

STUDIO ASTRAGAL

**HERITAGE IMPACT ASSESSMENT
OF PROPOSED INTERNAL AND EXTERNAL ALTERATIONS
INCLUDING RECONSTRUCTION OF A CONSERVATORY
10 REGENT'S PARK TERRACE, LONDON NW1**



**For
Mr Godeau & Ms Gastaldo
January 2017**

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19.1.2017

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1. Introduction

- 1.1 The building is Listed Grade II. Listed buildings are of national importance and are graded in descending order I, II* and II. The building is thus not of the highest or second highest importance in a national context. It is in the Primrose Hill Conservation Area.
- 1.2 An assessment of the building's heritage significance has been carried out and a Statement of Heritage Significance produced by Studio Astragal Ltd. This Assessment should be read in conjunction with that Statement.
- 1.3 The building overall is considered to be of High heritage significance. However, not all parts of the building are of equal significance. The building's heritage significance resides primarily in the well-proportioned and elegant architectural design of its front façade and but also in the historical architectural value of its surviving original fabric, internal plan form and compartmentalisation, internal features and the surviving original fabric, forms and features of its rear elevation. The social history element of the building's heritage significance includes it being an example of the housing developed for affluent middle class families of professionals, small business people and minor landed gentry in the expanding capital of industrial and trading empire. The building also makes an important contribution to the character of the Primrose Hill Conservation Area.
- 1.4 The proposal is for demolition of the existing basement level conservatory and construction of a larger modern flat roofed conservatory, removal of the modern iron stairs and balcony and the ground floor modern door, part blocking up the opening and forming a new sliding sash window with a segmental brick arch above on the rear wing, removal of a shed at basement level and formation of sash windows in the rear and side of the single storey rear extension and internal alterations at basement, ground and first floors.

2. The Brief

- 2.1 Your requirements are for me to provide a heritage impact assessment report on the proposals as set out in my letter of engagement dated 30th November 2016.
- 2.2 The purpose of this report is to assess the impacts of the proposals on the building's heritage significance and consider whether the proposals conform to national and local heritage conservation policies.
- 2.3 Section 5.9 of British Standard BS7913:2013 - Guide to the Conservation of Historic Buildings states:-

"The purpose of heritage impact assessments (HIAs) is to gain an understanding of the effect of development and changes on the historic asset, and how the impact of change might be mitigated.

HIAs can be carried out at various levels of scale and complexity, from the effects of building works on a small structure to the effects of major development in a world heritage site.

HIAs should identify the significance of the element concerned on the relative scale of values, the nature of the proposed change, an assessment of whether the change needs to be mitigated and if so how this can be achieved. The mitigation measures should be justified on the basis of the heritage asset's significance."

3. Review of The Relevant National and Local Planning and Conservation Policies and Guidance

National Policy and Guidance

- 3.1 The principal relevant policy and codes of practice documents are:
 - The National Planning Policy Framework (NPPF), The Government.
 - BS 7913:2013 - Guide to the Conservation of Historic Buildings, The British Standards Institution.
 - Conservation Principles - Policies and Guidance for the Sustainable Management of the Historic Environment, Historic England.

- Making Changes to Historic Assets – Historic England Advice Note 2.

The relevant sections of the above documents are included in Appendix 1.

3.2 The following other Historic England documents are also relevant:-

- Constructive Conservation in Practice,
- Sash Windows, Traditional Windows: Their Care, Repair and Upgrading,
- Easy Access to Historic Buildings,
- Energy Efficiency and Historic Buildings - Application of Part L of the Building Regulations to historic and traditionally constructed buildings,
- Energy Conservation in Traditional Buildings,
- The Energy Efficiency and Historic Buildings series of pamphlets,
- Climate Change and the Historic Environment,
- Building Regulations and Historic Buildings.

This is not necessarily a complete list.

Local Policies and Guidance

3.3 The following documents apply:-

- LB Camden Local Development Framework Development Policies, 2010
- L B Camden Draft Local Plan 2015
- Camden Planning Guidance CPG1 – Design 2015
- The Primrose Hill Conservation Area Statement 1985
- New Basement Development and Extensions to Existing Basement Accommodation Guidance Note 2008.

The relevant sections of these documents also are included in Appendix 1.

4. Decisions Analysis of Selected Recent Relevant Applications for Similar Schemes in the Group

- 4.1 Planning decisions in respect of rear extensions and internal alterations in Regent’s Park Terrace were researched. These are listed in Appendix 2. There were a number of consents for removal of basement walls and for conservatories. The building was Listed in 1974 and so Listed Building Consent only would have been needed after that dated. Only those decisions directly relevant to the proposals at No. 10 made since 2010 were considered in detail, as these will have been made under more current national and local policies.
- 4.2 **4, Regent’s Park Terrace, Ref. 2015/1024/L & 2015/0726/P:** Granted 6.5.15. Internal and external alterations associated with the erection of a single-storey rear extension at lower ground floor level. This involved a metal-framed modern conservatory with a pitched roof. The alterations involved forming a new doorway into a bathroom in the basement of the rear wing from the conservatory. The original door to the bathroom from the hall was blocked up. The original layout and room compartmentalisation of the basement survived and was retained.
- 4.3 **6, Regent’s Park Terrace, Ref. 2016/3394/P & 2016/5735/L:** Granted 12.8.16. Double height rear conservatory at basement and ground floor levels. The alterations involved removing most of the north flank wall of the rear wing, blocking up the original door to the front basement room, forming a new door and converting the vaults into a bathroom including forming an opening between the south and middle vaults. Prior to this the original layout and room compartmentalisation of the basement survived, apart from a wide opening in the wall between the rear main room and the staircase compartment. The conservatory was modern.
- 4.4 **6, Regent’s Park Terrace, Ref. 2016/5642/P & 5735/L. Refused 4.1.17.** Double height rear

conservatory (lower ground and upper ground floor level, with new upper ground floor level internally); relocation of upper ground floor level external balcony and steps to garden level; alterations to openings; new skylights to main roof; various internal alterations, including installation of under floor heating. The proposed works were the same as those approved under planning references 2016/3302/P and 2016/3393/L, except for the new upper ground floor level internally within the double height rear conservatory (to provide a dining room), and the underfloor heating at lower ground floor level. The reasons for refusal were:-

- 1) The proposed double height rear conservatory, by virtue of its design, would be detrimental to the special architectural and historic interest of the Grade II listed building, contrary to Policy CS14 (Promoting high quality places and conserving our heritage) of the London Borough of Camden Local Development Framework Core
- 2) The applicant has failed to satisfactorily demonstrate that the proposed underfloor heating would not cause unacceptable harm to historic fabric, and consequently, the special architectural or historic interest of the Grade II listed building, contrary to Policy CS14 (Promoting high quality places and conserving our heritage) of the London Borough of Camden Local Development Framework Core Strategy and Policy DP25 (Conserving Camden's heritage) of the London Borough of Camden Local Development Framework Development Policies.

- 4.5 **7 Regent's Park Terrace Ref. 2016/0595/P & 2016/1126/L:** Granted 31.05.16. Double height rear conservatory at basement and ground floor levels to replace an existing single-storey rear conservatory, replacement of the first floor conservatory and internal alterations. The new and replacement conservatories were modern ones with flat roofs. The demolished conservatory was a modern timber one in a semi-traditional style.
- 4.6 **13 Regent's Park Terrace Ref. 2010/1993/P & 2010/1997/L:** Granted 5.07.10. Erection of two-storey extension at lower ground and upper ground floor level to rear elevation, installation of balcony and staircase on upper ground floor rear elevation with additions and alterations to include the installation of roof light and solar panel to butterfly roof of existing house. At that time all the walls and room compartmentalisation and the fireplaces of the basement survived. There was a small opening between the front and rear main rooms with folding doors. The front room was to be subdivided to form a bathroom and separate W.C. Almost all of the wall between the rear room and the staircase compartment was to be removed and most of the side wall of the rear wing, was to be removed. A new two-storey traditional style timber framed conservatory with divided panes in the recess was proposed in place of an existing single-storey one.
- 4.7 **17 Regent's Park Terrace Ref. 2013/2522/L & 2013/2625/P:** Granted 19.7.13. Internal alterations to partitions at all levels and a new opening on the rear elevation at basement level. The alterations to the basement involved reinstating the missing wall between the front room and the basement entrance corridor and subdividing the front room to form a small bathroom in its back part. The rest of the basement's walls and room compartmentalisation survived and were retained. The new external opening was a door in the back wall of the rear wing. The alterations to the ground floor were to reinstate the door to the back principal room and relocate the kitchen from the back principal room to the front principal room. The alterations to the first floor were to reinstate a missing stub of wall between the front and rear rooms and forming a segmental archway.
- 4.8 **20 Regent's Park Terrace Ref. 2011/3281/P & 2011/3283/L:** Granted. 19.09.11. Erection of replacement two-storey glazed structure at rear basement and ground floor, installation of French doors and new access platform with spiral stairs at rear ground floor level, and insertion of new door in front basement. Large openings had already been formed in all internal walls of the basement and the side wall of the rear wing. The scheme involved enlarging these further, resulting in a complete loss of the internal plan form and room compartmentalisation. On the ground floor a non-original opening in the wall between the front room and the entrance corridor was blocked up and the original doorway to the front room reinstated. On the first floor the existing archway between the two rooms was widened. The existing double-height conservatory was to be replaced with glazed plain modern one.
- 4.9 It can be seen from these decisions that modern glass conservatories with metal frames and

substantial demolitions of internal and external walls of the rear wings at basement level have been permitted in recent years under current LB Camden and national policies. The demolitions appears to conflict with national guidance that alterations and loss of historic fabric should be avoided only be carried out where necessary and there is no alternative.

5. Review of the Proposals and Assessment of their Impact on the Heritage Significance of the Building, Taking into Account the Statement of Heritage Significance and National and Local Conservation Planning Policies

Methodology

- 5.1 The evaluation methodology is based on the guidance in the British Standards Institute's Standard BS 7913:2013, section 5.6.5 and ICOMOS Guidance on Heritage Impact Assessments for Cultural World Heritage Properties. This can be shown in a matrix as set out in Figure 2 of the British Standard and section 5-8 of the ICOMOS Guidance. Whilst this methodology is generally used to assess the impacts on historic buildings in historic area appraisals and World Heritage Sites, it is a viable method for assessing a nationally designated single building and its individual elements. The BS Standard does not differentiate between negative changes and positive changes, such as restoration or reinstatement of lost features. ICOMOS does differentiate between adverse and beneficial changes (ICOMOS section 5-8).
- 5.2 Calibration is a matter of both facts and professional judgement. BS 7913:2013 gives no guidance on this. ICOMOS does give guidance, although this is general and at a macro-level and is not detailed.
- 5.3 Heritage significance can range from "None/Negligible" for elements of little or no architectural, cultural or historic merit (e.g. modern alterations) to "Very High" in respect of World Heritage Sites (ICOMOS section 4-10 and Appendix 3A). The significance and value of 10, Regent's Park Terrace and its separate elements as set out in a separate Statement of Heritage Significance produced by Studio Astragal Ltd.
- 5.4 The magnitude of impact of the proposed changes has been assessed. BS 7913:2013 gives no guidance on this. ICOMOS gives some advice in section 5.7 and Appendix 3B of its guidance. "Negligible" impact could encompass repointing a building in exactly the same style and materials and "Major" impact would include demolition. These can be adverse or beneficial. The cumulative effect of separate impacts should also be considered (ICOMOS 5-7). As change or impacts may be adverse or beneficial, there is a nine-point scale with "neutral" as its centre point:
 - Major beneficial
 - Moderate beneficial
 - Minor beneficial
 - Negligible beneficial
 - Neutral
 - Negligible adverse
 - Minor adverse
 - Moderate adverse
 - Major adverse
- 5.5 The significance of the effect of change - i.e. the overall impact - on an attribute is a function of the importance of the attribute and the scale of change (ICOMOS section 5-8). The significance of the impact on the heritage asset can range from "Neutral" where the asset's heritage value is "Low", "Negligible" or "None" and there is "No Change" or "Negligible" impact, to "Very Large" where the asset's heritage value is "High" or "Very High" and the impact is "Major".
- 5.6 The proposals also have been assessed on their compliance with the policies and guidance on alterations and extensions to Listed Buildings as set out in the above-mentioned documents (ICOMOS section 5.11). The relevant sections are set out in Appendix 1.

SIGNIFICANCE OF IMPACT (EITHER ADVERSE OR BENEFICIAL)

Magnitude of Impact Plotted Against Heritage Value of Asset

VALUE OF ASSET	Very High	Neutral	Slight	Moderate/Large	Large/Very Large	Very Large
	High	Neutral	Slight	Slight/Moderate	Moderate/Large	Large/Very Large
	Medium	Neutral	Neutral/Slight	Slight	Moderate	Moderate/Large
	Low	Neutral	Neutral/Slight	Neutral/Slight	Slight	Slight/Moderate
	Negligible/None	Neutral	Neutral	Neutral/Slight	Neutral/Slight	Slight
	No Change	Negligible	Minor	Moderate	Major	
MAGNITUDE OF IMPACT						

Source: BS 7913:2013 Figure 2 and ICOMOS Guidance on Heritage Impact Assessments for Cultural World Heritage Properties section 5-8.

