, a good replica but - No Significance.



Basement front room side wall removed & modern steel RSJ inserted. Harmful modern alteration.



Basement front room. Modern four-panelled raised and fielded panelled door. No Significance. Harmfull modern alteration.



Basement modern ogee moulded skirting board. No Significance. Harmful modern alteration.



Basement entrance lobby under front door bridge landing. Negligible Significance



Basement front entrance door. No Significance. Harmful modern alteration.



Basement entrance lobby under front door bridge landing. Negligible Significance



Vault under pavement. Low Significance.

The Ground Floor



The entrance hall bracketed arch. Original feature - High Significance



The staircase and corridor. Original plan form. High Significance. Stone floor tiling - harmful modern alteration.



Door to ground floor front reception room a modern restoration. High architectural merit.



Door to ground floor rear reception room - A modern restoration. High architectural merit.



Interior of front door. Non-original overboarded and mouldings applied - Harmful modern alteration.



Front entrance hall, original moulded door frame and skirting board - High Significance.



Entrance hall ceiling cornice. Original feature - High Significance.



Entrance Hall dado rail. Non-original period feature - No Significance.

The Staircase Compartment



Ground floor stair. Original feature - High Significance. Panelling to underside removed and replaced with glass - Harmful modern alteration.



Ground floor stairs, cast iron ornate newel post. Original feature - High Significance.



Ground floor stairs, scrolled end of handrail. Original feature - High Significance.



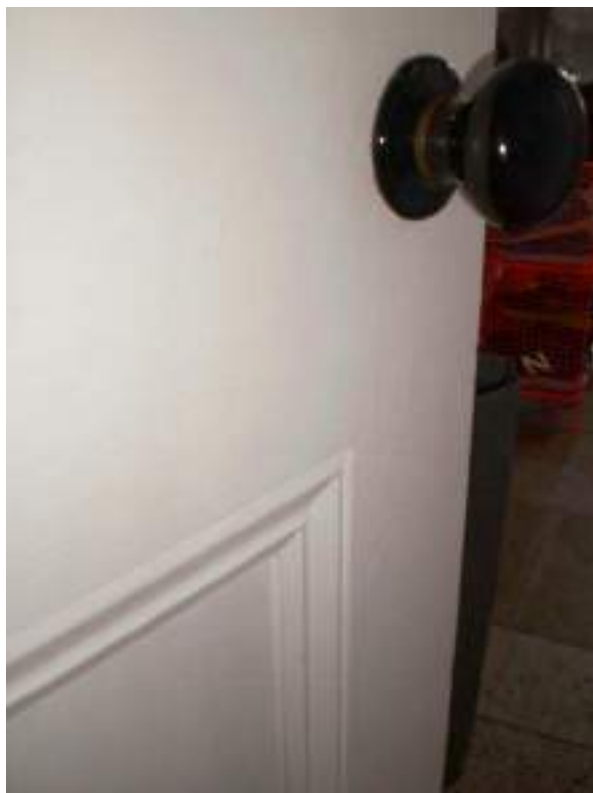
Open string staircase with bull-nosed treads and turned bannister rails. Original feature - High Significance.



Ground floor staircase compartment. Part-glazed door to rear wing. A modern alteration - No Significance. Moderate architectural merit.



Ground Floor staircase compartment. Original door to basement stairs and surviving panelled partition - High Significance. Glazing inserted and panelling removed - harmful modern alteration.



Detail of rear wing's door panel. Flat recessed panel with ogee bed mouldings, that do not match exactly the originals - No Significance.



Detail of under-stair door panels; flat recessed panels with ogee bed mouldings - High Significance.



Ground floor staircase compartment ceiling cornice. Original feature - High Significance



First floor half-landing. French doors leading to terrace and conservatory. Original feature - High Significance.



Detail of panelled lining of French doors on first mezzanine landing with flat recessed panel and ogee bed moulding above and flush panel with butt and bead moulding below - High Significance



Detail of French door's glazing bars. High Significance.



Detail of original architrave of French doors on first floor half-landing - High Significance. Modern dado rail running into it - No Significance.



