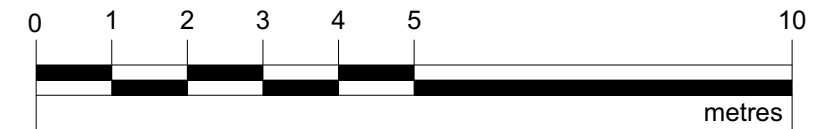


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04.6 / Street Scene

The street scene of the site is dominated by the trees and hedges which front onto Redington Gardens. The existing front boundary wall will be retained to preserve the continuity along the street. All existing trees on the frontage will also be retained. The raised roof has been brought level with the neighbouring terrace's ridge height of No's 18-22. The proposed new level will still be subservient to the ridge height of the mansion block at No.15. The angle of slope on the proposed new roof and the materials proposed will match those on the existing roofs of both dwellings. The only change in the new proposals will be the replacement of the overhanging eaves detail for a parapet wall upstand detail.



04/

04.7 / Elevation - Front

The Front elevation shows the changing language of the dwelling; the façade has been defined through the use of materials to get a distinct area of fenestration or massing. This definition of the spaces better proportions the elevation over what is existing, and incorporates the additional brickwork needed to create the parapet wall. The adjoining area of No.17 to No.18 has been maintained at the existing level, with a small dormer which is set away from the frontage to allow for the staircase to access the second floor. Two skylights have also been introduced on the roof frontage, which are of a similar scale to the ones used on No.15, and No.20, to provide daylight into the EnSuite and dressing room. The existing window layout will be maintained.

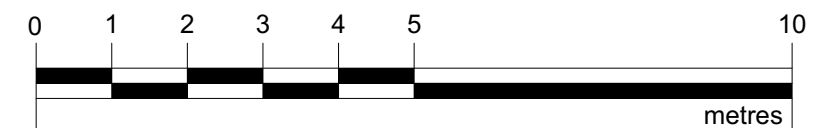
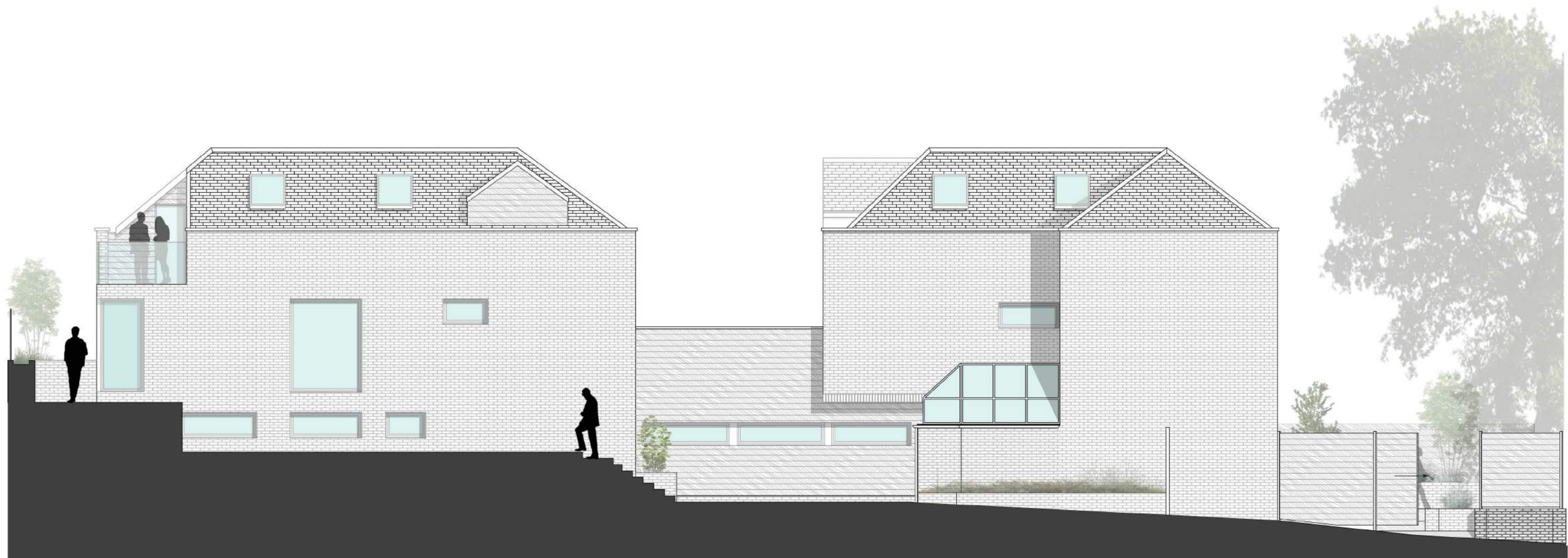


04/

04.8 / Elevation - Side

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This elevation shows at No.17 the introduction of two skylights which feed daylight into to the Master bedroom. The dormer window on the side of the house is also visible. The position of this dormer window, and the skylights, has been designed to limit any overlooking onto both neighbouring properties. The elevation also shows the conversion of the garages into a solid wall with high level windows to match the existing, these will be obscure glazing. This area will be clad in timber to creation a defined façade within the courtyard. On No.16 there are also two skylights introduced as well as a balcony, and a dormer. The balcony is at the corner point of the floor plan to reduce overlooking into the rear gardens of the properties on Redington Road, and into No.15 Redington gardens. The dormer has its windows located to top to maximise the daylight entering the space, and to remove any overlooking. The fenestration positions are as existing, only the window at 1st floor has been made into a floor to ceiling window.