The Assessments

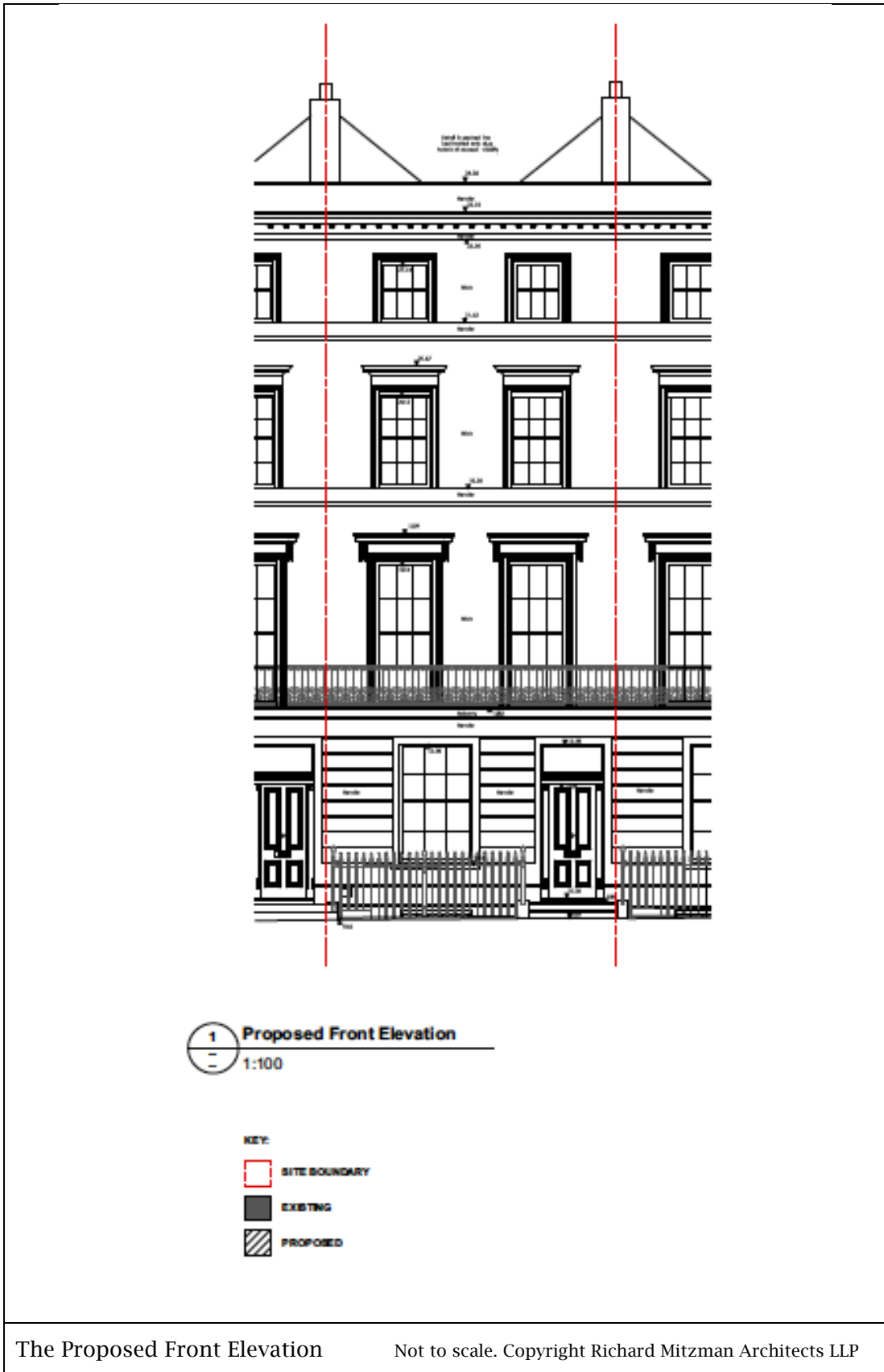
The Front Facade

5.7 No changes are proposed to the front façade.

Proposal	Heritage Value	Magnitude of Impact	Effect on Significance of Building
Front Elevation			
No proposals.	High	No Change	Neutral

Policy Compliance:

5.8 There is scope to secure the restoration of the front entrance steps, which is encouraged by national and local policies.



The Rear Facades

5.9 It is proposed to remove the metal stairs and balcony from the back of the rear wing and raise the height of the modern single-story boiler room. The boiler flue would be removed

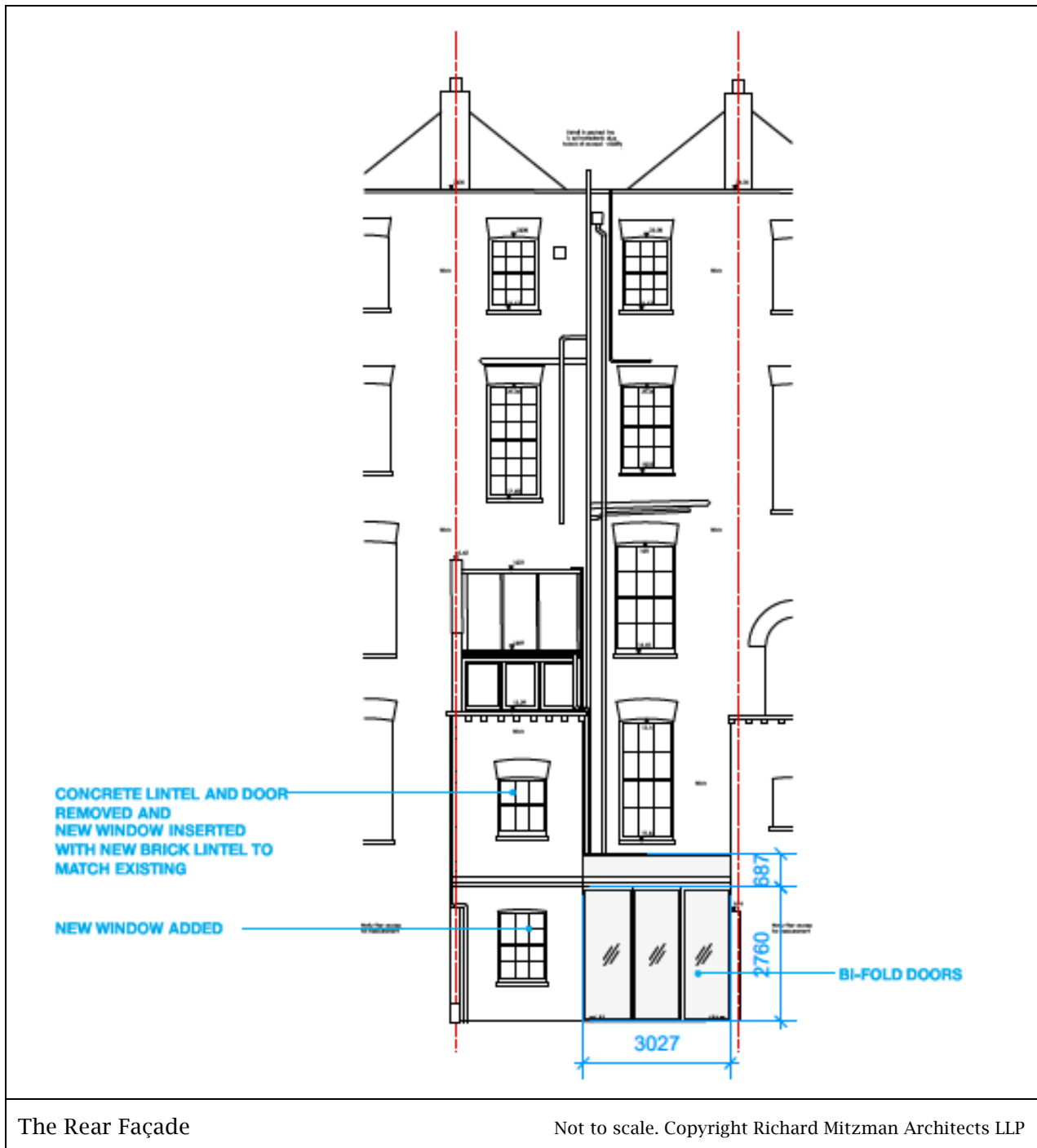
and a timber sash window inserted into its rear wall. At ground floor level, the modern door and its concrete window would be removed and the opening partially blocked up and a timber sash window inserted with a segmental curved brick arch above it to match the originals. The existing basement conservatory would be demolished and a deeper modern flat roofed conservatory constructed. The shed would be removed and / or relocated.

Proposal	Heritage Value	Magnitude of Impact	Effect on Significance of Building
Rear Elevation			
Removal of metal stairs and balcony	None	Minor Beneficial	Neutral/Slight Beneficial
Remove flue and raise roof of basement boiler room	None	Minor Beneficial	Neutral/Slight Beneficial
Form sash window in back wall of boiler room	None	Minor Beneficial	Neutral/Slight Beneficial
Remove door to boiler room and form sash window	None	Minor Beneficial	Neutral/Slight Beneficial
Remove ground floor door & concrete lintel & form of new sash window with brick arched head	None	Minor Beneficial	Neutral/Slight Beneficial
Demolition of conservatory	None	Minor Beneficial	Neutral/Slight Beneficial
Construction of new conservatory on rear elevation	Medium*	Minor Adverse	Slight Adverse
Removal / relocation of shed	None	Minor Beneficial	Neutral/Slight Beneficial
Cumulative impact	Medium*	Minor Beneficial	Neutral/Slight Beneficial
* The rear elevation			

Policy Compliance:

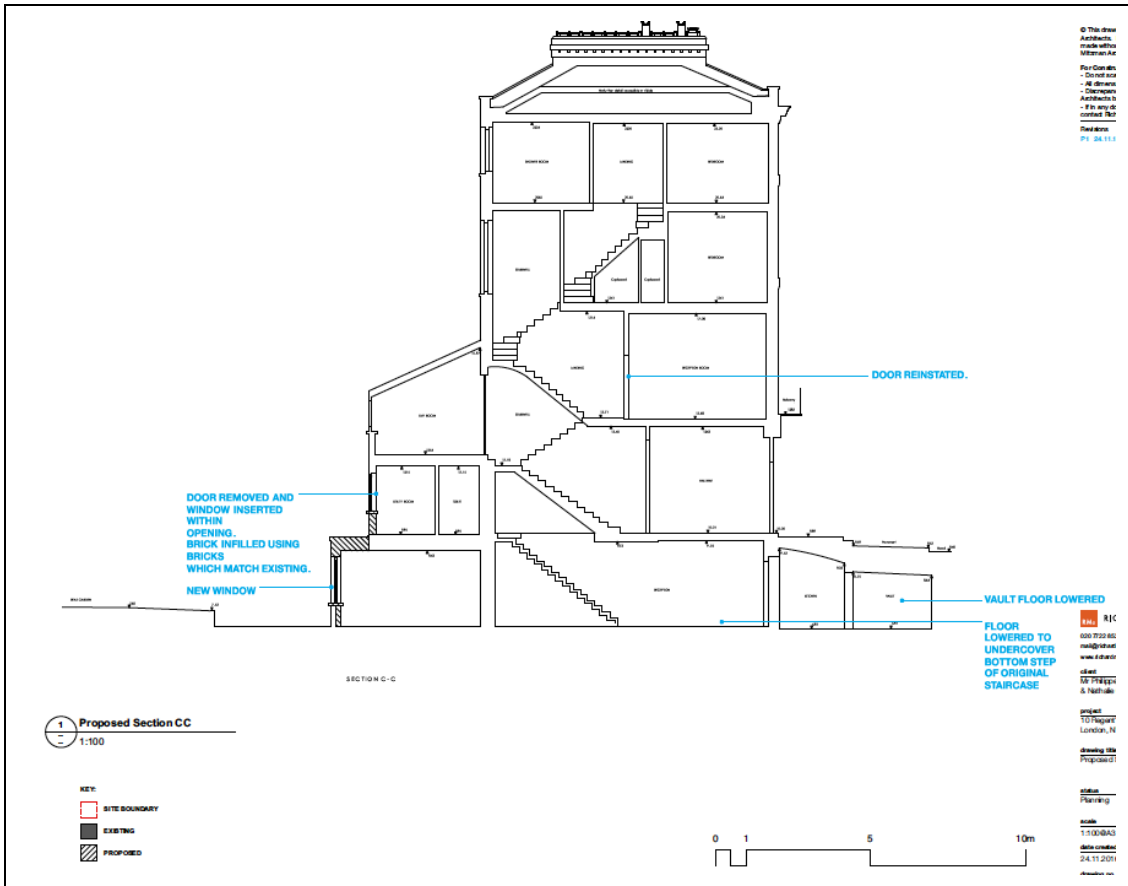
- 5.10 It is considered that the small increase in the size of the rebuilt conservatory would satisfy section 6.15 of BS 7913:2013, policies PH27 and PH30 of the Primrose Hill Conservation Area Statement and 4.19 of Camden's Guidance CPG1 - Design, and also satisfy Camden's requirement that conservatories be set back from the building line of solid extensions. However PH27 requires that extensions should be in harmony with the original form and character of the house and PH30 requires that the design and materials of conservatories be sensitive to the special qualities of the property. It could be argued that the proposed conservatory does not satisfy these policies. Section 4.19 of CPG1 requires that conservatories be of a high quality in both materials and design. However, LB Camden has granted consent for several modern conservatories in this group of buildings.
- 5.11 Whilst the raising of the roof of the boiler room is in principle a beneficial alteration and conforms in principle to national and local policies and in particular Camden's Guidance CPG1 - Design, its design detailing does not satisfy CPG1 Section 4.10 - Extensions and Section 4.7 - Windows. The proposals replicate the existing inappropriate and unattractive fascia of the flat roof. This does not match the parapet detail of the roof of the rear wing or the building's main roof.
- 5.12 The proposed new windows on the rear wing are not consistent in their heights, positioning on the facades, fenestration subdivisions and pane sizes either with each other or with the

historic windows on the north elevation. The new basement rear window is taller than the historic ones on the ground floor, which inappropriately inverts the architectural hierarchy of the building. Their heights, positions of cills and heads in relation to the floor levels and their windowpane divisions should all match those of the existing historic sash windows of the rear wing.