Second flight from half-landing to first floor. Original feature - High Significance.



Detail of swept continuous handrail on first mezzanine level. Original feature - High Significance.



The first floor landing and swept continuous handrail. Original feature - High Significance



First floor landing and doors to principal rooms. - Original features - High Significance.

Original door and architrave to first floor rear room - High Significance.



First floor landing. Detail of rear room's door original architrave and door panelling - High Significance.

First floor landing. Detail of front room's original door architrave - High Significance.



First floor landing ceiling cornice. Original feature - High Significance.



Detail of first floor landing's original ceiling architrave - High Significance.



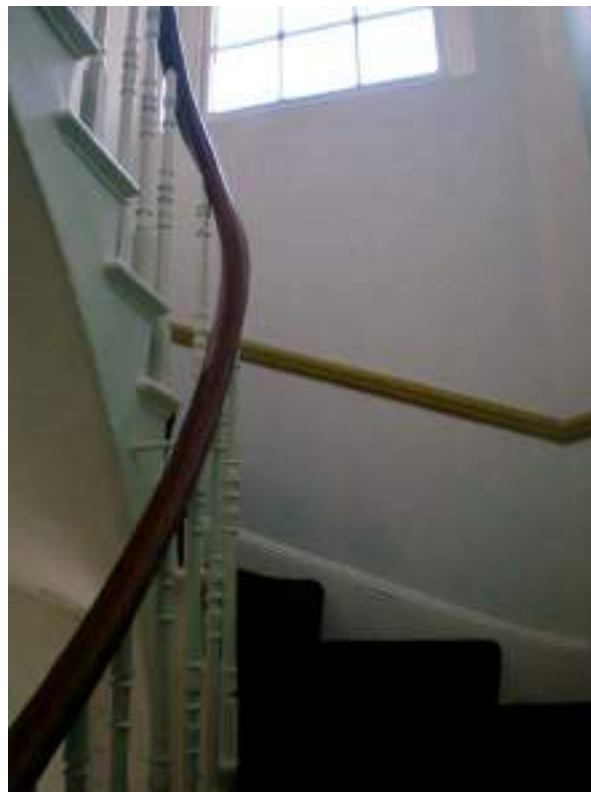
Detail of first floor landing original skirting board, door architrave - High Significance.
Dado rail, later alteration - No Significance.



Detail of first floor landing's original skirting boards - High Significance.



First flight from first to second floors. Original feature - High Significance.



Winder stairs from first to second floors with swept continuous handrail. Original feature - High Significance.



Second floor level staircase window. Enlarged by lowering Cill - No Significance. High architectural merit.



Handrail and bannisters terminating at second floor level. Original feature - High Significance.



Second mezzanine level stair window. Modern replacement. Sash frame and glazing bar ovolo moulding does not match originals- No Significance. - Low architectural merit.



Partition between principal staircase and secondary stairs. Original Feature - High Significance. Arched opening a harmful modern alteration.



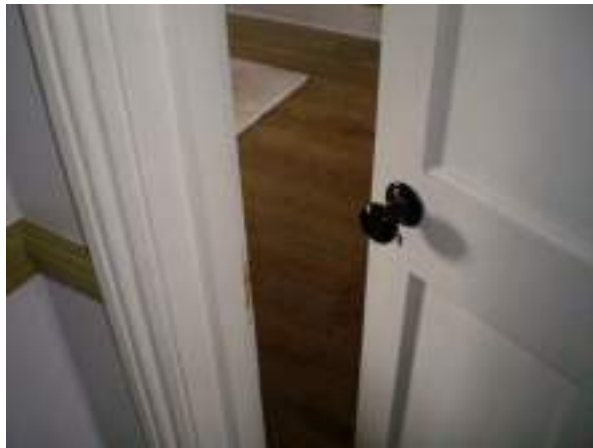
Second floor landing. Airing cupboard and altered partition wall and door position of front room. Harmful Modern alteration.



Second floor landing. Airing cupboard - Harmful modern alteration.



Detail of airing cupboard door - inappropriate panel moulding.