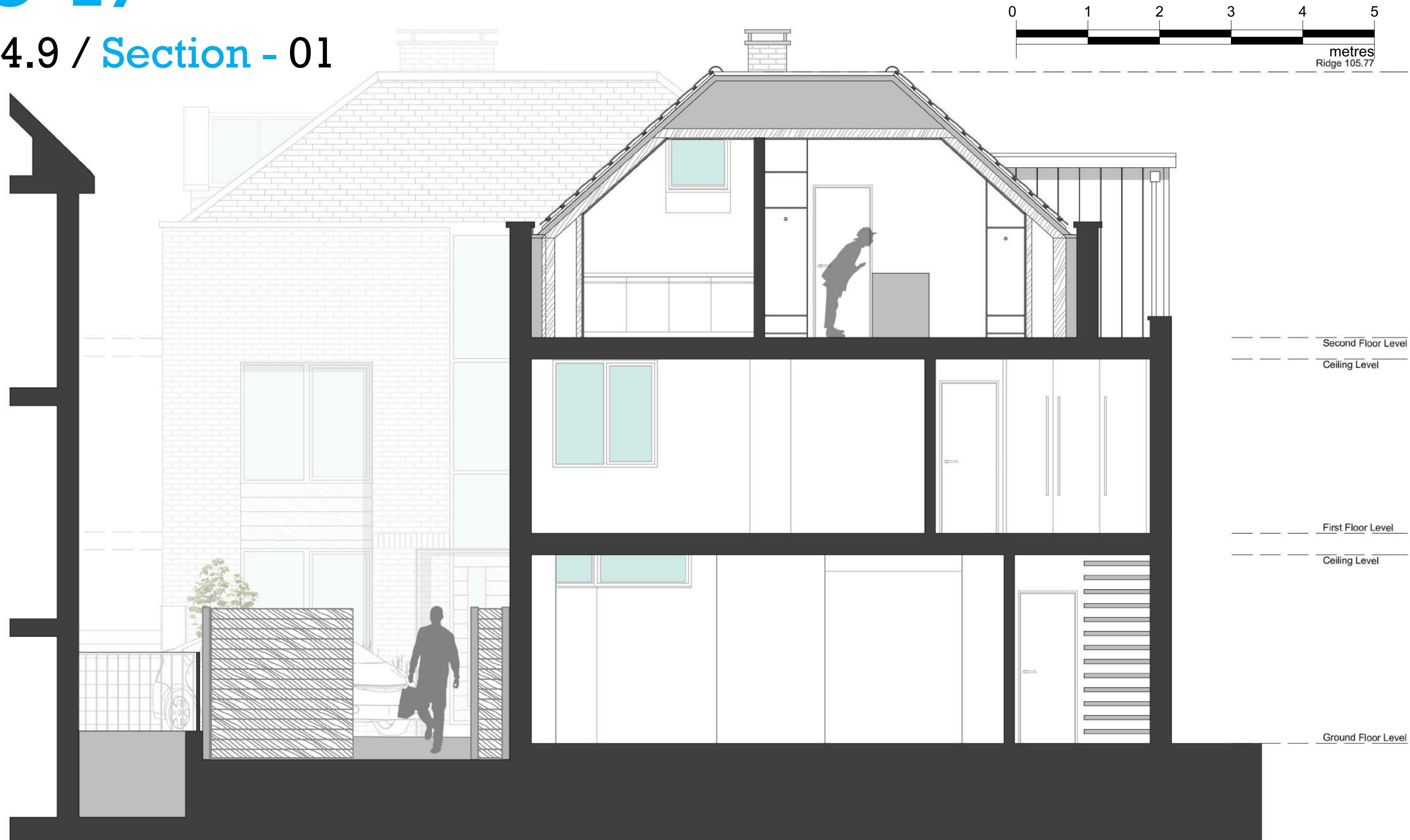


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04.9 / Section - 01

This section shows the relationship between the raised roof and the floor levels throughout the property.

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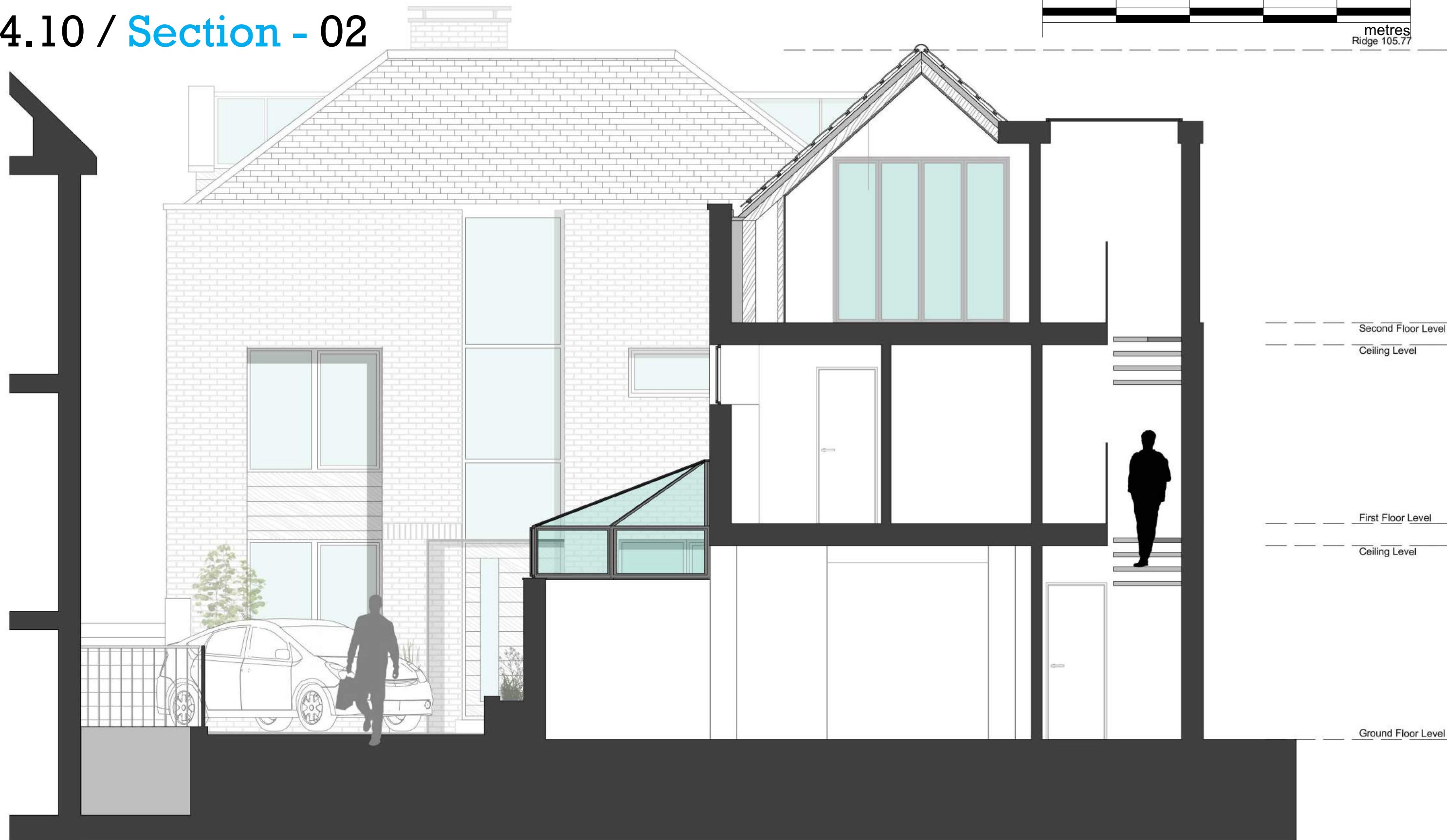
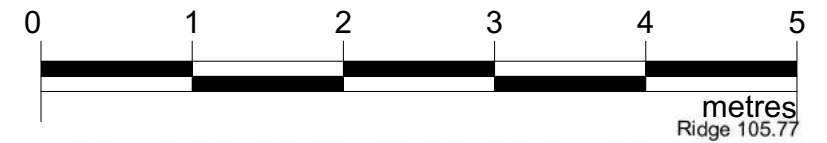