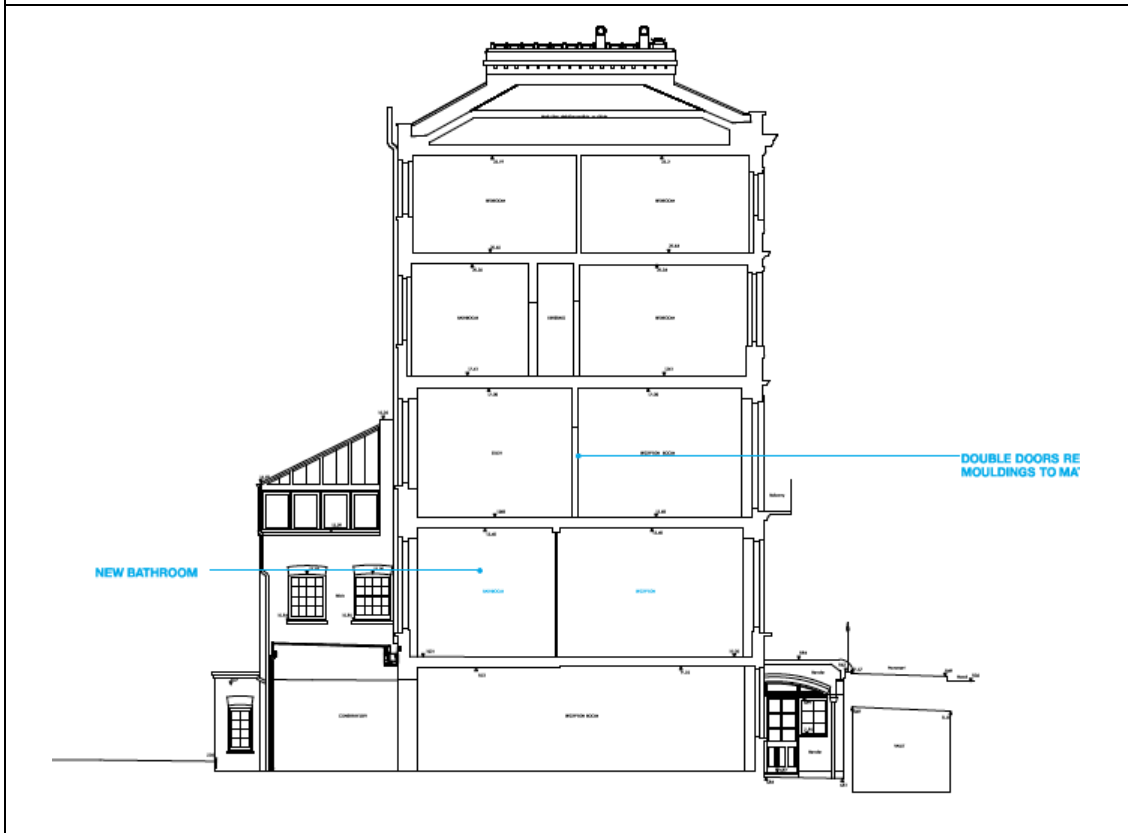
The Rear Façade

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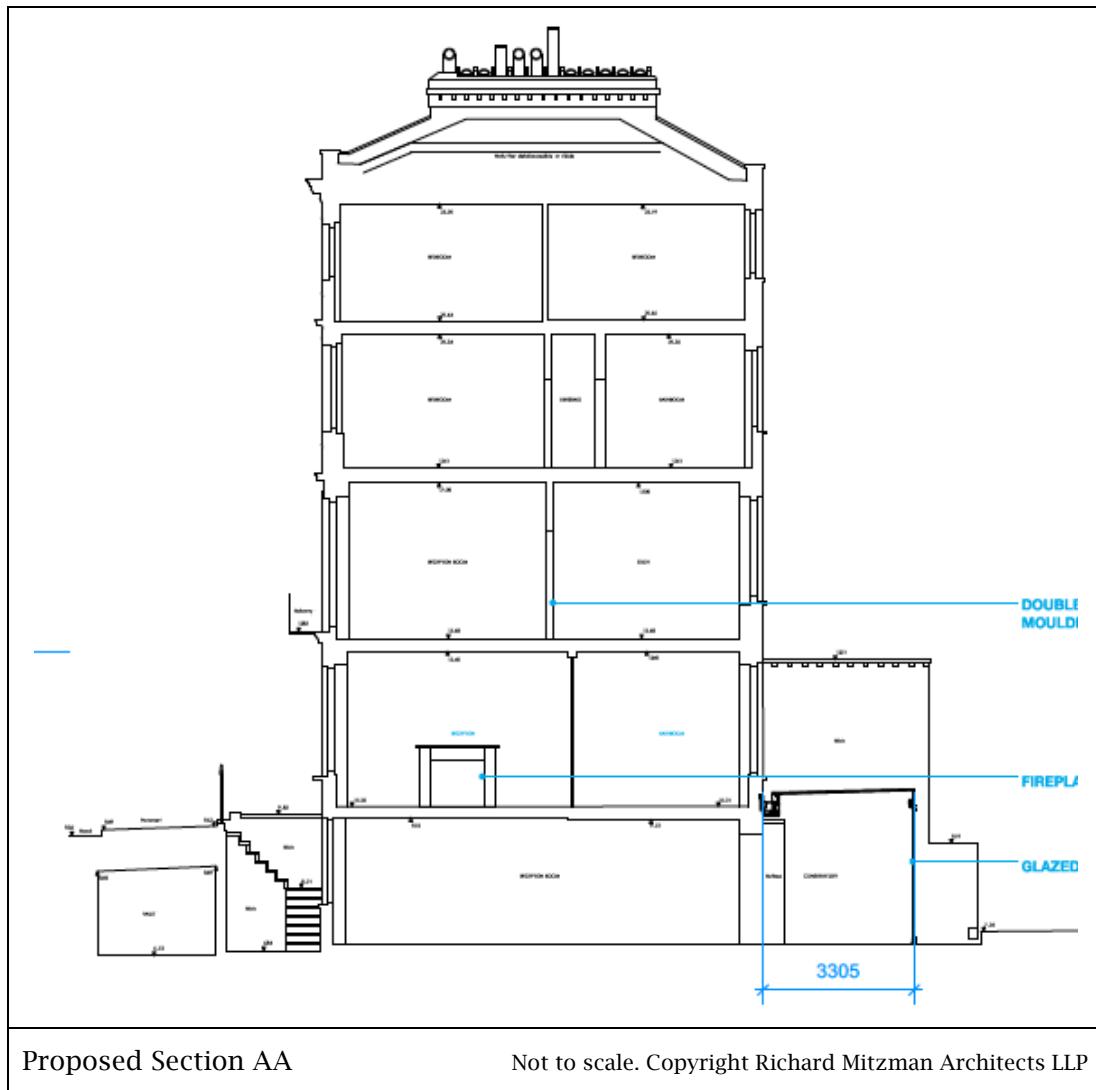
Proposed Section CC

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Proposed Section BB

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The Basement

5.13 It is proposed to form an opening between the south and middle front vault, partition off most of the back of the middle vault, line them with a Delta waterproofing membrane and create a bathroom in the middle vault. The floor level in the main basement would be lowered to its original level, exposing the bottom step of the stairs. The kitchen would be relocated from the ground floor to the rear main part of the basement. The remaining column of the original main back wall and most of the remaining part of the north flank wall of the rear wing would be removed. The new conservatory would extend further out than the existing one.

Proposal	Heritage Value	Magnitude of Impact	Effect on Significance of Building
The Basement			
Formation of opening between vaults, and lining with Delta membrane and creation of bathroom in middle vault	Low	Minor Adverse	Neutral/Slight Adverse
Reinstate original floor level in main part of basement	Negligible	Minor Beneficial	Neutral/Slight Beneficial
Removal of remaining column	Medium	Minor Adverse	Slight Adverse

of main back wall			
Removal of most of remaining part of north wall of rear wing	Medium	Minor Adverse	Slight Adverse
Relocate kitchen to rear of main part	Negligible	Minor Adverse	Neutral/Slight Adverse
Rear wing - no internal alterations proposed	Negligible	No Change	Neutral
Cumulative impact	Negligible	Minor Adverse	Neutral/Slight Adverse

Policy Compliance:

- 5.14 All the internal walls and most of the external walls at the rear have been removed. The cumulative impact of both past and proposed future alterations needs to be considered. It should be noted that some of the past removals of walls appear to be unauthorised. Removal of the remaining historic fabric of the original main back wall of the building and north side wall of the rear wing would the complete loss of definition of the original internal and external plan forms of the building at this level. This would appear to conflict with Sections 138 and 149 of Historic England's Conservation Principles - Policies and Guidance and Section 42 of their Advice Note 2 - Making Changes to Historic Assets and Section 6.16 of BSI's BS 7913:2013 - Guide to the Conservation of Historic Buildings.
- 5.15 This intervention is likely to require significant structural supporting works. There are currently no details of this and so it has not been possible to assess the potential heritage impacts of these works.
- 5.16 Whilst there is no specific detailed policy guidance on this, the relocation of the kitchen to the rear main part of the basement, is considered in accordance with general local and national conservation policies. However, running the kitchen units straight across the front of the rear chimneybreast and recesses on either side would result in a loss of definition of this feature. It would also prevent the reinstatement of the missing fireplace.
- 5.17 There are no specific national or local conservation policies against the proposed alteration and conversion of the vaults. Policy PH30 of the Primrose Hill Conservation Area Statement requires the retention of vaults and seeks the reinstatement of these where altered or lost. The proposals are not considered to be in conflict with this.
- 5.18 There is no information on the drawings about ventilation for the new bathroom and kitchen and so the potential heritage impacts of these cannot be assessed.

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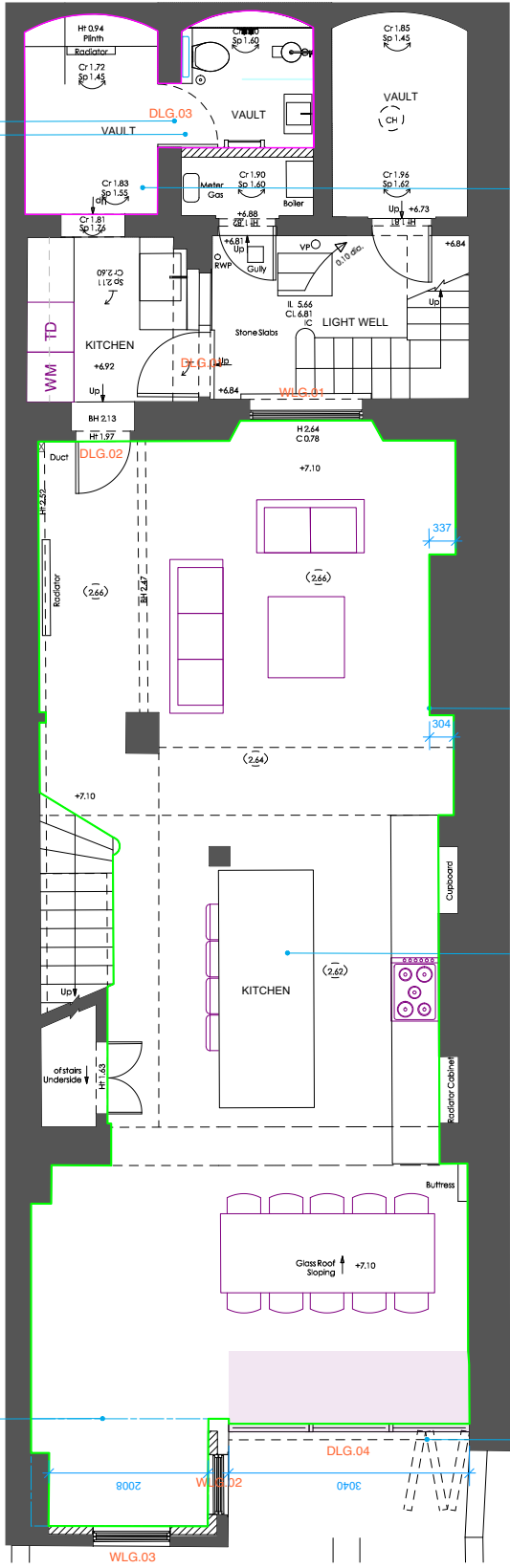
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Revisions:
 P1 24.10.18 Issued to client
 P2 23.12.18 Additional notes added

**OPEN CREATED BETWEEN TWO VAULTS
 NEW BATHROOM**

Ceiling height increased to ensure flush ceiling throughout.



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drawing title
 Proposed Lower Ground Plan

status
 Planning

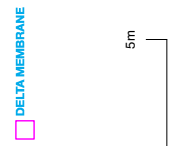
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 NE

date created
 24.11.2016

file reference
 250-DWG-100-LG

revision
 P2



Kitchen relocated from ground floor to lower ground.

Proposed Bifold doors



KEY:

- SITE BOUNDARY (dashed line)
- EXISTING (solid black)
- PROPOSED (hatched)
- ADDITIONAL AREA (light purple)

Proposed Basement Plan

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The Ground Floor

- 5.19 The proposals are to relocate the kitchen from the front room to the rear main basement room area and reinstate a period fireplace in the front room. Panelled doors would be reinstated in the two room's door openings, which are modern restorations in their original positions with architecturally correct architraves. Folding panelled doors would be installed in the non-original opening between the two principal rooms. The rear principal room would become a bathroom with a freestanding bath situated in front of the window and double hand basins positioned against the wall opposite the chimneybreast. A W.C. is not shown.

Proposal	Heritage Value	Magnitude of Impact	Effect on Significance of Building
Ground Floor			
Removal of kitchen from front room	Medium	Minor Beneficial	Slight Beneficial
Reinstate period fireplace in front room	Medium	Minor Beneficial	Slight Beneficial
Reinstate room doors to front and rear rooms principal rooms	Medium	Minor Beneficial	Slight Beneficial
Install folding panelled doors in opening between front and rear principal rooms.	None	Minor Beneficial	Neutral/Slight Beneficial
Create bathroom in rear principal room.	Medium	Minor Adverse	Slight Adverse
Rear wing - no internal alterations proposed	Negligible	No Change	Neutral
Cumulative impact	Medium	Minor Beneficial	Slight Beneficial

Policy Compliance:

- 5.20 Whilst not the most important rooms in the house and currently compromised, nevertheless the two principal reception rooms are important. There is no detailed specific policy guidance on the location of kitchens and bathrooms in Listed Buildings. The removal of the kitchen from the front room would be welcomed under general national and local policies. However, The insertion of a bathroom in the rear room potentially compromises its character and could be considered contrary to general policies. It would appear to conflict with the general policies in Section 149 of Historic England's Conservation Principles - Policies and Guidance and Section 6.16 of BSI's BS 7913:2013 Guide to the Conservation of Historic Buildings.
- 5.21 There is no information on the drawings about wall or floor coverings or mechanical ventilation for the new bathroom and so the impacts of these cannot be assessed.
- 5.22 The proposed new doors and fireplace would be in accordance with national and local policies, provided that their designs and materials are based on sound evidence and are not conjectural as set out in Section 6.17 of BS 7913:2013.