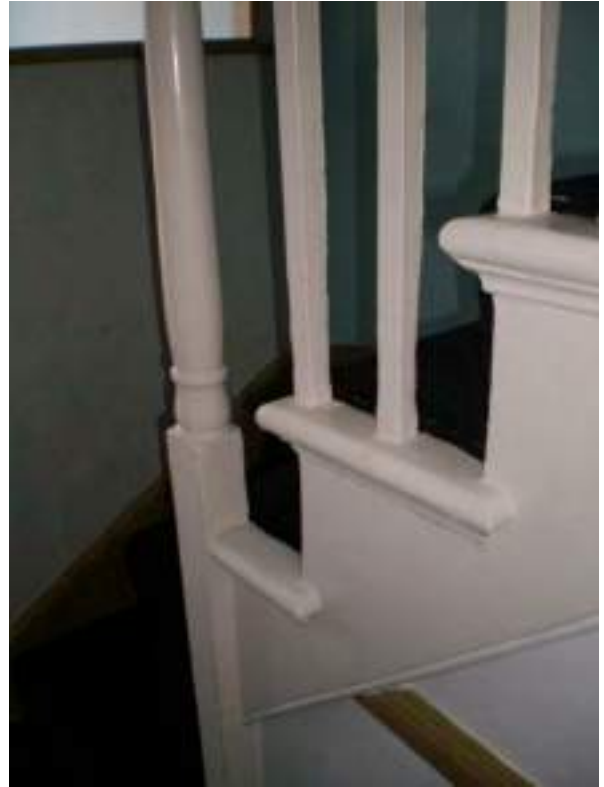
Second floor landing. Non original door to front room and architrave -Harmful modern alterations.



Detail of second floor stair's original skirting board - High Significance, and second floor landing's modern skirting board not an accurate match - No Significance.



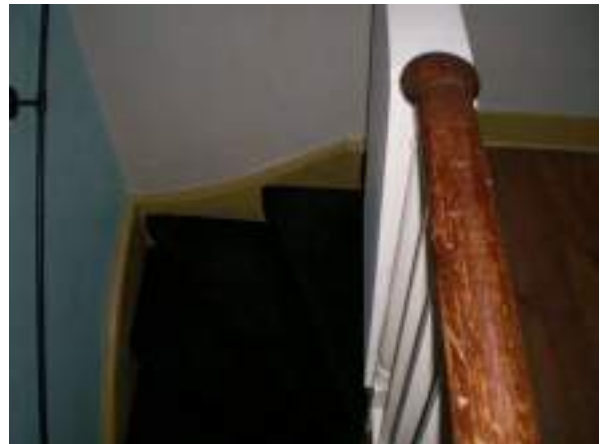
The Secondary winder stairs to third floor. Original feature - High Significance



Turned newel post, plain stick bannisters and open string staircase. Original features - High Significance.



Third floor landing. Original balustrade with turned newel post and stick bannisters - High Significance.



Third floor landing. Original balustrade handrail with roundel end - High Significance.



Third floor landing. Overall, Low Significance. Non-original doors and partitions - Harmful modern alterations.



Third floor landing - Non-original door and partition walls - Harmful modern alterations.



Third floor landing. Non-original door and partition wall to left - Harmful modern alterations. Original balustrade - High significance.



Modern replacement rooflight above third floor landing - Harmful modern alteration.

The Ground Floor



Ground floor front room. Overall - Medium Significance. Stone flooring - Harmful modern alteration.



Ground floor front room. Fireplace and face of chimneybreast removed and aga inserted - Harmful modern alteration.



Ground floor front room. Detail of original window, shutters and architrave - High Significance.



Ground floor front room. Detail of original window architrave and skirting board - High Significance.



Ground floor front room. Detail of window joinery. Original lamb's tongue moulding glazing bar on left, later long ovolo replacments in centre and right.



Ground floor front room. Non-original period cornice - No Significance. Medium architectural merit. Worthy of retention.



Ground floor rear room. Overall, High Significance. Original window shutters, panelling and architrave - High Significance.