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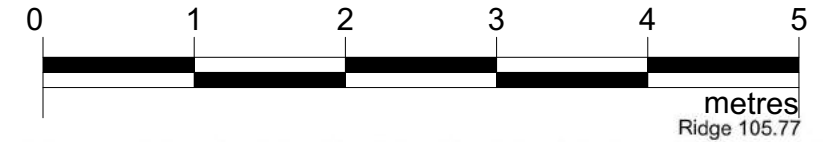
04.10 / Section - 02

Section 02 shows the need to create the dormer above the staircase. The window will be located in the flat roof of the dormer to provide light down into the hallway of the second and first floor. The walls of the dormer will all be solid, as the dormer faces a dormer on No.18.

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Section 03 shows the front elevation of No.16. The garage door has been replaced with a large window to get light into the new proposed gym. The same window is proposed on the opposite side of the door. Above that window is timber cladding which mimics the language of the elevation of No.17. Above the door a strip of glazing has been introduced to get light into the hallways of the house.

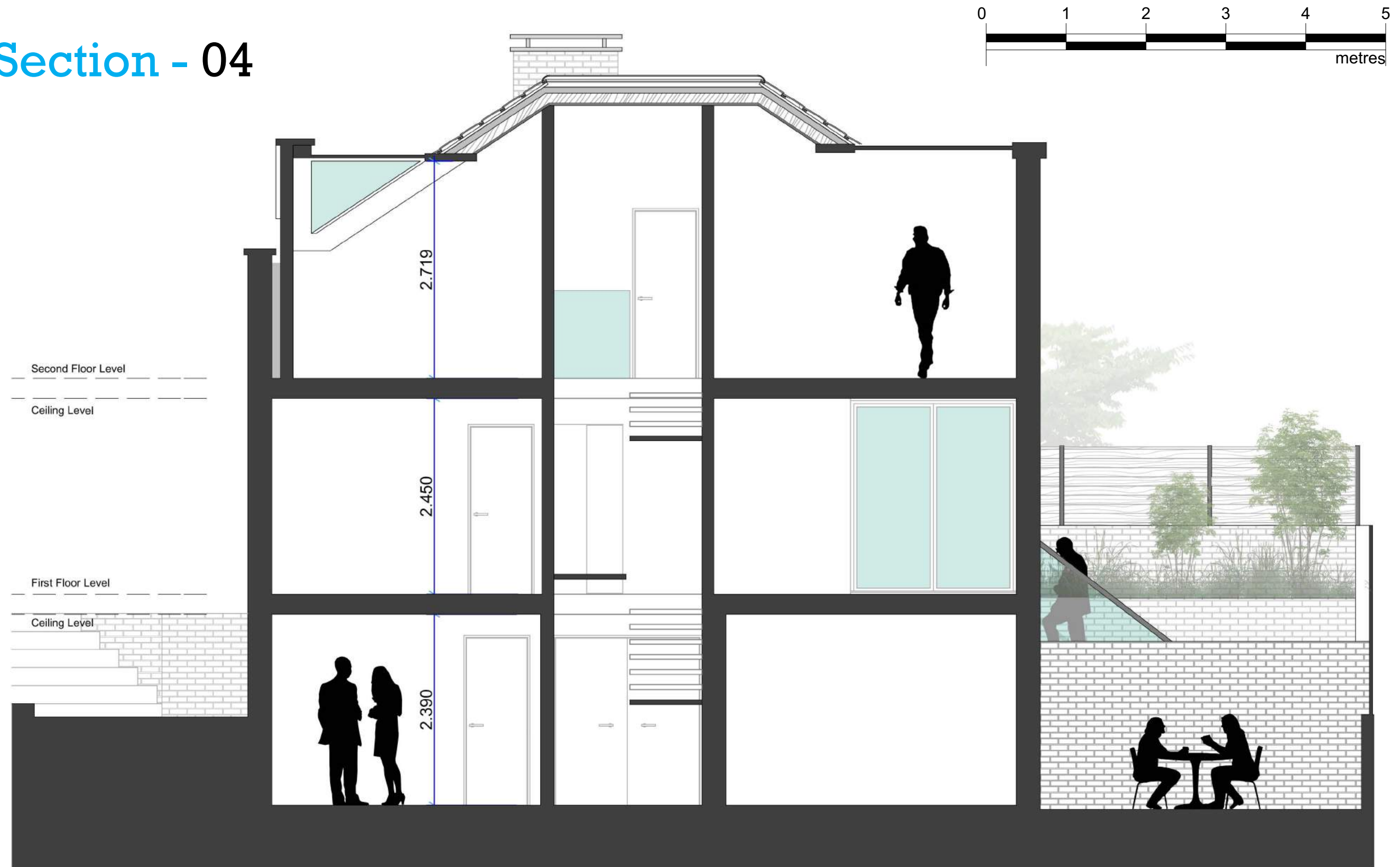


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04.12 / Section - 04

Section 04 shows both the dormers on either side of No.16 have the windows positioned in the roof to maximise the amount of natural light getting in to the spaces whilst still protecting the privacy of the neighbours amenity.

