



## Heritage Statement

61 Neal Street

Grade Two Listed

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Listing statement (1973)

“Terraced house with later shop. C18 later, altered. Stucco with hipped, slated roof and dormer. 3 storeys and attic. 2 windows. C20 wooden shop front; house doorway to left with fanlight. Architraved sash windows and plain band at 2nd floor level. C20 cement parapet with cornice below. INTERIOR: not inspected.”

## Description

The building is now a small four storey terraced building, plus a basement. The Ground floor is used as a retail unit extending down to the basement level, with a small restrictive area for storage within the under-croft, below the pavement.

The front elevation is stucco rendered (originally possibly brick) with two vertically sliding timber sash windows on both the 1<sup>st</sup> and 2<sup>nd</sup> floors. There is a large hipped dormer window at attic/roof level with casement windows and a concealed parapet gutter behind the façade.

The roof is slate covered, with pitched roof and gable at rear. The slate roof was refurbished in the mid 2000. It was noted, at the time, that there are original quarter cut timbers (with carpenters marks) still in place forming some of the roof structure. Two original crossbeams are evident within the attic rooms.

Above ground floor the building is a residential property with independent access by way of a panelled front door and fanlight, to the left side of the elevation. A passageway behind, leads to an original staircase with double winders up to the first floor and above.

The 1<sup>st</sup> floor consists of two main rooms, one running the width of the property at the front and a second at the rear with interconnecting access doors and passageways, the staircase and landing. The second floor has a similar layout

The staircase then leads up to a third floor Attic room across the front of the building and a bathroom to the rear.

## Architectural/Historical Interests

The original building built in the mid 1700 would have been a terraced house over three floors with an attic/maids accommodation within the roof structure and a basement for coal storage and possibly kitchen (original fire/ hearth and breast in basement).

A small 19c external toilet is still in positioned in the rear yard area.

The front façade was altered at ground floor level with the introduction of a timber shop front during the 1930's this was later rebuilt following a fire during the early 1960's.

Cont'd over

The building has seen many small revisions throughout its life, however some original or early features are still intact, mainly in the front rooms of the building at first and second floor levels. The rear rooms on 1<sup>st</sup>, 2<sup>nd</sup> and 3<sup>rd</sup> floors have all received significant refurbishment /reconstruction following the fire damage in 1962 (there was an earlier fire in the basement, but extent unknown). The fire was on the 1<sup>st</sup> floor level, at the rear and affected basement, ground floor, and 1<sup>st</sup> 2<sup>nd</sup> and 3<sup>rd</sup> floors with the stud walls, floors and ceilings being replaced with modern building material and simple finishes.

#### Principle Rooms on 1<sup>st</sup>, 2<sup>nd</sup> & 3<sup>rd</sup> Floors.

However the front rooms on the first and second floors have original/historical ceilings (lathe and plaster), some timber wall panelling to a mid level dado (pine), larger wall panels above and a decorative plaster cornice to the 1<sup>st</sup> floor. Along with original timber floors, (a number of boards have been replaced with pine floor boards).

Both the 1<sup>st</sup> and 2<sup>nd</sup> flr front rooms also have original fireplace breasts with Victorian surrounds inserted later and an original painted pine niche cupboard to the right of each chimneybreast. Some of the skirting's in these front rooms could be original, as are some of the wall panelling. Their condition is poor with successive redecoration and plaster infilling. The horizontal boarding above the dado on the right hand wall on the first floor has been over clad with boarding and battens covering joints (the original timber boarding is behind but smoke damaged).

Both the ceilings and walls have received some repair in the past, however the majority in these two rooms (front) would seem of some age and possibly contemporary to the original construction (large area of ceiling repaired on the 2<sup>nd</sup> floor).

The walls separating the front room from the rear are probably not original or have been re-skinned on at least the rear side (second floor front facing skim might be original).

There are simple Victorian gas pipes, for lighting (disconnected), adjacent to each of the fireplaces on the 1<sup>st</sup> & 2<sup>nd</sup> Floors.

The vertical sliding sash windows on the front elevation (1<sup>st</sup> & 2<sup>nd</sup> floors) are of some age, not necessarily original, probably early Victorian (1800) single pane per sash, or the sashes were altered in the Victorian era (from maybe six pane) and the frames are original.

There are disjointed timber panels and niches between each window on the first floor and below the windows (see room elevation drwgs).

Some decorative cornices are intact, in moderate/poor condition on the 1<sup>st</sup> floor, but a proportion has been removed and replaced with 45°canted hardboard (see drwgs).

Cont'd over

## Ground Floor

The ground floor and basement levels have been fitted out over the past 50+ years for retail purposes, there is little of the original building remaining, accepting the flank walls and possibly the domestic staircase serving the 1<sup>st</sup> floor (basement to ground floor staircase contemporary added during the early 70's).

Most of the flooring on the ground floor has been replaced and the joists below are, in the majority, new. This ground floor retail unit has been recently redecorated/refurbished for new temporary tenants (jewellers').