Ground floor rear room. Fireplace removed - harmful modern alteration. Modern radiator cabinets in recesses - No Significance.



Ground floor rear room. Modern replica skirting board not an exact match. No Significance.



Ground floor rear room. Door architrave a modern restoration - No Significance, but high architectural merit.



Ground floor rear room. Detail of original skirting board - High Significance.



Ground floor rear room. Modern ceiling coving - No Significance. Harmful modern alteration.



Ground floor rear wing. WC. Original door - Medium Significance.



Ground floor rear wing. Window detail. Original architrave - Medium Significance.

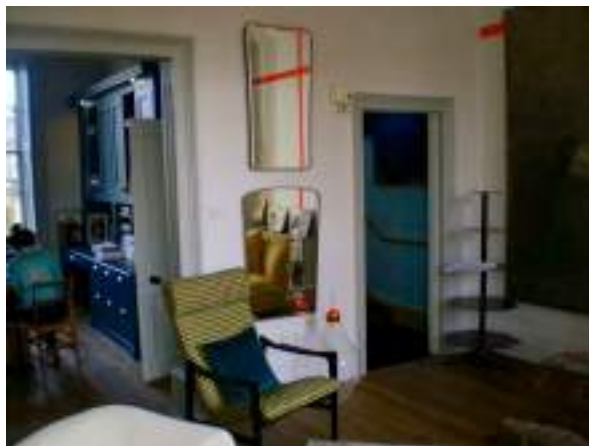


Ground floor rear wing. W.C. door architrave and panel details. Original - Medium Significance.

The First Floor



First floor front room. Overall - High Significance.



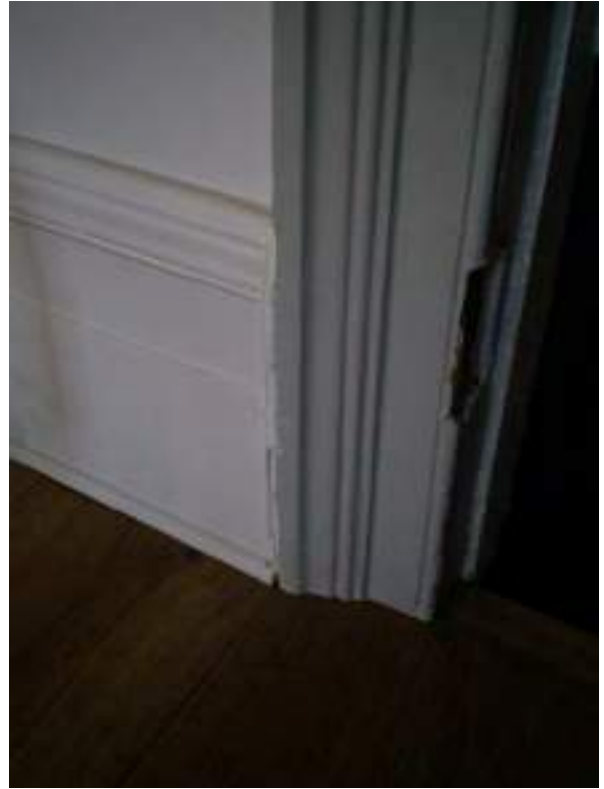
First floor front room. Overall - High Significance.



First floor front room. Original lamb's tongue window frame and shutter joinery details - High Significance.



First floor front room. Original window shutter and architrave detail - High Significance



First floor front room. Non-original long ovolo window joinery detail - No Significance.

First floor front room. Original door architrave- High Significance. Skirting board - modern restoration.



First floor front room. Original skirting board - High Significance. Radiator cabinet - No Significance.

First floor front room. Non-original period ceiling cornice - No Significance. Medium architectural merit. Good quality and worthy of retention.



First floor front room. Original Archway - High Significance.



First floor front room. Detail non-original arch lining, architrave and plinth - No Significance. Low architectural merit.



First floor front room. Non-original marble period mantelpiece and hearth with free-standing grate - No Significance. High architectural merit. Good quality and worthy of retention.