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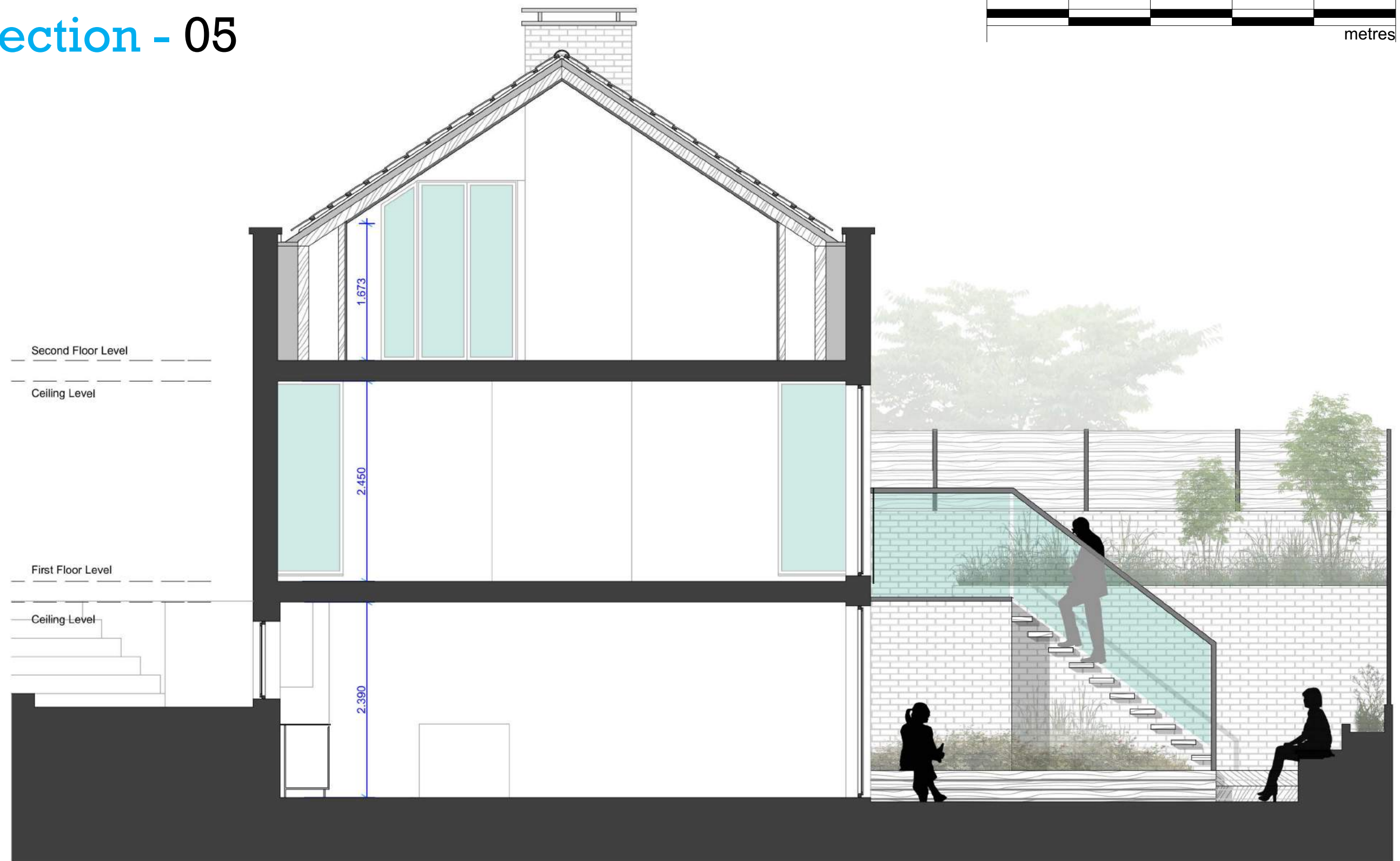
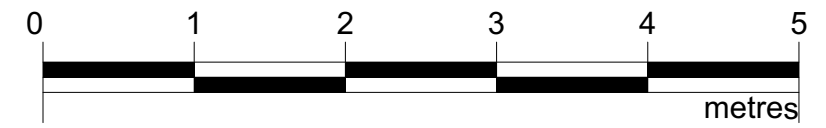


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04.13 / Section - 05

Section 05 shows the further improved garden at the south west corner of the site, which allows for a better use of the amenity space on the site for the occupants of No.16