The First Floor

5.23 The proposals for this floor are limited. A panelled door is to be reinstated in the original doorway opening to the front room and a pair of panelled doors reinstated in the original opening between the front and rear rooms.

Proposal	Heritage Value	Magnitude of Impact	Effect on Significance of Building
First Floor			
Reinstate door to front room to match original	High	Minor Beneficial	Slight/Moderate Beneficial
Reinstate pair of panelled doors to opening between front and rear rooms	High	Minor Beneficial	Slight/Moderate Beneficial
Cumulative impact	High	Minor Beneficial	Slight/Moderate Beneficial

Policy Compliance:

5.24 The first floor is the *piano nobile* and has the most architecturally important and grandest rooms in the building, which are of High heritage significance. These restoration proposals are based on sound evidence, as required by Section 6.17 of BS 7913:2013 and will enhance the character of the building.

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Revisions

P1 24.11.16 Issued to client

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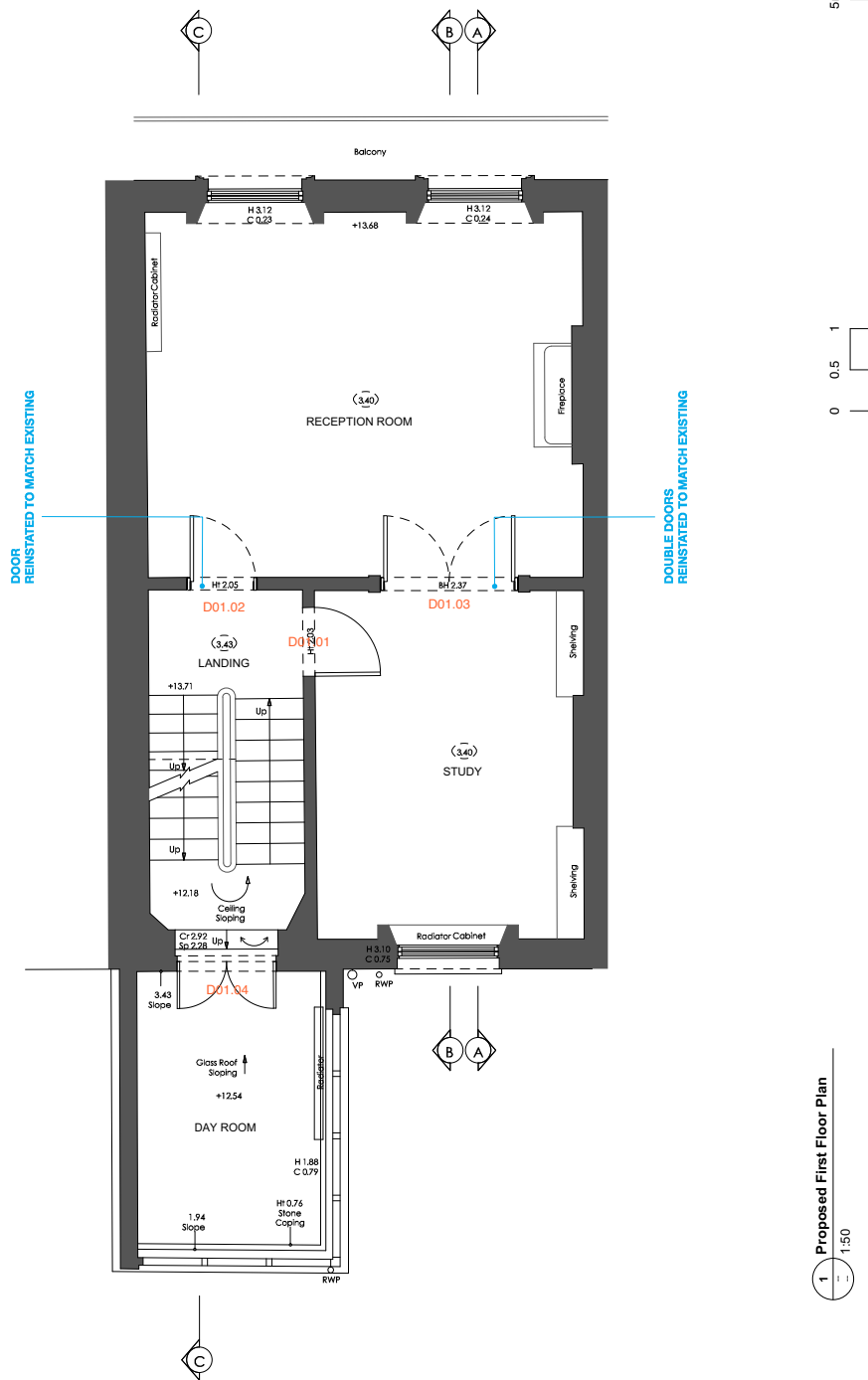
project
 10 Regent's Park, Terrace
 London, NW1 7EE

drawing title
 Proposed First Floor

status
 Planning

scale
 1:500 A3
 drawn by
 NE
 date created
 24.11.2016
 file reference
 24.11.2016

drawing no.
 250-DWG-102-01
 revision
 P1



Proposed First Floor Plan

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The Second Floor

5.25 No alterations are proposed to the second floor.

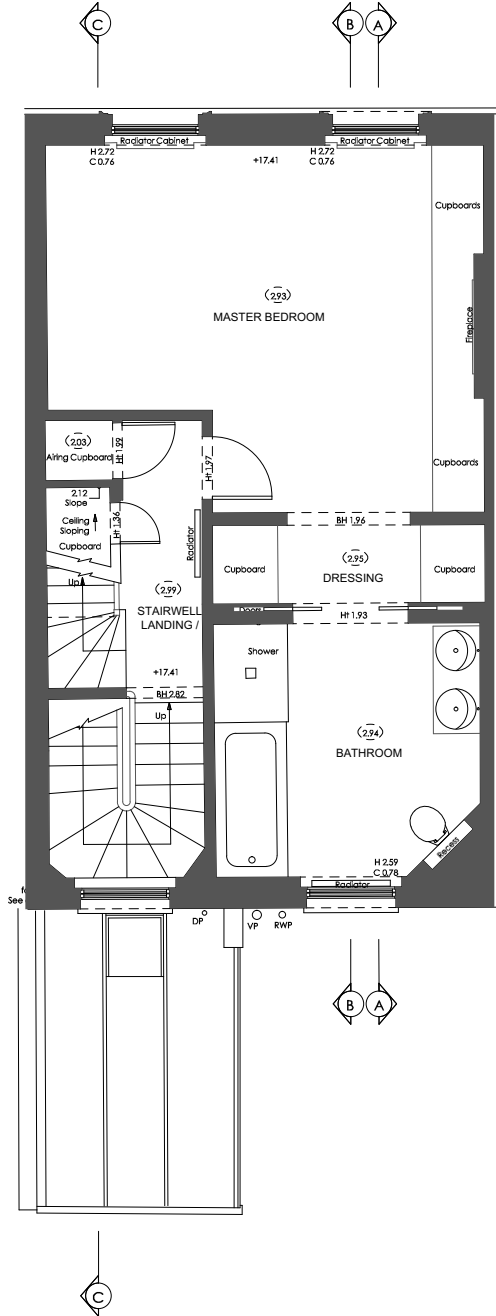
Proposal	Heritage Value	Magnitude of Impact	Effect on Significance of Building
Second Floor			
No proposed alterations	Medium	No Change	Neutral

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Revisions
P1 24.10.16 Based to client



NO CHANGES TO SECOND FLOOR



KEY:

- SITE BOUNDARY
- EXISTING
- PROPOSED

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project: 10 Regents Park Terrace London, NW1 7EE

drawing title: Proposed Second Plan

status: Planning

scale: 1:150 (NAS) drawn by: NE

date created: 24.11.2016 file reference:

drawing no.: 250-DWG-103-02 revision: P1

Proposed Second Floor Plan

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The Third Floor

5.26 No alterations are proposed on the third floor.

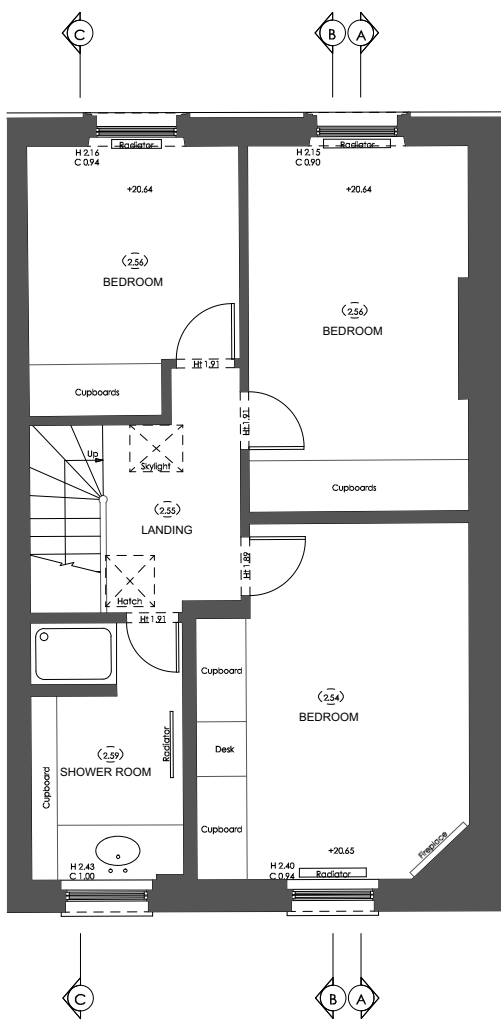
Proposal	Heritage Value	Magnitude of Impact	Effect on Significance of Building
Third Floor			
No alterations proposed	Low	No Change	Neutral

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Revisions
 P1 24.11.16 Issued to client



NO CHANGES TO THIRD FLOOR

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drawing title
 Proposed Third Floor Plan

status
 Final/PIG

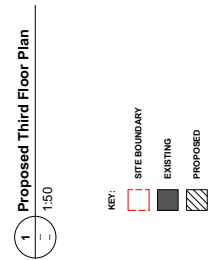
scale
 1:50 @ A3

drawn by
 NE

date created
 24.11.2016

file reference
 250-DWG-104-03

revision
 P1



Proposed Third Floor Plan

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The Roof

5.27 No alterations are proposed to the roof.

Proposal	Heritage Value	Magnitude of Impact	Effect on Significance of Building
The Roof			
No alterations proposed	High	No Change	Neutral

Summary - Cumulative Impacts

5.28

Proposal	Heritage Value	Magnitude of Impact	Effect on Significance of Building
Front Elevation overall	High	No Change	Neutral
Rear Elevation overall	Medium	Minor Beneficial	Neutral/Slight Beneficial
Basement overall	Negligible	Minor Adverse	Neutral/Slight Adverse
Ground floor overall	Medium	Minor Beneficial	Slight Beneficial
First floor overall	High	Minor Beneficial	Slight/Moderate Beneficial
Second floor overall	Medium	No Change	Neutral
Third floor overall	Low	No Change	Neutral
The Roof overall	Medium	No Change	Neutral
The Proposals Overall	High	Minor Beneficial	Slight/Moderate Beneficial

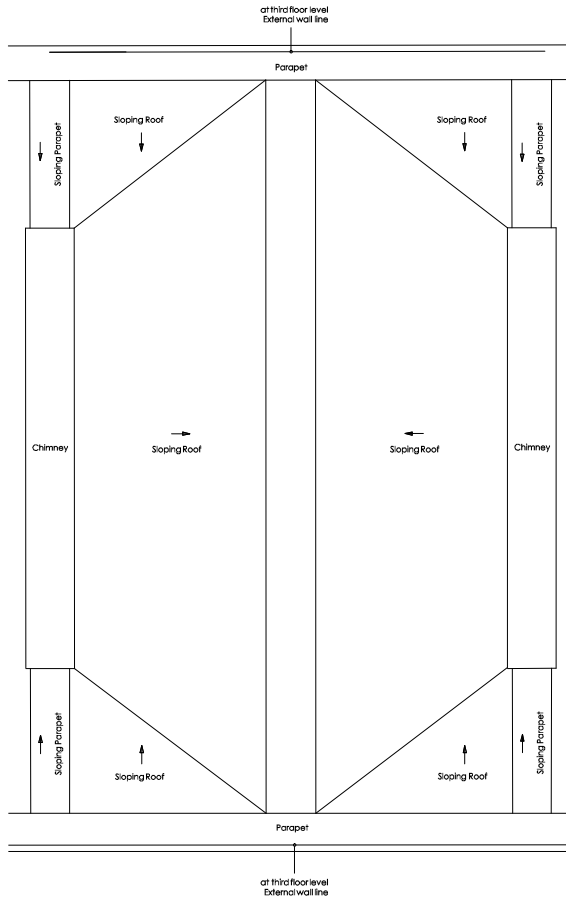
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Revisions

P1 24.11.16 Based to client



NO CHANGES TO ROOF PLAN



- KEY:
- SITE BOUNDARY
 - EXISTING
 - PROPOSED

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drawing title
 Proposed Roof Plan

status
 Planning

scale
 1:500/AS drawn by
 NE
 date created
 24.11.2016 file reference
 drawing no.
 revision

250-DWG-105-RP P1

Proposed Roof Plan

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6. Comments and Advice on the Drawings and Where Appropriate Suggested Amendments that May Enhance the Chances of Obtaining Planning Permission and Listed Building Consent.

The Exterior

The Front Elevation

Comments

- 6.1 No changes to the front façade are currently proposed. The boiler's flue pipe and condensate pipe are unsightly and these should be tidied up as part of the works to the vaults.