First floor rear room. Fireplace removed - Harmful modern alteration. Non-original period cornice - No Significance. Overall - High Significance.



First floor rear room. Original window and shutters - High Significance.



First floor rear room. Original four-panelled door - High Significance.



First floor rear room. Detail of original window architrave and skirting board - High Significance.



First floor rear room. Detail of door architrave and panels. - High Significance.

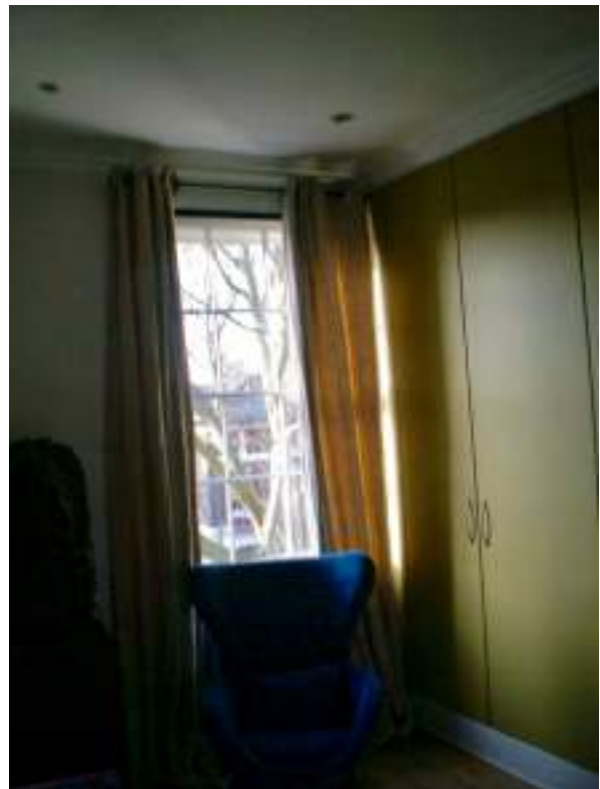


First floor rear room. Non-original period ceiling cornice - No Significance. Medium architectural merit. Good quality and worthy of retention.

The Second Floor



Second floor front room. Room proportions and layout compromised by alterations to partition wall and door and built-in wardrobes. Overall - Medium Significance.



Second floor front room. Built in wardrobes obscure chimneybreast and original fireplace - Harmful modern alteration.



Second floor front room. Window sashes with non-matching ovolo mouldings. Secondary glazing.



Second floor front room. Non-original skirting boards, a near match - No Significance.



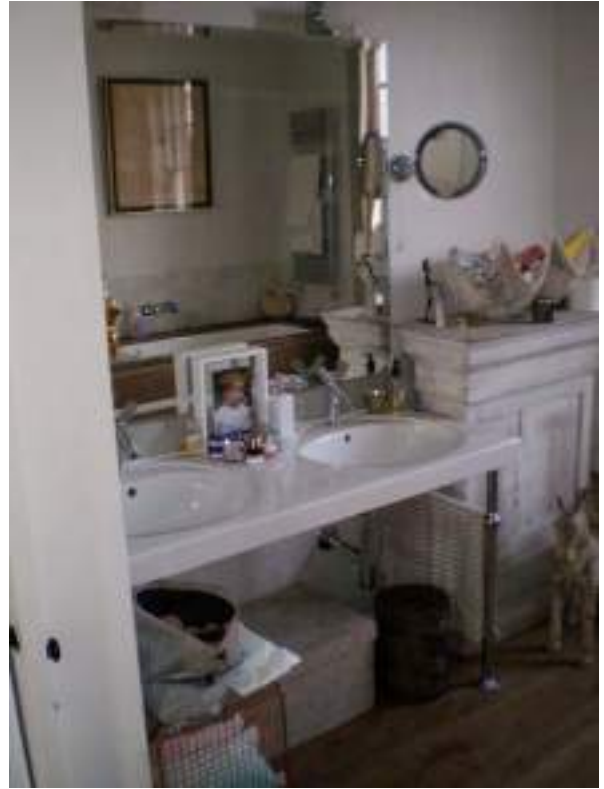
Second floor front room. Original fireplace mantelpiece and register grate hidden inside wardrobe- High Significance.