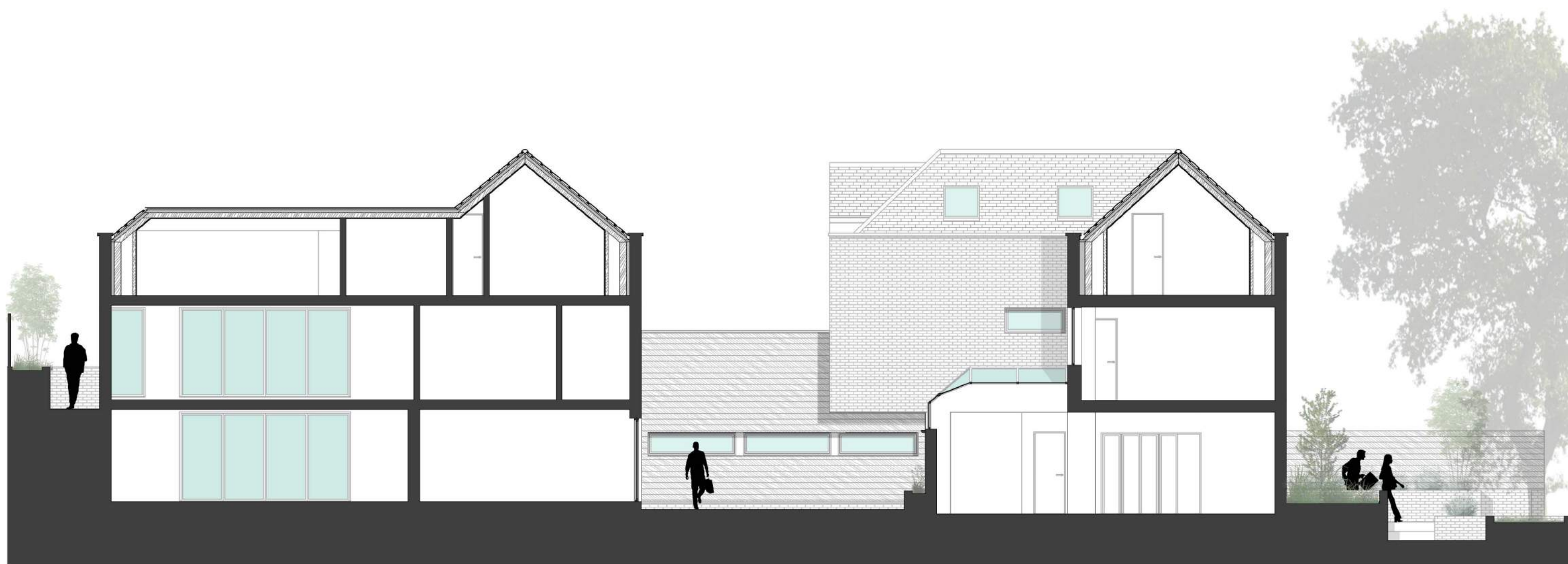
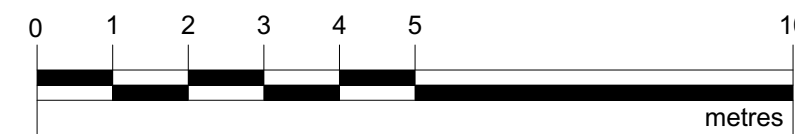
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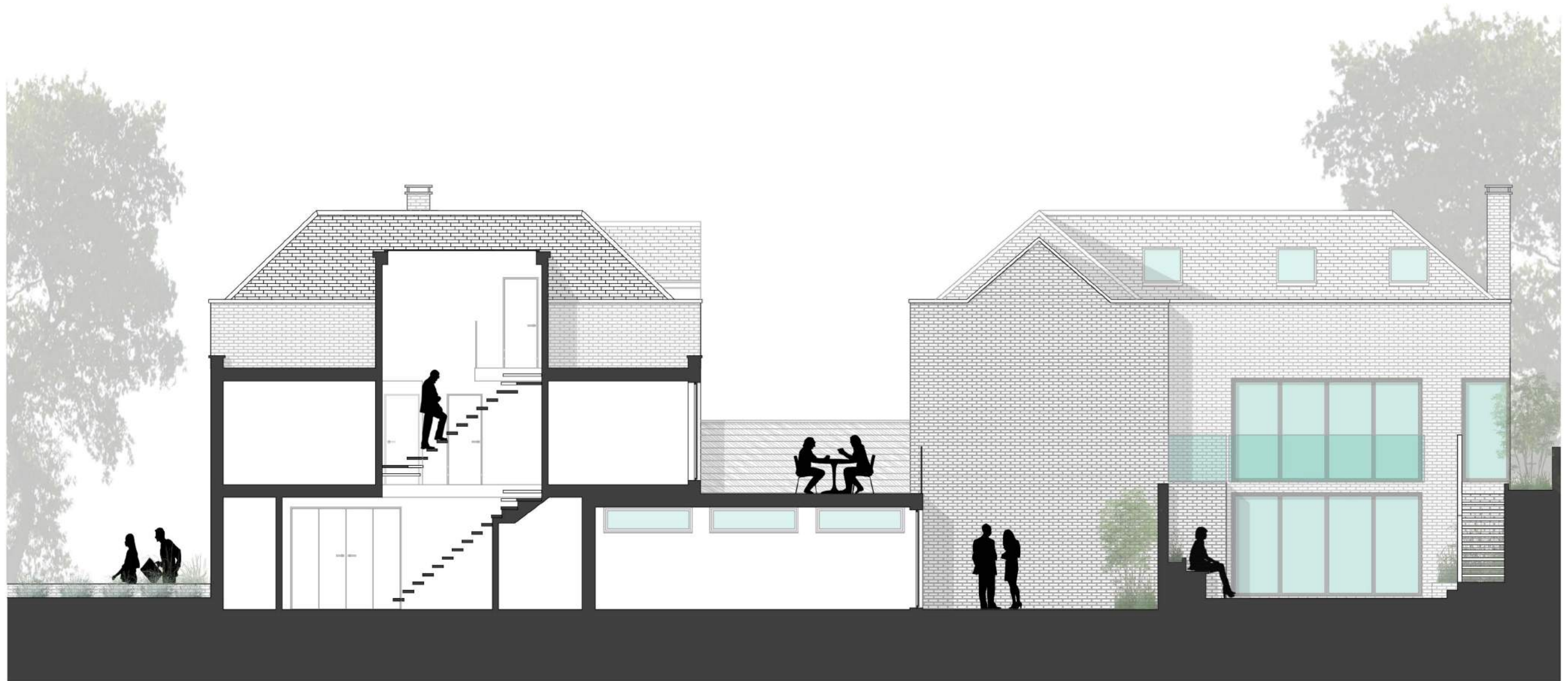
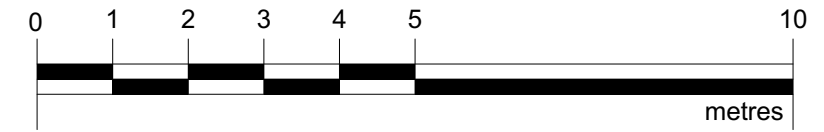
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04.14 / Section - 06

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Section 07 shows the scale of the dormer window at No.17, and its limited size relative to the rest of the dwelling. At No.16 the window layout has been changed to exploit the southerly aspect and gain as much natural light as possible into the rooms. These spaces are hidden from view of the neighbours by the existing high level boundary treatment established in the rear garden of No.18.