Mitigations

- 6.2 The following mitigations are recommended:-

- i) On the pavement vaults' wall, rerun the white plastic plume pipe and the condensate pipe internally to reduce their visual impact and paint their outlets to match the wall.

The Rear Elevation

Comments

- 6.3 The demolition of the glazed timber framed conservatory would result in the removal of a feature that is not a traditional conservatory and not attractive. However, its replacement is not a traditional timber conservatory but a very modern flat-roofed one. It is not clear what material its doorframes would be made of. The design would need to be justified. It appears that LB Camden does accept such conservatories. However, we consider that a traditional approach in timber is more sympathetic and appropriate on Listed Buildings in circumstances such as this, provided it is well designed and detailed.

Amendments

- 6.4 The following amendments are recommended:-

- i) Form a parapet with a stone coping and brick dentils to match the original roof parapets of the building proposed raised roof of the single-storey rear extension to rear wing.
- ii) Make all the new windows on the rear wing the same heights with their cill and head levels the same height above floor levels and with the same pane divisions and sizes as the existing historic windows on the north elevation.
- iii) Form a brick segmental arch above it to match the originals above the proposed basement window in the back wall of the rear wing.
- iv) Replace the basement rear conservatory with a correctly detailed period design with doors that match the design of the first-floor half-landing French doors.

Mitigations

- 6.5 The following mitigations are recommended:-

- i) Remove all paint from the brickwork at basement level.
- ii) Tidy up and rationalise pipework on rear wall, replacing plastic pipes with cast iron.

The Interior

The Basement

Comments

- 6.6 The section of rear wall to be removed clearly plays an important structural role. The proposals involve removing most of what little remains of the external walls at basement level and are likely to require substantial structural supporting works, which could have further impacts on the heritage significance of the building. It should be noted that some of the structural alterations that have taken place appear to be unauthorised and that no Building Regulation applications were found in respect of the alterations, although this may be because of the vagaries of LB Camden's online search tool. Structural cracks were observed in the walls of the rear wing, the causes of which will require investigation and will require remedial works. No doubt the services of a structural engineer will be sought. I

recommend that this be done before finalising the drawings and submitting the applications, as their recommendations may result in changes to the design. The Local Planning Authority may require a structural report and details of structural support proposals as part of the application for Listed Building Consent.

- 6.7 Removing structural walls and inserting horizontal steel beams can throw additional weight on the remaining stubs of wall or onto the party walls and their foundations. This can result in the need for rebuilding, underpinning or other structural works to the remaining supporting structure. It could potentially result in a much larger intervention and loss of original fabric than just the immediate proposed alteration. As no details of the structural supporting work are available, the impacts of this have not been assessed. Removal of main structural walls and even internal partition walls, which often have a support role, can result in sagging or dropping of floors and subsidence and cracking of walls if not carried out adequately.
- 6.8 Taken all together with previous alterations, the proposed internal alterations would amount to a substantial cumulative loss of the original plan form and compartmentalisation of the building at this level, as well as a substantial loss of original fabric and supporting structure. The alterations do not appear essential to the overall scheme.
- 6.9 It has been my experience that building control surveyors generally require the staircase compartment to be partitioned off with a self-closing door between basements and ground floors in multi-floored buildings, especially where basement kitchens are proposed and there is no separation between the kitchen and the staircase compartment. They often also require an upgrade of the fire resistance of the basement's ceiling. This building originally had a panelled timber partition around the top of the basement stairs at ground floor level. Whilst the panelled door survives, the partition's panels have been replaced with glazing. Reinstatement of the timber panelling would contribute towards fire separation.
- 6.10 Early consultation of the District Surveyor's office in respect of compliance with the building regulations is considered advisable before submission of the applications for Planning Permission and Listed Building Consent.
- 6.11 The works to the front vaults: Whilst Local Planning Authorities do grant permission for such sealed membrane systems to be installed in the vaults of Listed buildings, conservationists do have reservations about them and prefer ventilated systems. Their concerns are that sealed membrane systems prevent evaporation of damp away from the walls and vaulting. This could result in a higher moisture content in the masonry and there are fears that this might cause mechanical and chemical breakdown of the bricks and lime mortar over time. They also have concerns that the laying of a concrete foundation with a damp proof membrane on top could trap damp below it and drive it to the walls, thus increasing the moisture content in the walls. However, it is difficult to see how a satisfactory vented system could be devised for a barrel-vaulted ceiling. Insulation is advisable and this might be achieved by direct application of an insulating plaster to a meshed membrane system.
- 6.12 There is no indication of any mechanical ventilation of the new bathroom, which is highly advisable. The lowering of the floor will necessitate removing the skirting boards and probably replacing these, the door architraves and possibly the door to the utility room. The opportunity could be taken to replace this modern inappropriate off-the-shelf joinery with more appropriate bespoke designs.

Amendments

- 6.13 The following amendments are recommended:-
 - i) Retain the remaining parts of the original main back wall and north wall of the rear wing.
 - ii) Reinstatement of some of the original walls in the basement and the original rear main wall, including deep downstands above openings in order to structurally strengthen the building and reinstate its original plan form and compartmentalisation.

Mitigations

- 6.14 The following mitigations are recommended:-

- i) Relocate the kitchen area to the rear wing.
- ii) Reinstate appropriate period fireplaces to the front and rear chimneybreasts.
- iii) Clad the exposed steel beam in the front part to improve its appearance and provide fire protection of it.
- iv) Replace inappropriate modern joinery including the skirting boards with plain ones to match the originals on the third floor, the door architraves with more appropriate designs based on the originals on the upper floors and the door to the utility room with a four-panelled one with flat recessed panels and no panel mouldings.
- iv) Remove plaster and paint from the walls inside the basement conservatory and restore the brickwork and cover floor in York stone to match the external paving, so as to differentiate its space from the building's original interior.
- v) The mechanical ventilation extracts serving the bathroom in the vault and kitchen should have decorative cast iron ventilation grille painted black on their external outlet through the walls and not standard plastic louvre vents.

The Ground Floor

Comments

- 6.15 The removal of the kitchen from the front room is a very positive restoration of the building. However, this benefit is partially offset by the insertion of a bathroom in the rear ground floor room. Whilst this is less intrusive than a kitchen, it would adversely alter the character of this principal room. It is not understood why this change is necessary and it is a most unusual arrangement. There is no indication of any mechanical ventilation, which is likely to be a requirement and is advisable. There is no information on the drawings about wall or floor coverings for the new bathroom. Tiling or stone slabs would be most inappropriate.
- 6.16 The removal of the kitchen units will result in necessary remedial work to the floor cladding. The opportunity could be taken to remove the inappropriate stone flooring and reinstate and restore the original floorboards in both rooms.
- 6.17 The non-original opening between the two rooms is too wide, too high and is lop-sided. The opportunity should be taken to remedy this.
- 6.18 The reinstatement of the fireplace and the new doors to the opening between the two rooms will need to be based on sound evidence through research, including asking neighbours who have surviving original ground floor fireplaces and double doors between rooms if these could be inspected. There is a surviving original door on the first floor, which provides sound evidence for reinstatement of the room doors.

Amendments

- 6.19 The following amendments are recommended:-
 - i) Build out the wall the north side of the opening between the two rooms and lower its height to form an opening of historically appropriate proportions and positioning.

Mitigations

- 6.20 The following mitigations are recommended:-
 - i) Remove the stone flooring and timber over-boarding of floors and re-expose and restore, re-stain and wax polish the original floorboards.
 - ii) Ensure that the proposed double hand basins are designed to appear as a standalone piece of furniture and are mounted against a back panel that stands off the wall and is clear of the skirting board.
 - iii) Remove recessed ceiling spotlights and replace with central pendant lights and appropriately positioned wall lights.
 - iv) Reinstate an appropriate period fireplace in the rear room.
 - v) Reinstate a period ceiling rose of an appropriate design in the first floor front and rear rooms.

- vi) Any mechanical ventilation extract serving the new bathroom should have a decorative cast iron ventilation grille on its external outlet through the wall and not a standard plastic louvre vent.
- vii) In the rear wing, ensure that the new window's frame mouldings and architrave matches exactly those of the existing windows by using bespoke joinery rather than "off-the-shelf" joinery.
- viii) Reinststate the timber panelling to the side of the staircase at ground floor level, to restore its original appearance and line the inside face with fireboard to improve fire separation between the basement and ground floors. Sensitively upgrade for fire protection the panelled door to the basement staircase using Fireface or a similar suitable product.

The First Floor

Comments

- 6.21 The proposals are very positive in principle, but attention to detail is needed in their execution, such as by using bespoke joinery rather than "off-the-shelf" mouldings.

Mitigations

- 6.22 The following mitigations are recommended:-
- i) Ensure that the panel mouldings of the reinstated doors match exactly those of the original door.
 - ii) Replace the existing non-original, non-matching linings and architrave of the opening between the two rooms with new linings and an architrave that matches exactly those of the original doors.

General

Comments:

- 6.23 The drawings will need to show that all surviving internal architectural features will be retained and indicate that all new internal joinery work will match the originals. Additional mitigations could be offered to offset some of the negative impacts of the proposals such as replacing inappropriate non-matching joinery and reinstating missing fireplaces in other rooms too.
- 6.24 Any sound proofing between floors that may be required by Building Control should be done within the floor void with the use of mineral wool insulation matting and sound-blocker board suspended between the floor joists on aluminium "top hat" supports.
- 6.25 Any additional upgrading of the floors required by Building Control to provide greater fireproofing, other than over-boarding the basement ceiling, should be carried out in the same way, with the insulation matting being suspended on chicken wire stapled to the joists.

Mitigations:

- i) Ensure that all new joinery is bespoke and based on profiles taken from surviving original joinery rather than using non-matching off-the-shelf joinery.
- ii) Take the opportunity to replace all non-matching off-the shelf joinery with bespoke matching joinery.
- iii) Ensure that any sound and fire proofing of between floors is carried out within the floor voids.

7. Conclusions

- 7.1 Our assessment is that overall the effect on the significance of the building is Slight to Moderately Beneficial, provided that the works are well detailed and executed. It should be borne in mind that on an assessment scale intended for use in assessing impacts ranging from the complete loss of a World Heritage Site down to alterations of an Undesignated

Heritage Asset, this might not seem very much, but in terms of this listed building, it is fairly substantial.

- 7.2 The scheme would not substantially harm any attributes of High heritage Significance of the building. The adverse impacts are mostly confined to the basement level, which has already been substantially compromised by unsympathetic and inappropriate alterations and extensions. In the terms of Section 134 of the National Planning Policy Framework, they would cause “less than substantial harm to the significance of a designated heritage asset”. Section 134 of the NPPF requires that the “harm should be weighed against the public benefits of the proposal”. It is a matter of fact and degree and professional judgment whether benefits outweigh the harm. The proposals for the ground floor are mostly beneficial and entirely beneficial for the first floor. These could be considered of public benefit, notwithstanding their being internal.
- 7.3 This does not mean to say that all elements of the proposals would be considered acceptable by the Local Planning Authority or that amendments and refinements to the scheme are unnecessary.
- 7.4 It is my considered opinion that some elements of the proposals would cause some harm to important historic fabric and features of the building and as such are contrary to national and local policies. I consider that in order to better preserve and enhance the character of the building a number of amendments to the scheme, as well as mitigations as set out above are desirable.
- 7.5 It would appear that the Local Planning Authority does not apply national policies and guidance as rigorously as some local planning authorities do. Nevertheless, it may be advisable to seek pre-application advice and comments from the LPA.

GRB

19.1.2017

APPENDIX 1

KEY RELEVANT CONSERVATION AND DESIGN POLICIES

National Policy and Guidance

The National Planning Policy Framework

This does not give detailed advice, but Sections 131 to 134 are relevant to the assessment of the proposal:-

131. In determining planning applications, local planning authorities should take account of:
- the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;
 - the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and
 - the desirability of new development making a positive contribution to local character and distinctiveness.
132. When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation. The more important the asset, the greater the weight should be. Significance can be harmed or lost through alteration or destruction of the heritage asset or development within its setting. As heritage assets are irreplaceable, any harm or loss should require clear and convincing justification. Substantial harm to or loss of a grade II listed building, park or garden should be exceptional. Substantial harm to or loss of designated heritage assets of the highest significance, notably scheduled monuments, protected wreck sites, battlefields, grade I and II* listed buildings, grade I and II* registered parks and gardens, and World Heritage Sites, should be wholly exceptional.
133. Where a proposed development will lead to substantial harm to or total loss of significance of a designated heritage asset, local planning authorities should refuse consent, unless it can be demonstrated that the substantial harm or loss is necessary to achieve substantial public benefits that outweigh that harm or loss, or all of the following apply:
- the nature of the heritage asset prevents all reasonable uses of the site; and
 - no viable use of the heritage asset itself can be found in the medium term through appropriate marketing that will enable its conservation; and
 - conservation by grant-funding or some form of charitable or public ownership is demonstrably not possible; and
 - the harm or loss is outweighed by the benefit of bringing the site back into use.
134. Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal, including securing its optimum viable use.

Conservation Principles – Policies and Guidance, Historic England

This does not give any specific detailed guidance about alterations to listed buildings. Its general principle states:-

“New work and alteration

- 138 New work or alteration to a significant place should normally be acceptable if:
- a. there is sufficient information comprehensively to understand the impacts of the proposal on the significance of the place;
 - b. the proposal would not materially harm the values of the place, which, where appropriate, would be reinforced or further revealed;

- c. the proposals aspire to a quality of design and execution which may be valued now and in the future;
- d. the long-term consequences of the proposals can, from experience, be demonstrated to be benign, or the proposals are designed not to prejudice alternative solutions in the future.”

....