Second floor front room. Modern period ceiling cornice - No Significance. Medium architectural merit. Recessed spotlights - Harmful modern alteration.



Second floor, view through into rear room. Modern arch. Harmful alteration.



Second floor rear room - Overall, Low Significance.



Second floor rear room. Original sash frame with lamb's tongue mouldings - High Significance.



Second floor rear room. Original window shutters and window joinery - High Significance.



Second floor rear room. Modern partition and sliding door - harmful modern alteration. Modern period ceiling cornice - No Significance. Medium architectural merit.

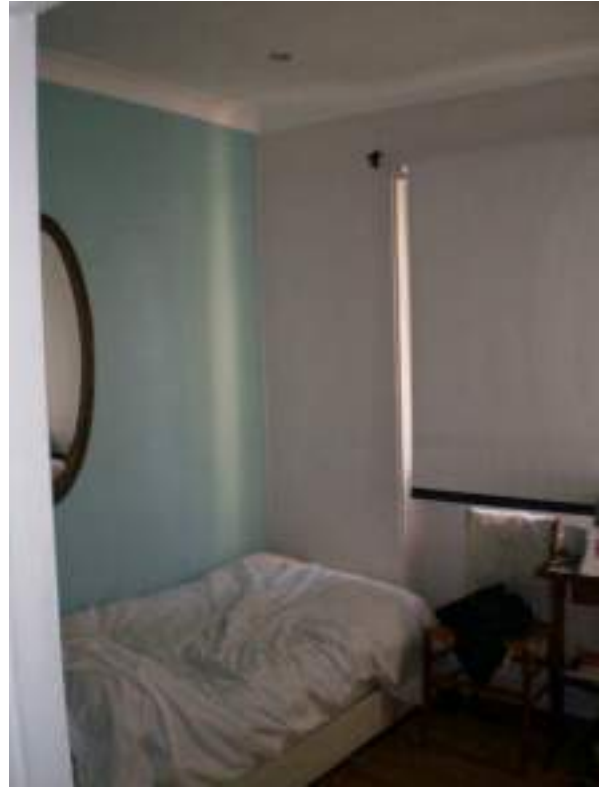
The Third Floor



Third floor front north room. Overall - Low Significance. Ceiling coving - harmful modern alteration.



Third floor front north room. Original chimneybreast - Low Significance. Fireplace removed - Harmful alteration.



Third floor front north room. Original skirting board in recess - Low Significance. Modern skirting board around chimneybreast not an exact match.

Third floor front south bedroom. Ceiling coving - harmful modern alteration.



Third floor front south bedroom. Original skirting board - Low Significance.



Third floor rear north bedroom. Overall - Low Significance. Modern cornice and spotlights - inappropriate modern alterations.



Third floor rear north bedroom. Original corner fireplace with hob grate - High Significance.



Third floor rear north bedroom. Original skirting boards - Low Significance



Third floor rear south bathroom. No original features remain. Negligible Significance.



Third floor rear south bathroom. Modern architrave - No Significance. Flush door - harmful modern alteration.



Third floor rear south bathroom window. Modern replacement. Joinery mouldings do not match originals.

Note:

The heritage significance of the spaces, elements and features of the building have been assessed and ranked on a range of:

Very High Significance

High Significance

Medium Significance

Low Significance

Negligible Significance.

No Significance.

Appendix 2 Extract from List of Historic Buildings

List Entry Summary

This building is listed under the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended for its special architectural or historic interest.

CAMDEN

TQ2883NE
798-1/76/1385
14/05/74

GV
II

REGENT'S PARK TERRACE
Nos.1-22 (Consecutive) and attached railings

Terrace of 22 houses. c1840-50. Yellow stock brick with rusticated stucco ground floors. Nos 1-21 form a symmetrical facade with slightly projecting end houses. 4 storeys and basements. 2 windows each. Square-headed doorways with cornice-heads, fanlights and panelled doors. Entrance to No.1 on right hand return with stucco portico having pilasters, cornice and parapet; round-arched door way. Architraved sashes; 1st floor with cornices and continuous cast-iron balconies, 2nd floor with cornices. Plain stucco sill bands to 2nd and 3rd floors. Stucco modillion cornice and blocking course. No.22: rusticated stucco. 2 storeys and basement. 1 window. Projecting stucco portico with balustraded parapet. Cornice with balustraded parapet.