05.1 / Visuals - Streetview



05/

05.2 / Visuals - Overhead view 1



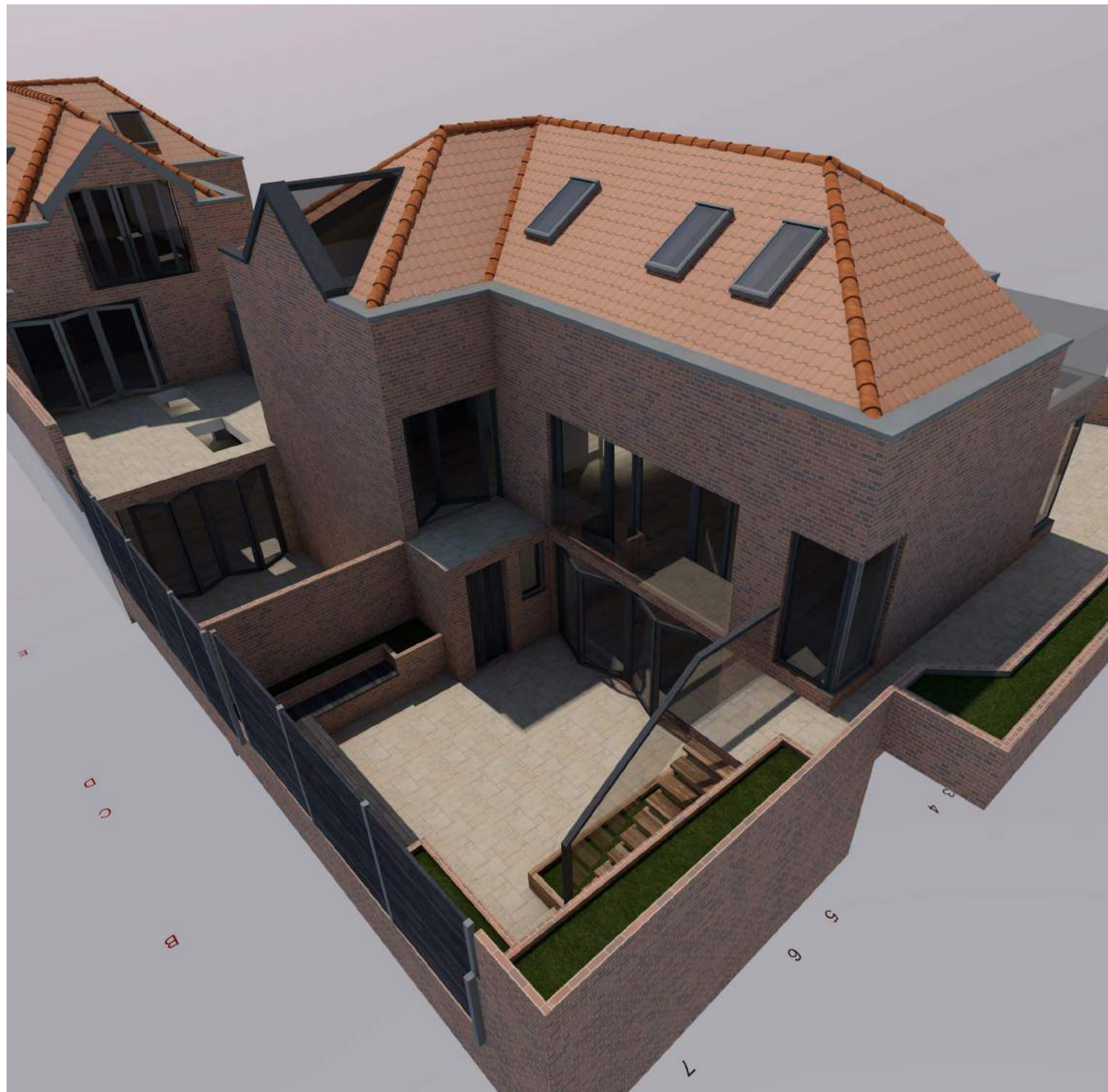
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05.3 / Visuals - Overhead view 2