Integrating conservation with other public interests

- 149 Changes which would harm the heritage values of a significant place should be unacceptable unless:
- a. the changes are demonstrably necessary either to make the place sustainable, or to meet an overriding public policy objective or need;
 - b. there is no reasonably practicable alternative means of doing so without harm;
 - c. that harm has been reduced to the minimum consistent with achieving the objective;
 - d. it has been demonstrated that the predicted public benefit decisively outweighs the harm to the values of the place, considering
 - its comparative significance,
 - the impact on that significance, and
 - the benefits to the place itself and/or the wider community or society as a whole.

Making Changes to Historic Assets – Historic England Advice Note 2

The following extracts are particularly relevant:

3 Addition and Alteration

General Points

- 41 The main issues to consider in proposals for additions to heritage assets, including new development in conservation areas, aside from NPPF requirements such as social and economic activity and sustainability, are proportion, height, massing, bulk, use of materials, durability and adaptability, use, enclosure, relationship with adjacent assets and definition of spaces and streets, alignment, active frontages, permeability and treatment of setting. Replicating a particular style may be less important, though there are circumstances when it may be appropriate. It would not normally be good practice for new work to dominate the original asset or its setting in either scale, material or as a result of its siting. Assessment of an asset’s significance and its relationship to its setting will usually suggest the forms of extension that might be appropriate.
- 42 The historic fabric will always be an important part of the asset’s significance, though in circumstances where it has clearly failed it will need to be repaired or replaced; for instance, seaside piers, constructed in timber and iron in a very hostile environment, will only survive through replication of corroded elements and mass-produced components in some C20 buildings, such as steel-framed windows, may not be simple to repair and repair would therefore be disproportionate. In normal circumstances, however, retention of as much historic fabric as possible, together with the use of appropriate materials and methods of repair, is likely to fulfil the NPPF policy to conserve heritage assets in a manner appropriate to their significance, as a fundamental part of any good alteration or conversion. It is not appropriate to sacrifice old work simply to accommodate the new.
- 43 The junction between new work and the existing fabric needs particular attention, both for its impact on the significance of the existing asset and the impact on the contribution of its setting. Where possible it is preferable for new work to be reversible, so that changes can be undone without harm to historic fabric. However, reversibility alone does not justify alteration; if alteration is justified on other grounds then reversible alteration is preferable to non-reversible. New openings need to be considered in the context of the architectural and historic significance of that part of the asset and of the asset as a whole. Where new work or additions make elements with significance redundant, such as doors or decorative

features, there is likely to be less impact on the asset's aesthetic, historic or evidential value if they are left in place.

Buildings and Structures

....

- 45 The plan form of a building is frequently one of its most important characteristics and internal partitions, staircases (whether decorated or plain, principal or secondary) and other features are likely to form part of its significance. Indeed they may be its most significant feature. Proposals to remove or modify internal arrangements, including the insertion of new openings or extension underground, will be subject to the same considerations of impact on significance (particularly architectural interest) as for externally visible alterations.

.....

- 48 The insertion of new elements such as doors and windows, (including dormers and roof lights to bring roof spaces into more intensive use) is quite likely to adversely affect the building's significance. Harm might be avoided if roof lights are located on less prominent roof slopes. New elements may be more acceptable if account is taken of the character of the building, the roofline and significant fabric. Roof lights may be more appropriate in agricultural and industrial buildings than dormers. In some circumstances the unbroken line of a roof may be an important contributor to its significance.
- 49 New features added to a building are less likely to have an impact on the significance if they follow the character of the building. Thus in a barn conversion new doors and windows are more likely to be acceptable if they are agricultural rather than domestic in character, with the relationship of new glazing to the wall plane reflecting that of the existing and, where large door openings are to be glazed, with the former doors retained or replicated so that they can be closed.
- 50 Small-scale features, inside and out, such as historic painting schemes, ornamental plasterwork, carpenters' and masons' marks, chimney breasts and stacks, inscriptions and signs, will frequently contribute strongly to a building's significance and removing or obscuring them is likely to affect the asset's significance.
- 51 Historic flooring materials will often be of interest in themselves. Additional care is needed on lower floors to ensure that archaeological interest below the finished surface is not adversely affected by proposed works.
- 52 Although some works of up-grading, such as new kitchens and bathroom units, are unlikely to need consent, new services, both internal and external, can have a considerable, and often cumulative, impact on the significance of a building and can affect significance if added thoughtlessly. The impact of necessary services can be minimised by avoiding damage to decorative features, by carefully routeing (sic) and finishing and by use of materials appropriate to the relevant period, such as cast iron for gutters and down-pipes for many Georgian and Victorian buildings. Certificates of Lawful Proposed Works, Local Listed Building Consent Orders and Listed Building Heritage Partnership Agreements may all be useful mechanisms to clarify where the limits of permissibility exist in individual cases. ...

BS 7913:2013 – Guide to the Conservation of Historic Buildings, BSI Standards Institution

6.15 Adaption, conversion and extension

... New extensions should normally be subservient to the historic building in terms of scale, height and massing.

... New works should not obliterate or destroy features of interest in the historic building. It might be necessary for extensions to be attached by a smaller link section rather than directly to the original building.

6.16 Alterations

Alterations should be carried out only if there is no suitable alternative option. They should be designed to minimise their impact on the significance of the historic building, and should avoid losing features that contribute to that significance.

The principle of reversibility should be used,

6.17 Reinstatement

Where a historic building has been altered in the past and is being reinstated to its original form, elements of the historic building which contribute to its original design might have been lost and their replacement might be justified, for example, the loss of some pinnacles, sections of balustrades and sash windows. Several factors should be taken into account. These include:

- a) whether there is evidence of the original design;
- b) the quality of the alterations relative to the significance of the original design;
- c) the magnitude of the impact of alterations on significance;
- d) retaining alterations as evidence of the historic building's history;
- e) whether reinstatement would make the historic building more fit for purpose; and
- f) archaeological interest/evidential value of a historic building's development that might be lost.

Reinstatement should be based on strong evidence and research. Where there is insufficient evidence of the original design, conjectural reinstatement should be avoided.

Local Policy and Guidance

LB Camden Local Development Framework Development Policies, 2010.

DP25 – Conserving Camden's heritage

Conservation Areas

In order to maintain the character of Camden's conservation areas, the Council will:

- a) take account of conservation area statements, appraisals and management plans when assessing applications within conservation areas;
- b) only permit development within conservation areas that preserves and enhances the character and appearance of the area;
- c) prevent the total or substantial demolition of an unlisted building that makes a positive contribution to the character or appearance of a conservation area where this harms the character or appearance of the conservation area, unless exceptional circumstances are shown that outweigh the case for retention;
- d) not permit development outside of a conservation area that causes harm to the character and appearance of that conservation area; and
- e) preserve trees and garden spaces which contribute to the character of a conservation area and which provide a setting for Camden's architectural heritage.

Listed buildings

To preserve or enhance the borough's listed buildings, the Council will:

- e) prevent the total or substantial demolition of a listed building unless exceptional circumstances are shown that outweigh the case for retention;
- f) only grant consent for a change of use or alterations and extensions to a listed building where it considers this would not cause harm to the special interest of the building; and
- g) not permit development that it considers would cause harm to the setting of a listed building.

L B Camden Draft Local Plan 2015

Policy D1 Design

The Council will require development to be of the highest architectural and urban design quality which improves the function, appearance, and character of the area.

We will require that development:

- a. is attractive and of the highest standard;
- b. respects local context and character and conserves or enhances the historic environment and heritage assets;
- c. is sustainable in design and construction;
- d. is carefully designed with regard to architectural detailing;
- e. uses attractive and high quality materials;
- f. contributes positively to the street frontage;
- g. is inclusive and accessible for all;
- h. promotes health;
- i. improves movement through areas with direct, accessible, and easily recognisable routes (legibility);
- j. is secure and designed to minimise crime and antisocial behaviour;
- k. is robust and flexible in use;
- l. responds to natural features and preserves gardens and other open space;
- m. incorporates well designed landscape design;
- n. incorporates outdoor amenity space;
- o. preserves significant and protected views;
- p. meets housing standards; and
- q. carefully integrates building services equipment.

Policy D2 Heritage

The Council will preserve and, where appropriate, enhance Camden's rich and diverse heritage assets and their settings, including conservation areas, listed buildings, archaeological remains, scheduled ancient monuments and historic parks and gardens.

In order to maintain the character of Camden's conservation areas, we will:

- a. take account of conservation area statements, appraisals and management plans when assessing applications within conservation areas;
- b. require that development within conservation areas preserves or enhances the character or appearance of the area;
- c. resist the total or substantial demolition of an unlisted building that makes a positive contribution to the character or appearance of a conservation area, unless circumstances are shown that outweigh the case for retention;
- d. resist development outside of a conservation area that causes harm to the character or appearance of that conservation area; and
- e. preserve trees and garden spaces which contribute to the character of a conservation area and which provide a setting for Camden's architectural heritage.

Development which causes harm to the significance of a conservation area will not be permitted unless there are public benefits to the development that outweigh that harm, taking into consideration the scale of the harm and the significance of the asset.

Listed Buildings

To preserve and enhance the borough's listed buildings, we will:

- f. prevent the total or substantial demolition of a listed building unless exceptional circumstances are shown that outweigh the case for retention;
- g. resist proposals for a change of use or alterations and extensions to a listed building where it considers this would cause harm to the special architectural and historic interest of the building; and
- h. resist development that it considers would cause harm to the setting of a listed building.

We will refuse permission for development which results in substantial harm to, or the loss of, a listed building unless it can be demonstrated that the substantial harm or loss is necessary to achieve substantial public benefits that outweigh that harm or loss, or all the following apply:

- i. the nature of the heritage asset prevents all reasonable uses of the site; and
- j. no viable use of the heritage asset itself can be found in the medium term through appropriate marketing that will enable its conservation; and
- k. conservation by grant-funding or some form of charitable or public ownership is demonstrably not possible; and
- l. the harm or loss is outweighed by the benefit of bringing the site back into use.

Camden Planning Guidance CPG1 – Design

Guidance for all extensions and alterations

External alterations

4.6 The good practice principles set out below and the general design considerations for residential façades shown in Figure 1 – ‘Alterations to Residential Façades’ should be followed when undertaking external alterations. A façade is the front or face of a building.

Good practice principles for external alterations

4.7 Alterations should always take into account the character and design of the property and its surroundings. A harmonious contrast with the existing property and surroundings may be appropriate for some new work to distinguish it from the existing building; in other cases closely matching materials and design details are more appropriate so as to ensure the new work blends with the old.

Windows

- Where it is necessary to alter or replace windows that are original or in the style of the originals, they should be replaced like with like wherever possible in order to preserve the character of the property and the surrounding area. New windows should match the originals as closely as possible in terms of type, glazing patterns and proportions (including the shape, size and placement of glazing bars), opening method, materials and finishes, detailing and the overall size of the window opening.
- Where timber is the traditional window material, replacements should also be in timber frames. uPVC windows are not acceptable both aesthetically and for environmental reasons, including their relatively short lifespan and inability to biodegrade. Similarly, where steel is the traditional window material, steel replacements will be sought wherever possible, see also CPG3 Sustainability (Sustainable use of materials chapter), which gives guidance on the use of sustainable materials).
- Reference should be made to the Building Research Establishment's (BRE) Green Guide to Specification when sourcing replacement window frames.
- Where the original glazing bars are highly detailed and intricate, or contain stained glass or leaded panes these should be retained and repaired. See also the Camden leaflet A Guide to Windows (2006), which is available on our website, for advice on secondary glazing and other ways to improve energy efficiency while retaining attractive original features.

- Where windows are replaced they should have the lowest 'U-value' feasible.
- Listed building consent will be required for replacement windows, secondary glazing and double-glazing in listed buildings.
- In conservation areas original single-glazed windows often contribute to the character and appearance of the area, and should be retained and upgraded. There may however be some instances where double glazing can be installed in a design that matches the original, for instance sash windows or casements with large individual pane sizes, or in secondary glazing. In such cases, the window frame and glazing bars of the replacement windows should match the existing.
- Further guidance on window alterations and the effect that this can have on energy efficiency and protecting heritage assets can be found on English Heritage's 'Climate Change and your Home' website: www.climatechangeandyourhome.org.uk .

Doors

- Where you are looking to replace doors their design should match the dimensions, proportions, joinery details, panelling and glazing of the original. Where timber replacement doors are proposed the timber should be sustainably sourced.
- Characteristic doorway features, such as porches, such be retained where they make a positive contribution to the character of groups of buildings.

Materials

- Wherever possible you should use materials that complement the colour and texture of the materials in the existing building, see also CPG3 Sustainability (Sustainable use of materials chapter). In historic areas traditional materials such as brick, stone, timber and render will usually be the most appropriate complement to the existing historic fabric; modern materials such as steel and glass may be appropriate but should be used sensitively and not dominate the existing property.
- Materials for alterations should weather well, so their ageing process contributes positively to the character of the building, and the site's wider context.
- Original surface finishes should be retained or replicated wherever possible, as they are usually central to the architectural design / character treatment of a building. These may cover the entire building or façade (such as stucco facing), the roof elements (such as roof tiles and roof ridges), highlight specific features (such as windows or doors) or act as decorative elements (such as ironwork or terracotta panels).
- When repairing existing wall finishes, the composition of the original material (such as plaster, stucco or render) should be determined, the defective area cut out and a replacement material of identical chemical composition applied and properly bonded. Concrete repairs are generally non-original and unsympathetic to historic buildings, and can damage bricks, and should be replaced with a more traditional lime-based finish.
- The insulating quality of materials should be considered, along with their embodied energy (the energy used in manufacture) and the potential for re-use and recycling.
- Alterations or repairs to brickwork or stonework should match the original in all respects while satisfying the needs of durability and maintenance. This should include matching the original bond, mortar colour and texture. Retention of any existing pointing is encouraged wherever possible.
- Samples of brick type and mortar colour will normally be required to be submitted to the Council as part of any application.
- Painting, rendering or cladding of brickwork will normally be resisted, as it is often unsightly and can damage the appearance of a building by obscuring the texture and original colour of the façade. Painting, rendering or cladding may also trap moisture, which can cause major damp problems in the masonry.