INTERIORS: not inspected. SUBSIDIARY FEATURES: attached cast-iron railings with foliated finials to areas.

Listing NGR: TQ2862883819

Source: Historic England Website (4)

Appendix 3 Relevant Planning History for 10 Regent's Park Terrace

Ref. No.	Description	Application Type	Decision	Decision Date
HB1177	The erection of a conservatory on the existing rear balcony at ground floor level.	LBC	Granted	26.02.1976
HB2550	The retention of internal alterations and the enlargement of the rear second floor stair window.	LBC	Granted	03.07.1981
9170077	Demolition of existing first floor rear conservatory and replacement by a new conservatory as shown on drawing nos. 6.M.91.S1B D1 P1 P2 P3 revised by letter dated 21.08.91.	LBC	Granted **	06.09.1991
9100396	Erection of a conservatory at rear first floor level as shown on drawing nos. 6.M.91.P1 P2 P3 S1B D1 revised by letter dated 21.08.91	TP	Granted **	06.09.1991
92/2/0423	Erection of conservatory	BR	Lapsed*	n/a
9170224	Erection of a rear first floor glazed balcony and replacement of existing timber staircase as shown on drawing numbers 9148/S1 A1 and A2A.	LBC	Granted	18.06.1992
9101320	Erection of a first floor rear glazed balcony and replacement of existing timber staircase as shown on drawing numbers 9148/S1 A1 and A2A revised by letter dated 11th May 1992.	TP	Granted	18.06.1992
9270185	Restoration of double doors between principal ground floor rooms and alterations to a secondary internal ground floor door as shown on drawing number 9148/SP and 9148/A4(A).	LBC	Granted	03.11.1992
L9602036	Relocation of partition wall between dining room and kitchen at ground floor level, as shown on 1 x unnumbered ground floor plan at scale of 1:50.	LBC	Granted	27.08.1996
LE9800323R1	Erection of ground floor	LBC	Granted	03.08.1998

	conservatory to rear plus alterations to front basement porch and installation of new window on ground floor rear elevation, as shown on drawing numbers RP/01, /02, /03, /04B, 05A, and/06A.			
PE9800322R1	Erection of ground floor conservatory to rear plus alterations to front basement porch, as shown on drawing numbers RP/01, /02, /03, /04B, /05A and /06A.	TP	Granted	03.08.1998
00/1/0035	New bathroom & drainage work in basement.	BR	Completed	19.06.2000

Source: LB Camden Website and email correspondence with LB Camden

Notes:

The database search engine only searches for applications validated between 01 January 1926 and 31 December 2016.

*In emails dated 28.12.2016, LB Camden's Building Control Team confirmed that there were only two applications under the London Building Acts and the Building Regulations relating to the property. With regard to application 92/2/0423 -for the erection of a conservatory, they state that it cannot be certificated as whilst a deposit of plans was received, as far as can be determined from the records in the Council's possession, the work was never commenced and the application was placed in a status of "Application Lapsed" and the file securely destroyed. LB Camden keeps Building Control records for 15 years post submission, except for properties of special interest.

** LB Camden's website database lists the decisions' dates as 26.06.1991, but the copies of the Decision Letters are dated 6.9.1991.

Whilst every effort has been made to collate an accurate list of applications from the source available, no liability is accepted for any loss or damages resulting from any errors or omissions.