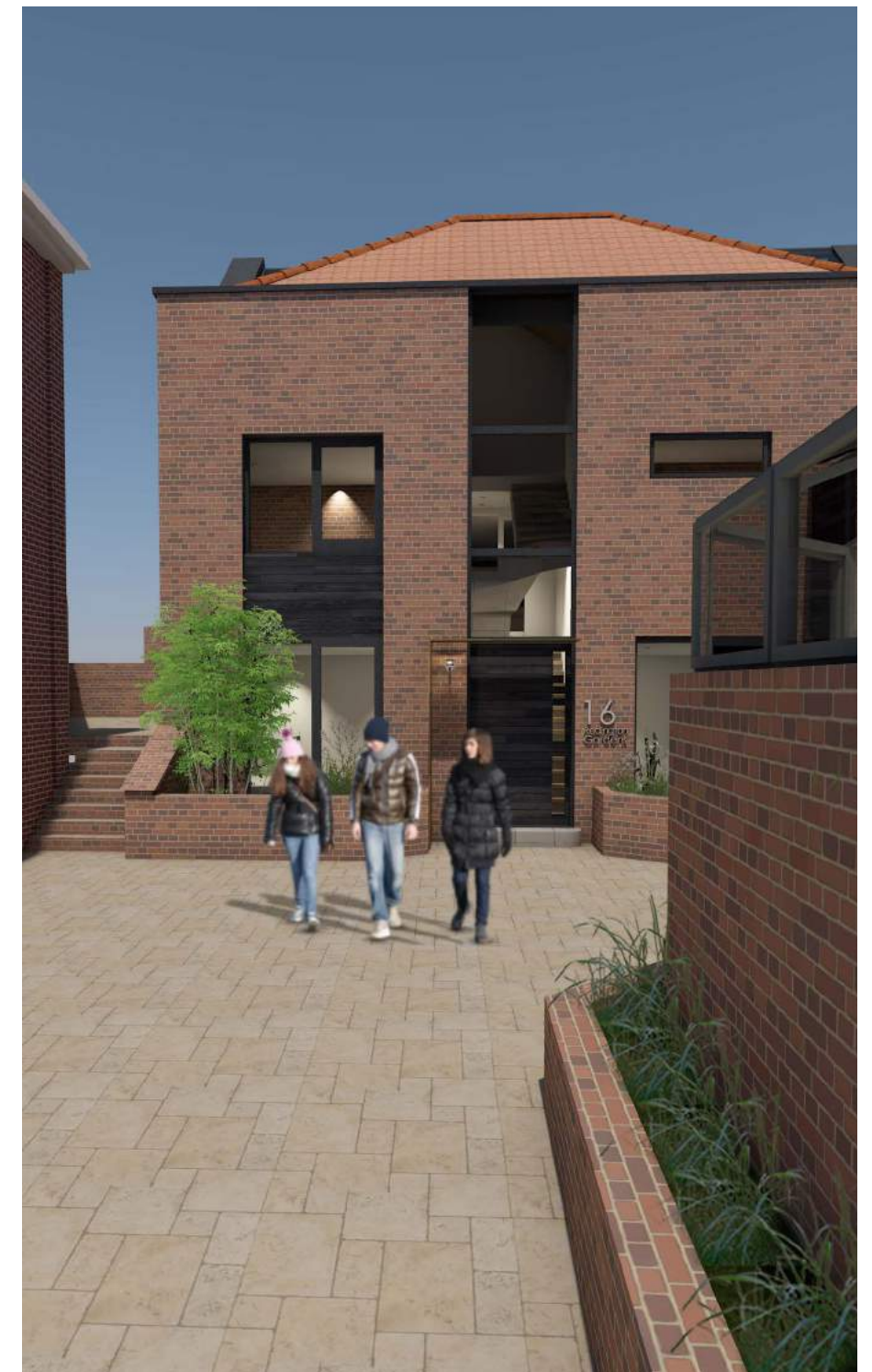
05/

05.4 / Visuals - Multiple views



05/

05.5 / Visuals - Multiple views



06.1 /Materials

The material palette for the proposal has been kept deliberately minimal to allow form of the building to sit quietly within the conservation area. The aim is to accentuate the potential of the existing brickwork and form of the buildings. The current palette of brown windows and extensive use of red brick which does not match either of the neighbouring building significantly ages the dwellings and detracts from the quality of the surrounding area.

Clay tiles

The roof tiles will be new but will match the existing roof tiles on the dwelling, as well as those in the street.

Brickwork

The existing brickwork will be maintained. Where new brickwork is installed for the new parapet wall, a brick matching company will be consulted to ensure compatibility of old and new. The bricks, once installed, will then be suitably weathered to match the existing, preserving and enhancing the character of the conservation area.

Windows

The existing single glazed brown stained softwood framed windows have deteriorated over the years, and now detract from the overall appearance of the dwellings.

All the windows throughout the dwellings will be replaced with modern high quality double glazed units in thermally broken aluminium frames for improved energy conservation.

The proposed new window frames and timber cladding are anthracite grey, and will contrast with the brickwork providing clarity of form and visual interest to the façade.



Timber Cladding

Dark stained timber cladding compliments the window frames, unifying upper and lower window areas and providing clear contrast with the existing brickwork defining the facades in a more contemporary style.

The stained timber cladding is also used in small areas of external detailing to highlight new features such as the cheeks of dormer windows, and the external wall link between individual dwellings within the open courtyard.

Porch

Each of the dwellings currently lacks a covered outdoor entrance. We propose to add freestanding minimal metal sculpted forms to provide the necessary shelter at the main entrance to each dwelling.

Driveway

The existing driveway is finished in the same red brick used on the facades of each dwelling. This brick finish has deteriorated over the years. It is proposed to remove the brickwork on the driveway and replace it with a SUDS paving better suited for modern day vehicular standards. The same SUDS paving will be used in the private landscaped areas.

06.2 /Energy Statement

Orientation

The existing pattern and configuration of fenestration and internal room layouts does not make best use of the orientation of the site. The new proposal provides amenity space and new larger windows on the south side of No.16 with improved solar gain and increased daylight.

Carbon Footprint

A core issue in the proposal is the wish to minimise the environmental impact of the refurbishment in its construction and occupancy. Crawford Partnership have recently designed schemes with Eco Home ratings of 'Excellent' and strive to equal or better this standard for each and every proposal.

Windows

All windows in both dwellings will be replaced with modern double glazed aluminium framed windows, which will significantly improve the heat retention of the building. This will enable considerably improved levels of thermal comfort within the interiors and minimise energy loss.

Underfloor heating

The radiant heat output of underfloor heating delivers a balanced and evenly distributed temperature throughout the building. By operating at lower temperatures than conventional heating systems the same results can be obtained despite a lower energy input. This environmental benefit can result in a 20-25% reduction in CO2 emissions from heating and thus a long-term cost saving too.

Insulation

Where possible insulation will be upgraded within the wall structures. In the new roofs, high levels of insulation will be used to generate extremely low U Values which exceed the current regulations.

06.3 / Access Statement

Parking

Part M

The provision for offsite parking has been maintained. The current access into the site is quite tight for modern days so we have included a vehicle turntable in the rear to aid getting in and out. It is also proposed that a new parking space for No.17 is introduced. This allows for a separation of the two houses to create more private spaces.

The ground floor of both homes will have steps removed and the floors re-constructed to create level access across the interiors. The current proposal meets building regs, and it is our intention to develop the detailed design to exceed those standards which are appropriate to the refurbishment of the two houses.

Public transport

Hampstead is served by the northern line, in addition to numerous local bus service. Further bus routes operate along Finchley Road to the south west of the site.

Cycling

The London Cycle Network routes pass nearby the house. The proposal also includes for secure storage space for cycles.