External pipework

- Original external pipework and guttering should be repaired or reinstated in a like-for-like manner, where possible. In the case of historic buildings, cast iron replicas of original pipework are preferable to uPVC pipes. New pipework should be restricted to the side and rear elevations of buildings to avoid spoiling the appearance of the principal façade and should be grouped together and located in a discrete position.

Scale

4.8 Extensions should be subordinate to the original building in terms of scale and situation unless the specific circumstances of the site, such as the context of the property or its particular design, would enable an exception to this approach. More detailed guidance on design considerations is contained within CPG1 Design (Design excellence chapter).

Rear extensions

4.9 A rear extension is often the most appropriate way to extend a house or property. However, rear extensions that are insensitively or inappropriately designed can spoil the appearance of a property or group of properties and harm the amenity of neighbouring properties, for example in terms of outlook and access to daylight and sunlight.

General principles

4.10 Rear extensions should be designed to:

- be secondary to the building being extended, in terms of location, form, scale, proportions, dimensions and detailing;
- respect and preserve the original design and proportions of the building, including its architectural period and style;
- respect and preserve existing architectural features, such as projecting bays, decorative balconies or chimney stacks;
- respect and preserve the historic pattern and established townscape of the surrounding area, including the ratio of built to unbuilt space;
- not cause a loss of amenity to adjacent properties with regard to sunlight, daylight, outlook, overshadowing, light pollution/spillage, privacy/overlooking, and sense of enclosure;
- allow for the retention of a reasonable sized garden; and
- retain the open character of existing natural landscaping and garden amenity, including that of neighbouring properties, proportionate to that of the surrounding area.

4.11 Materials should be chosen that are sympathetic to the existing building wherever possible (see also CPG3 Sustainability on Sustainable use of materials).

Height of rear extensions

4.12 In order for new extensions to be subordinate to the original building, their heights should respect the existing pattern of rear extensions, where they exist. Ground floor extensions are generally considered preferable to those at higher levels. The maximum acceptable height of an extension should be determined in relation to the points outlined in paragraph 4.10 above. In cases where a higher extension is appropriate, a smaller footprint will generally be preferable to compensate for any increase in visual mass and bulk, overshadowing and overlooking that would be caused by the additional height.

4.13 In most cases, extensions that are higher than one full storey below roof eaves/parapet level, or that rise above the general height of neighbouring projections and nearby extensions, will be strongly discouraged.

4.14 The width of rear extensions should be designed so that they are not visible from the street and should respect the rhythm of existing rear extensions.

4.15 In addition, the rear of some buildings may be architecturally distinguished, either forming a harmonious composition, or visually contributing to the townscape. The Council will seek to

preserve these where appropriate. Some of the Borough's important rear elevations are identified in conservation area statements, appraisals and management plans.

Conservatories

4.19 Conservatories should normally:

- be located adjacent to the side and rear elevations of the building;
- be subordinate to the building being extended in terms of height, mass, bulk, plan form and detailing;
- respect and preserve existing architectural features, e.g. brick arches, windows etc;
- be located at ground or basement level. Only in exceptional circumstances will conservatories be allowed on upper levels;
- not extend the full width of a building. If a conservatory fills a gap beside a solid extension, it must be set back from the building line of the solid extension; and
- be of a high quality in both materials and design.

4.20 Conservatories should not overlook or cause light pollution to neighbouring properties, including to those in flats above. In order to minimise overlooking, opaque lightweight materials such as obscured glass may be necessary on façades abutting neighbouring properties. Also, in order to minimise light pollution, solid lightweight materials, oneway glass or obscured glass may be required.

New Basement Development and Extensions to Existing Basement Accommodation Guidance Note 2008.

Listed buildings

- 20 Where the building is listed, new basement development or extension to existing basement accommodation will require listed building consent, even if planning permission is not required. The acceptability of a basement extension to a listed building will be assessed on a case by case basis, taking into account the individual features of the building, its special interest and its structural integrity. Applicants should contact the Council's Conservation and Urban Design team at the earliest opportunity to discuss the proposal (see Appendix 1).
- 21 When considering applications for basement extensions within conservation areas, or where they adjoin listed buildings, the Council will need to be satisfied that effective measures will be taken during demolition and construction works to ensure that damage is not caused to the building and any buildings it directly adjoins. Poor demolition and construction methods can put its neighbours at risk and so can have untold effects on the character and appearance of heritage buildings and a conservation area.

The Primrose Hill Conservation Area Statement

LISTED BUILDINGS

- PH3 Under Section 7 of the Planning (Listed Buildings & Conservation Areas) Act 1990, listed building consent is required for demolition of a listed building, and for any works of alteration or extension which would affect its character as a building of special architectural or historic interest.
- PH4 The requirement for listed building consent is distinct from the need for planning permission and 'permitted development' rights do not apply to listed building consent. Listed building consent is not normally required for maintenance and like for like repairs but, if repairs result in a significant loss of historic fabric or change to the appearance of the building, consent would be required.
- PH5 Works required to be carried out to a listed building as a matter of urgency would require listed building consent just as in any other case, even if the works are required by a dangerous structures or any other legal notice.
- PH6 It is an offence to carry out or ask for unauthorised works to be carried out to a listed building and the penalty can be severe - an unlimited fine or up to 12 months imprisonment,

or both.

PH7 Advice on whether listed building consent is needed for works to listed buildings is available from the Conservation and Urban Design Team. The Council's development policies relating to listed buildings are contained in the UDP Policies EN38-40.

PH8 Additional guidance is included in Supplementary Planning Guidance and in the Government's Planning Policy Guidance Note 15 - Planning and the Historic Environment. A separate Council leaflet is available on Listed Buildings.

Listed Buildings.

PH9 Cleaning or repainting the facade of a building may require listed building consent. Many listed buildings within this Conservation Area have soot-blackened brickwork and distinctive painted surfaces including stucco, joinery and metalwork. The cleaning of brickwork and changes in colour of painted surfaces can have a significant impact upon the character of a listed building or group of listed buildings and in some cases may be unacceptable.

MATERIALS AND MAINTENANCE

PH10 In all cases, existing/original architectural features and detailing characteristic of the Conservation Area should be retained and kept in good repair, and only be replaced when there is no alternative, or to enhance the appearance of the building through the restoration of missing features. Original detailing such as door/window pediments and finials, porches, ironwork (window cills, railings), timber framed sash windows, doors, tiled footpaths, roof slates and tiles, decorative brickwork, timber shopfronts, where retained, add to the visual interest of properties. Where these features have been removed, replacement with suitable copies will be encouraged.

PH11 The choice of materials in new work is important and will be the subject of control by the Council. Original, traditional materials should be retained wherever possible and repaired only if necessary. Generally routine and regular maintenance such as unblocking of gutters and rainwater pipes, the repair of damaged pointing, and the painting and repair of wood and metal work will prolong the life of a building and prevent unnecessary decay and damage. Where replacement is the only possible option, materials should be chosen to closely match the original. Generally the use of the original (or as similar as possible) natural materials will be required, and the use of materials such as concrete roof tiles, artificial slate and PVCu windows would not be acceptable.

PH12 Original brickwork should not be painted, rendered or clad unless this was the original treatment. Such new work, whilst seldom necessary, can have an unfortunate and undesirable effect on the appearance of the building and Conservation Area. It may lead to long term structural and decorative damage, and may be extremely difficult (if not impossible) to reverse once completed. Re-pointing should match the original mix and profile as it can drastically alter the appearance of a building (especially when "fine gauge" brickwork is present), and may be difficult to reverse.

PH13 Where replacement materials are to be used it is advisable to consult with the Council's Conservation & Urban Design Team, to ensure appropriate choice and use.

REAR EXTENSIONS/CONSERVATORIES

PH25 Extensions and conservatories can alter the balance and harmony of a property or of a group of properties by insensitive scale, design or inappropriate materials. Some rear extensions, although not widely visible, so adversely affect the architectural integrity of the building to which they are attached that the character of the Conservation Area is prejudiced.

PH26 Rear extensions should be as unobtrusive as possible and should not adversely affect the character of the building or the Conservation Area. In most cases such extensions should be no more than one storey in height, but its general effect on neighbouring properties and Conservation Area will be the basis of its suitability.

PH27 Extensions should be in harmony with the original form and character of the house and the historic pattern of extensions within the terrace or group of buildings. The acceptability of larger extensions depends on the particular site and circumstances.

PH28 Rear extensions will not be acceptable where they would spoil an uniformed rear elevation of an unspoilt terrace or group of buildings.

PH29 Side extensions will not be acceptable where they are unduly prominent, unbalance the composition of a building group, or where they compromise gaps between buildings through which views are afforded of other properties, rear gardens, mature trees, or the Regent's Canal.

PH30 Conservatories, as with extensions, should be small in scale and subordinate to the original building and at ground floor level only. The design, scale and materials should be sensitive to the special qualities of the property and not undermine the features of original building.

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BASEMENT LIGHTWELLS, RAILINGS AND VAULTS

PH38 The majority of properties within the Conservation Area have lightwells surrounded by railings to the front elevation. A number of villa properties also have lightwells surrounded by railings to the side elevations. Where original lightwells, railings and vaults exist, these should be retained. Where altered or lost, the Council will seek the reinstatement of these features.

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PH42 Infill of the basement area beneath the entrance bridge may be acceptable where this is an established characteristic of the building group. Infill structures should be recessed beneath the entrance bridge arch and should be simply detailed for minimum visual impact.

APPENDIX 2

DECISIONS ANALYSIS - APPLICATIONS FOR REAR EXTENSIONS, CONSERVATORIES AN INTERNAL ALTERATIONS AT 1-22 REGENTS PARK TERRACE

Application Number	Street No.	Development Description	Decision Type	Decision Date	Decision
11/CP/10144	1	New installation (New Build).	BR	10.11.11	Granted
11/CP/10541	1	New installation (New Build).	BR	18.11.11	Granted
11/5/0691	1	Minor structural alterations and refurbishment of existing dwelling.	BR	19.4.12	Granted
14/1/03658	1	Conversion of existing garage to habitable accommodation by way of excavation to 1.4m deep and raising the roof level to achieve two-storey building.	BR	8.7.15	Granted
2011/1078/P	1	External alterations including new roof covers, relocation of door and window at basement level and any associated refurbishment to dwelling.	TP	28.4.11	Granted
2011/0940/L	1	External and internal alterations including new layout, re-instatement of original features, new roof covers, relocation of door and window at basement level and any associated refurbishment to dwelling.	TP	28.4.11	Granted
J11/12/9/12316	2	Erection of an extension at the rear of the first floor.	TP	8.3.72	Granted
2005/5326/L	2	Internal alterations at basement, ground and second floor levels, including removal and insertion of internal partitions to dwellinghouse.	LBC	20.3.06	Granted
06/1/0637	2	To remove lower walls and support with new steelwork and concrete foundation.	BR	2.4.07	Granted
11836	4	Erection of a rear extension to form a new bathroom at first floor level.	TP	3.12.71	Granted
L9603155	4	Internal and external alterations including the installation of French doors to the rear extension. As shown on Drawing	LBC	10.3.97	Granted

		Nos RPT-2, 3, 4, 5, 6 and 7.			
97/1/0024	4	Alterations and repairs.	BR	2.4.97	Granted
2015/1024/L	4	Internal and external alterations associated with the erection of a single storey rear extension at lower ground floor level.	LBC	6.5.15	Granted
2015/0726/P	4	Erection of a single storey glazed rear extension at lower ground floor level.	TP	6.5.15	Granted
2016/2425/L	6	Removal of non-original partition at top of basement stairs in connection with conversion of 2x flats to form 1x single-family dwellinghouse.	LBC	8.6.16	Granted
2016/3393/L	6	Double height rear conservatory (lower ground and upper ground floor level) with upper ground floor level external balcony and steps to garden level; internal alterations.	LBC	12.8.16	Granted
2016/1531/P	6	Conversion of 2x flats (1x 1-bed & 1x 4-bed) to form 1x single-family dwellinghouse (5-bed).	TP	8.6.16	Granted
2016/3302/P	6	Double height rear conservatory (lower ground and upper ground floor level) with upper ground floor level external balcony and steps to garden level.	TP	12.8.16	Granted
2016/5735/L	6	Double height rear conservatory (lower ground and upper ground floor level, with new upper ground floor level internally); relocation of upper ground floor level external balcony and steps to garden level; alterations to openings; new skylights to main roof; various internal alterations, including installation of under floor heating.	LBC	4.1.17	Refused
2016/5642/P	6	Double height rear conservatory (lower ground and upper ground floor level, with new upper ground floor level internally); relocation of upper ground floor level external balcony and steps to garden level; alterations to openings; new skylights to main roof.	TP	4.1.17	Refused
02/1/0575	7	Refurbishment including small	BR	30.09.02**	?

		rear extensions.			
2016/1126/L	7	Double height rear conservatory (lower ground and upper ground floor level) to replace existing single storey rear conservatory; replacement first floor conservatory; internal alterations	LBC	31.5.16	Granted
2016/0595/P	7	Double height rear conservatory (lower ground and upper ground floor level) to replace existing single storey rear conservatory; replacement first floor conservatory.	TP	31.5.16	Granted
8903614	8	Construct conservatory at first floor level to rear of building as shown on 007/C/1 007/C/2 and letter dated 16.03.90.	TP	25.4.90	Granted
8970512	8	To construct a conservatory at first floor level at the rear of the building as shown on drawing nos 007/C/1 and 007/C/2.	LBC	25.4.90	Granted
9070449	8	Approval of details of new conservatory pursuant to Condition 03 of Listed Building Consent (HB/8970512) granted 03.05.90.	LBC	18.7.90	Granted
PE9800176R1	8	Erection of a conservatory extension at rear basement floor level together with associated internal alterations. As shown on drawing Numbers: RP/01-03 inc., RP/04A, 05, 06A, RP/07-09.	TP	29.5.98	Granted
LE9800177R1	8	Erection of a conservatory extension at rear basement floor level together with associated internal alterations. As shown on Drawing Numbers: RP/01-03 inc. RP/04A, 05, 06A, and RP/07-09.	LBC	29.5.98	Granted
98/1/0448	8	Insertion of steel box frame in basement.	BR	5.2.99	Granted
94/1/0117	9	Refurbishment of basement kitchen	BR	1.6.94	Granted
94/1/0118	9	Fit out new kitchen & library ground floor.	BR	1.6.94	Granted
	10	A list of all Decisions is included in the Appendices of the Statement of Heritage Significance for this building.			