Appendix 4

Recommended Restorations and Reinstatements

Exterior

Front

- On the pavement vaults' wall, rerun the white plastic plume pipe and the condensate pipes internally to reduce their visual impact and paint their outlets to match the wall.
- Remove the marble cladding and tiling from the front entrance steps and landing and reinstate the steps in Portland stone and the landing in York stone using large slabs to the original design.
- Remove the basement build-out of the kitchen area under the front entrance bridge and reinstate the wall in line with the bridge. Replace the front basement entrance door with an appropriately detailed four-panelled door with flush panels with butt and beaded edges externally and flat recessed panels with no mouldings internally.

Rear

- Remove paint from the brickwork of the walls at basement level.
- Repaint the shed in a dark green or black colour to make it less prominent, or relocate it to a hidden position.
- Replace the window in the north flank wall of the rear wing at basement level with a more appropriate one with glazing bar divisions to match the building's original fenestration.
- Tidy up and rationalise pipework on rear wall, replacing plastic pipes with cast iron.
- Rerun the boiler's white plastic plume pipe on the single-storey rear extension internally to minimise its visual impact and paint its outlet black.
- Remove the single-storey rear extension's fascia boards and felt roof and construct a parapet wall with a stone coping to conceal the roof.
- Replace the rear wing's ground floor door with a more appropriate four-panelled one, with flush bottom panels having butt and beaded edges and glazing in the upper panels with bull-nosed glazing beads.
- Remove the concrete lintel above the rear wing's ground floor door and construct a segmental curved brick on end arch.
- Replace the single-storey rear extension's modern flush door with a traditional boarded door with butt and beaded tongue and grooved boarding.
- Replace the basement rear conservatory with a more attractive one in a period design with doors that match the design and detailing of the first-floor half-landing French doors.
- Refenestrate the first floor half-landing level conservatory on top of the rear wing, with divided panes and glazing bars to match the building's original windows.

Interior

- Generally replace inappropriate none-matching off-the-shelf skirting boards, door architraves and doors with appropriately designed bespoke joinery suitable to the hierarchy of each floor and to match the originals.
- Generally remove stone flooring and timber over-boarding of floors and re-expose and restore, restain and wax polish the original floorboards on the ground and upper floors.
- Generally remove recessed ceiling spotlights from the more important rooms at ground, first and second floors and the third floor front rooms and replace with central pendant lights and appropriately positioned wall lights.
- Generally reinstate appropriate period fireplaces to all chimneybreasts currently lacking them, with priority given to the ground and first floors.

- Remove plaster and paint from the walls inside the basement conservatory and restore the brickwork and cover floor in York stone to match the external paving, so as to differentiate its space from the original building's interior.
- Reinstate some of the original walls in the basement and the original rear main wall in order to structurally strengthen the building, reinstate its original internal plan form and compartmentalisation and to define its spaces.
- Remove the over-boarding and applied mouldings from the inside face of the front door and re-expose its original panelling.
- Reinstate the timber panelling to the side of the staircase at ground floor level.
- Reinstate missing ground floor room entrance doors to match the originals.
- Reinstate period ceiling roses of appropriate designs in the ground floor front and rear rooms.
- Reinstate the wall between the front and rear ground floor reception rooms by reducing the opening's height and width and installing a pair of panelled doors, or blocking up the opening entirely.
- Remove the modern ceiling coving in the ground floor rear room and reinstate an appropriate period ceiling cornice.
- Relocate the kitchen to a less important part of the building and reinstate the chimneybreast and an appropriate period fireplace.
- Reinstate the missing entrance door to the first floor front room to match the originals.
- Install pair of doors in archway between front and rear rooms on the second floor to match the original doors.
- Reinstate a period ceiling rose of an appropriate design in the first floor front and rear rooms.
- Remove the built-in cupboards in the second floor front room to reveal the chimneybreast and fireplace and rerun cornice.
- Reinstate the original plan form of the second floor front room by removing the airing cupboard and modern partition wall and reinstating the partition wall and door back in their original positions and rerun ceiling cornice.
- Remove the partition and sliding doors between the dressing area and bathroom in the second floor rear room to reinstate the room's original proportions and rerun cornice.
- Relocate the W.C. away from the corner chimneybreast in the second floor rear room and reinstate an appropriate period fireplace.
- Remove the modern ceiling coving on the third floor.

Appendix 5: References

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