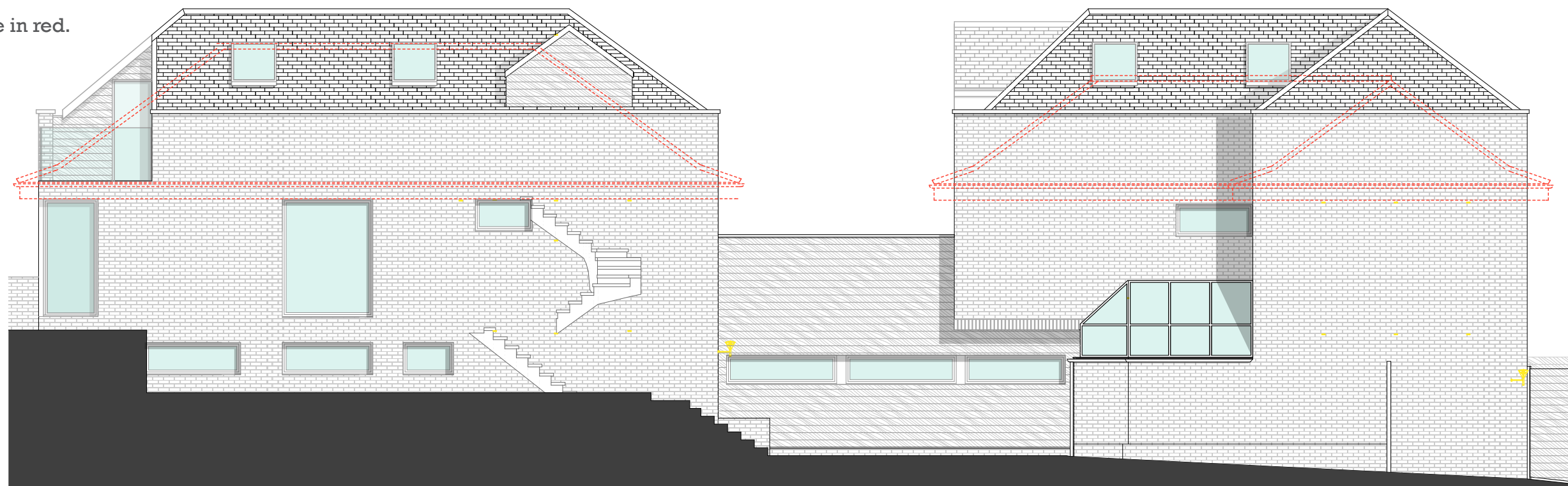
06.4 / Comparative Massing

Roof Height

The new proposed roof height has been taken from two sources; primarily the level of the pitched roof on the neighbouring property at No.18, secondarily from the previously approved planning application 2012/4880/C. The existing roof sits without relation to either No.15 or No.18 in the street and the new roof height proposes to better set it within its context. The design still maintains that the proposal remains significantly smaller than No.15, as a clear distinction between housing typology can be made on the street.

As can be seen in the supporting documents, the existing eaves overhang has been removed and replaced with a parapet wall. This negates the squat nature of the existing dwellings, and creates a modern design feature which enhances the building as a whole, therefore improving the context around it.

The image shows the existing roof line in red.



06.5 / Supporting Documents

Attached to this application are the supporting reports detailed below:

Heritage Statement

The original statement was commissioned for the previous planning application by our client Peter Steinberger. The site conditions and heritage aspects of the area have not changed and thus the report is still suitable for submission.

Daylighting study

The attached daylighting study relates to the previous submitted planning proposal commissioned by the client Peter Steinberger. Whilst the scheme is obviously different to what was previously approved the level of massing is comparable and thus the report is still giving accurate information about the lighting levels for the surrounding properties.

07/ Previous Projects

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07.1 / Camden Building Quality Awards 2005

Please find on the next 3 pages a small series a relevant work demonstrating our ability to delivery projects similar to this to an Award winningly standard.

New Dwellings

“An urban jewel” The demolition of garages and the erection of a three-storey terrace comprising four town houses each with integral garage space and roof terrace.

These new mews houses have been tastefully designed and built within a confined space. Design and construction techniques have been used to maximise space and light. The open plan houses are spacious and bright. The houses have been designed and constructed with families in mind. Durable quality materials have been used throughout to create modern family homes.



Building
Quality
Awards 2005
Camden

05
New Dwellings
Winner

Crown Place, NW5

Builder:
Architect:
Owner:
Nominator:

Mark It Build Ltd
The Crawford Partnership
Forest Walk Developments Ltd
Adam Thompson

07.2 /Haringey Design Awards 2012 : Best Home

Best Home

Our award winning designs are driven by a clear and concise philosophy that is concerned with maximising opportunities to create interesting spaces and forms that combine dramatic use of space, materials and light and address issues of sustainability and energy efficiency.

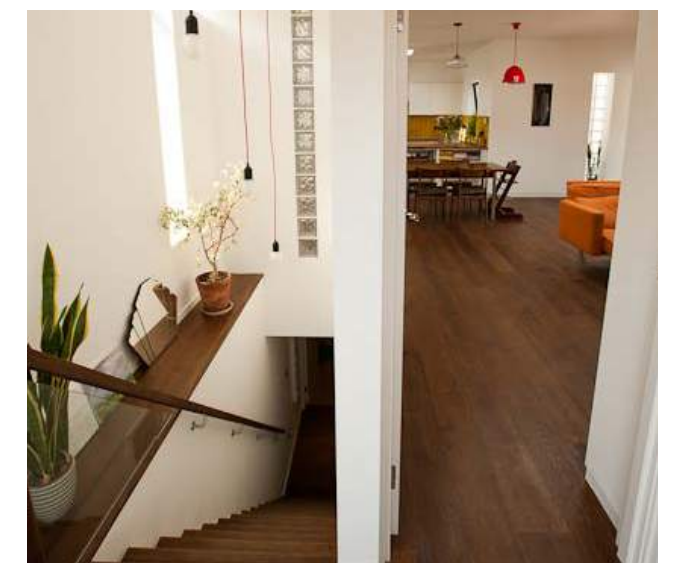
We have an established and growing reputation in creating unique designs for new houses on difficult Brownfield and urban infill sites in London. By weaving new dwellings within the existing urban fabric, adding amenity and substance that helps regenerate derelict and run down land or buildings, we can provide much needed new homes that enhance the lives of our clients.

Our work in Haringey is established, and In 2012, Crawford Partnership received an award of 'Best Home' in the Haringey Design Awards, and in April 2013, were successful in gaining planning consent for 4 new build contemporary style homes on a similar derelict lock up garage site.



'Last night, one of our recently completed new build 'signature' houses, aptly named The Light House, won the top accolade in The Haringey Design Awards 2012 'Best Home' category. Leading design critic and architectural journalist, Paul Finch, who presented the award as head of the Haringey Design Panel complemented the house for 'creating something from nothing, and in doing so providing a family home within a unique and challenging site that despite being only occupied for a short time, already felt like a home'. Congratulations are in order to the whole design and construction team, and in particular Alex Pickard from Crawford Partnership, who was project Architect and coordinated construction of the works on site. Special thanks also to our clients, Miki and Miriam, for their motivation and belief throughout that we could transform the derelict garages into a much loved family home.'

- Alan Crawford, July 2012



07.3 / Camden Design Awards 2013

People's Choice Award

Crawford Partnership has just won the acclaimed Camden Design Awards 2013: People's Choice Award. The design submitted was a project similar in size, concept and shape at the one we are actually submitting: The site is a typical backlands space leftover between the rear gardens of terraced houses, and formerly used as a builder's yard. Accessed from the main road, a gated undercroft leads to the 10 wide parcel of derelict land which was enclosed on all 4 sides by existing residential properties.

This client wanted to redevelop this urban 'brownfield' site for residential use with a small 'Mews' of terraced houses, similar in style to an earlier development completed by us at Crown Place Mews in Kentish Town.

Our designs provide a discreet and compact terrace of 3 storey houses within the new Mews environment with individual houses configured to maintain the amenity and privacy of neighbouring dwellings.

Each house is designed internally to create a bright and open plan feel, belying the compact space occupied and this is reinforced by the introduction of white walls and natural wood floors to maximise the light available.



crawford partnership | architecture interior design

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Interior Design