2006/1313/L	11	Revision to planning permission dated 20th April 2005 (ref 2005/0471/P; which granted consent for the erection of two-storey glazed rear extension, refurbishment of existing property including alterations to front and rear elevations and the installation of a roof light) involving amendments to the design of the rear extension.	LBC	11.5.06	Granted
2006/1311/P	11	Revision to planning permission dated 20th April 2005 (ref 2005/0471/P; which granted consent for the erection of two-storey glazed rear extension, refurbishment of existing property including alterations to front and rear elevations and the installation of a roof light) involving amendments to the design of the rear extension.	TP	11.5.06	Granted
2009/0051/P	11	Replacement of the timber-framed door and window of the conservatory extension at rear lower ground floor of the dwelling house with a powder-coated aluminium-framed door and window.	TP	12.2.09	Granted
06/1/0486	11	Refurbishment and alterations.	BR	21.5.07	Granted
10/5/1518	11	Internal refurbishment.	BR	14.12.11	Granted
2005/0473/L	11	Erection of two-storey glazed rear extension, refurbishment of existing property including alterations to front and rear elevations and the installation of a roof light.	LBC	20.4.05	Granted
2010/2053/L	11	Internal additions and alterations to include two new fire surrounds and opening of original fire flues, new floor finish, working shutters /panelled reveals to study window and enlargement of double door opening at first floor level and external works to include hard wood decking to first floor external terrace and installation of air bricks to rear elevation of single dwelling house.	LBC	24.6.10	Granted

J11/12/02628	11	To erect a single-storey extension to the existing rear addition in order to provide an additional bathroom/w.c. apartment.	LBC	24.03.65	Granted
2005/0471/P	11	Erection of two-storey glazed rear extension, refurbishment of existing property including alterations to front and rear elevations and the installation of a roof light.	TP	20.4.05	Granted
LE9900994	12	The erection of a rear monopitch roof conservatory, and internal and external alterations to the listed building. As shown on drawing nos. S1-S5 and P1A-P5A (consec).	1.4.00	LBC	Granted
00/2/0676	12	Refurbishment & extension terraced dwelling house.	BR	14.6.01	Granted
LEX0001023	13	Erection of a single storey rear conservatory extension at basement level. As shown on drawing numbers: 919 S7, 919 T.P./C/01B; Photographs (919)A and (919)B.	LBC	7.7.01	Granted
PEX0001022	13	Erection of a single storey rear conservatory extension at basement level. As shown on drawing numbers: 919 S7, 919 T.P./C/01B; Photographs (919)A and (919)B.	TP	17.7.01	Granted
PEX0101018	13	The erection of a two storey rear extension at first and second floor levels, as shown by drawing numbers 919.A and B, 919 S.7, 919/ERA/TPL, 919/ERA/TD2.	TP	16.4.02	Granted
LEX0101019	13	The erection of a two storey rear extension at first and second floor levels, as shown by drawing numbers 919.A and B, 919 S.7, 919/ERA/TPL, 919/ERA/TD2.	LBC	16.4.02	Granted
2010/5352/L	13	Minor internal amendments to listed building consent dated 05/07/2010 (ref: 2010:1997/L) at the lower ground floor to include the installation of the kitchen in the front room; retention of flank wall of the rear addition at the rear; installation of a WC under stairs; widening of the opening in the spine wall; formation of a new opening between the	LBC	20.12.10	Granted

		corridor and front room and; relocation of the approved bathroom from the front room to the corridor.			
03/2/0262	13	Vertical extension (2 floors) on existing two storey back addition and new conservatory at basement level.	BR	7.7.04	Granted
04/1/0035	13	New floor on existing extension.	BR	9.7.04	Granted
10/2/1544	13	Alterations to structure ground & lower ground floors.	BR	20.5.11	Granted
2010/1997/L	13	Erection of two storey extension at lower ground and upper ground floor level to rear elevation following demolition of existing conservatory, installation of balcony and staircase at upper ground floor rear elevation with internal additions and alterations to include the enlargement of openings between rooms and installation of bathroom at lower ground floor, new flooring and panelling at ground floor, making good joinery at first floor and removal of partition walls at second and third floor level to existing house.	LBC	5.7.10	Granted
2011/0869/L	13	Details pursuant to condition 3a (2nd floor spine wall method statement and schedule of works), 3b (drawings of all new doors), 3c (drawings of new windows) and 3d (drawings of plaster cornicing and associated floor plans) of listed building consent 2010/1997/L decided 05/07/2010.	LBC	30.3.11	Granted
2010/1993/P	13	Erection of two storey extension at lower ground and upper ground floor level to rear elevation, installation of balcony and staircase on upper ground floor rear elevation with additions and alterations to include the installation of roof light and solar panel to butterfly roof of existing house (Class C3)	TP	5.7.10	Granted
PEX0100973	14	The erection of an extension at second floor level, as shown by drawing numbers 1949/R0/01/001B,002B, photographs and letter dated	APPEAL (TP)	8.3.03	Dismissed

		17th December 2001.			
LEX0100974	14	The erection of an extension at second floor level, as shown by drawing numbers 1949/R0/01/001B, 002B, photographs and letter dated 17th December 2001.	APPEAL (LBC)	8.3.03	Dismissed
LEX0200625	14	Erection of an extension on the first floor rear balcony to create study together with associated external alterations. (Plans submitted).	15.8.03	LBC	Refused
PEX0200624	14	Erection of an extension on the first floor rear balcony to create study together with associated external alterations. (Plans submitted).	30.3.04	TP	Refused
9301203	15	The erection of a single-storey rear extension and a second floor rear extension; alterations to the front basement area. as shown on drawing no(s) 9375/01 02 03 20C 21B 22A as revised on 21.02.94	28.4.94	TP	Granted
9370192	15	The erection of a single storey rear extension and a second floor rear extension; alterations to the front basement area; internal alterations. as shown on drawing no(s) 9375/20C 21B 22A as revised on 21.02.94.	28.4.94	LBC	Granted
93/2/0729	15	Front and rear extension. various internal alterations.	BR	31.1.95	Granted
8470210	15	Works of alteration to upgrade 16 doors to half-hour fire rating by lining them on the room side and the separation of the basement and the second floor level by half-hour fire partitions as shown on your submitted drawing numbered 189/01 and submitted schedule.	LBC	3.10.84	Granted
8470211	16	The removal of non-load bearing internal walls on the second and third floors and the installation of a new layout of rooms by the erection of new partitions as shown in drawing numbers RPT-001 002 003A 007C 008A and 009A.	LBC	12.9.84	Granted
2013/5543/L	17	Replacement of rear external	LBC	20.11.13	Granted

		staircase from ground floor to garden level to dwelling.			
2013/5505/P	17	Replacement of rear external staircase from ground floor to garden level to dwelling.	TP	20.11.13	Granted
13/5/06987	17	Refurbishment.	BR	23.4.14	Granted
2013/2622/L	17	Internal alterations to include alterations to partitions at all levels, external alterations to include addition of opening on rear elevation at lower ground level, installation of 2 x roof lights to single dwelling house.	LBC	19.7.13	Granted
2013/2525/P	17	Internal alterations to include alterations to partitions at all levels, external alterations to include addition of opening on rear elevation at lower ground level, installation of 2 x roof lights to single dwelling house.	TP	19.7.13	Granted
TP81999/5159	18	The carrying out of alterations and the conversion of the basement into a self-contained flat.	TP	25.7.58	Granted
8570061	18	Internal and external alterations in connection with the change of use to 2 self-contained maisonettes. The construction of a small conservatory at the rear of the basement flat and the installation of a spiral staircase at the rear of the building between the ground floor and the basement.	LBC	25.4.85	Granted
8500354	18	Change of use including works of conversion from a single-family dwelling house to a self-contained maisonette on the ground floor and basement and a self-contained maisonette on the upper floors. The construction of a conservatory at the rear of basement.	TP	25.4.85	Granted
8770043	18	Minor internal works including removal of walls from basement enlargement of window in rear extension and erection of new conservatory at ground floor level as shown on drawing numbers 3601 and 3602.	8.4.87	LBC	Granted

10/1/0551	18	Basement and ground floor refurbishment.	BR	10.3.10	Granted
09/5/0396	18	Internal alterations including works to basement, garden room, creation of a new utility room and replacement of external stair.	BR	27.2.12	Granted
TP81999/5159	18	The carrying out of alterations and the conversion of the basement into a self-contained flat	LBC	25.7.58	Granted
2006/3025/L	18	Erection of single-storey extension at basement level with terrace above, rear extension at second floor level including internal and external alterations to single-family dwelling house following removal of conservatory and spiral staircase.	LBC	5.10.06	Refused
2008/1209/L	18	Internal alterations to the dwellinghouse (C3 use class) including creation of new opening and opening up of window between tv room and garden room.	LBC	14.5.08	Granted
2008/4573/L	18	Alterations and additions to single dwelling house, including the erection of a two storey rear extension, erection of new staircase from rear ground floor to garden (following the demolition of a single storey rear conservatory and rear spiral staircase), installation of balustrading to rear first floor level flat roof, alterations to rear facade and internal alterations.	LBC	28.11.08	Granted
2006/3025/L	18	Erection of single-storey extension at basement level with terrace above, rear extension at second floor level including internal and external alterations to single-family dwelling house following removal of conservatory and spiral staircase.	LBC Appeal	16.7.07	Part Allowed
2006/3024/P	18	Erection of a single storey extension at basement level with terrace above, rear extension at second floor level and other external alterations to single-family dwelling house.	TP	2.10.06	Granted

2008/4488/P	18	Alterations and additions to single dwelling house, including the erection of a two storey rear extension, erection of new staircase from rear ground floor to garden (following the demolition of a single storey rear conservatory and rear spiral staircase), installation of balustrading to rear first floor level flat roof and alterations to rear façade.	TP	28.11.08	Granted
8570297	19	Internal and external alterations including the erection of a conservatory at basement level and a small lean-to garden shed to the rear of the basement as shown on drawing nos. RPT/19/002/A B C 501/D and 006/D.	LBC	8.12.85	Granted
03/1/0466	19	Internal refurbishment, including structural work to basement and top floor, and re-configuration of bathrooms and additional WC.	BR	30.11.04	Granted
2003/0747/L	19	Internal and external refurbishment and alterations plus the construction of a rear conservatory extension at first floor level.	LBC	20.10.03	Granted
2003/0746/P	19	Construction of a rear conservatory extension at first floor level.	TP	20.10.03	Granted
HB2066	20	Erection of a two-storey extension, alterations to second floor window at the rear, and internal alterations.	TP	14.2.79	Granted
27496	20	Erection of a two-storey rear extension.	TP	14.2.79	Granted
2012/0929/P	20	Amendment to planning permission granted on 19/02/11 (Ref: 2011/3281/P) for erection of replacement two-storey glazed structure at rear basement and ground floor, installation of French doors and new access platform with spiral stairs at rear ground floor level, and insertion of new door in front basement lightwell all in connection with existing dwelling (Class C3), namely to alter doors, windows and material of two-storey	TP	11.4.12	Granted

		structure at rear basement and ground floor.			
2012/0005/L	20	Amendment to listed building consent granted on 19/02/11 (Ref: 2011/3283/L) for erection of replacement two-storey glazed structure at rear basement and ground floor, installation of French doors and new access platform with spiral stairs at rear ground floor level, and insertion of new door in front basement lightwell all in connection with existing dwelling (Class C3), namely to alter doors, windows and material of two-storey structure at rear basement and ground floor and internal alterations including modification to partitioning and lowering floor level 50mm at lower ground floor.	LBC	11.4.12	Granted
12/5/01100	20	Internal alterations, refurbishment and extension of existing dwelling.	BR	23.7.12	Granted
2011/3283/L	20	Erection of replacement two-storey glazed structure at rear basement and ground floor, installation of French doors and new access platform with spiral stairs at rear ground floor level, and insertion of new door in front basement lightwell and internal alterations all in connection with existing dwelling.	LBC	19.9.11	Granted
2011/3281/P	20	Erection of replacement two-storey glazed structure at rear basement and ground floor, installation of French doors and new access platform with spiral stairs at rear ground floor level, and insertion of new door in front basement lightwell all in connection with existing dwelling.	TP	19.9.11	Granted
8570106	21	Internal and external alterations in connection with the continued use as a self-contained flat in the basement and a self-contained maisonette on the ground first second and third floors; including the erection of a conservatory at the rear of the basement as shown on drawings nos 01, 02, 3B, 4b, 5b, 6 revised on 12th June	LBC	3.7.85	Granted

		1985.			
8500545	21	Alterations in connection with the continued use as a self-contained flat in the basement and a self-contained maisonette on the ground first second and third floors including the erection of a conservatory at the rear of the basement as shown on drawing nos. 01 02 03B 04B.	TP	3.7.85	Granted
8470172	22	Alteration to lower half of double hung sash window to give access to balcony over porch as shown in drawing number 188/01a.	LBC	28.8.84	Granted

Source: LB Lambeth website. Data captured 16.01.2017 & 19.01.2017

Notes

BR = Building Regulation Applications

TP = Planning Applications

LBC = Listed Building Consent Applications

Building Regulations Dates - completion dates

** Commencement - no completion date

The above online decisions analysis has been carried out in order to assess how The London Borough of Lambeth applies national and local policies in practice to rear extensions and internal alterations. It should not be used for any other purpose. Whilst every effort has been made to ensure its accuracy, no liability is accepted for any errors or omissions.

Due to the vagaries of the Council website's keyword search facility and data input, it cannot be guaranteed that every decision has been captured by the search. Withdrawn applications have been omitted. The reasons for refusal of Planning Permission may not be for conservation reasons and the Decision Notices and officers' reports should be inspected.