The rear fireplace/breast has been boarded over and the hearth removed.

In the basement, the original flooring has been removed and replaced with a screeded finish and tanking to the walls. The original staircase has been removed from the rear left hand side of the basement and a new staircase positioned from ground to basement at the front right hand side of the shop. We intend to reinstate the original or similar simple staircase.

It is proposed to reposition this staircase (previous application), back to the original position, at the rear left hand side of the ground floor. The final design will be dependant on whether we get consent to hand the proposed domestic staircase from ground up to 3<sup>rd</sup> floors.

## Main Staircase

The domestic staircase serving the upper floors has in the past been badly damaged by fire, a lot of the charred remains have been left in place and then over-clad (see attached photos and drawings). The treads and risers are uneven and tilt from the horizontal. The stairs have been used lightly over the past 40 years as a single older lady occupied the residential property until the early 2000 when she passed away.

The 1st floor and above has been maintained but left empty since then.

There is concern that the existing staircase would not take the heavier loadings of a newly refurbished two bedroom residential user.

## The Intended Works

Generally the works proposed within this application are the redecoration and refurbishment works, to the residential areas of the building with the exception of replacing the existing staircase from ground to third floors with a matching handed staircase of the same proportion and material to the original Georgian style staircase.

Cont'd over

Running concurrently with these proposed decoration/refurbishment works would be the construction of a rear ground floor infill construction. Planning consent for the rear extension Listed Building and Planning Consent Ref 2015/0060/L and 2014/7775/P, 27 May 2016.

### Staircase

We have provided a structural conditional survey confirming that the existing staircase is not fit for purpose (within the design access statement) as it was severely damaged during the fire in the 1960's. It has been over clad with hard board and the treads have also been re-supported and over clad. The treads and risers are uneven and tilting throughout the building.

It is the intention to replace the existing closed string timber staircase of simple Georgian town house style with a new staircase matching the existing design and proportion of the original. We will copy as many of the timber sections as possible and will maintain the same winders, treads and nosings as the original staircase. The handrail will be of the same section and set at the same height as the original staircase (below present day standards). The Balusters will also be of the same section and spacing (again set greater than the Part K of Building regulation 100mm centre to centre).

The main design change is that we are proposing to hand the staircase. At present it winds anti-clockwise up the building, which originally allowed for a rear door access to the back yard beneath ground to 1<sup>st</sup> floor staircase. This is no longer required and we are proposing to reverse the staircase to a clockwise direction, occupying the same space as the original staircase.

On completion the treads and handrails would be finished with stain and polish and the balusters would be painted.

### Principle front elevation boxed sash windows.

We also propose to replace the eight vertically sliding sashes (four windows, front 1<sup>st</sup> & 2<sup>nd</sup> flr) with six over six panes sashes, vertically sliding (see drwg). The existing frames will remain in position with the sashes being remade. We will be upgrading the glass, but the sashes limit the use of double-glazing.

We will be replacing the three main rear windows with modern versions of six over six pane sliding sash, painted timber windows.

The original casement windows running up the rear of the building adjacent to the staircase will remain and be redecorated only.

In the two principle rooms on the first and second floors we intend to repair and sensitively redecorate the existing walls, floors and ceiling. It is proposed to reinstate the missing Georgian cornice on the first floor and add a reduced sized Georgian cornice on the second floor (similar design as 1<sup>st</sup> flr but reduced in height and depth) (see drwg).

## Flooring

We are to replace rotten or failing floorboards in the front room of the first floor with matching boards from either the top floor or second floors. The second floor, floor boards (front room) will also, where required, be replaced firstly with the third floorboards and the remaining with matching reclaimed floor boarding. The remaining boards in the front room on the third floor will be augmented with matching reclaimed boards. The boards will finally be sealed and polished.

## New proposed installations

We are proposing to install a full kitchen in the rear room of the 1<sup>st</sup> floor. This will be of simple design (shaker or similar) but with modern equipment. We will connect drainage to the existing soil vent pipes externally on the rear elevation.

We are proposing to form and install a 'cloakroom' toilet and sink within the rear room on the second floor.

We are proposing to refurbish the existing bathroom on the 3<sup>rd</sup> floor, reducing its size and forming a bank of cupboards accessed from the front bedroom. This will require punching door openings through the separating wall between the front and rear rooms. The original structural beams in the ceiling will not be altered.

## Electrical

It is intended to completely re-wire the whole property, to include new consumer units, metering for residential and retail along with new ring mains on each floor and lighting circuits. We will also be installing maintained smoke detection in each room/area.

## Gas

There is an existing capped gas supply to the property entering into the building at first floor height from the front elevation into the niche cupboard to the right of the fireplace. It is proposed to reinstate the gas supply to enable a new gas fired boiler, hot water and heating system to be installed.

Works between ground and basement (repositioning of staircase) will be within floors that have previously been replaced either because of the fire or the original staircase.

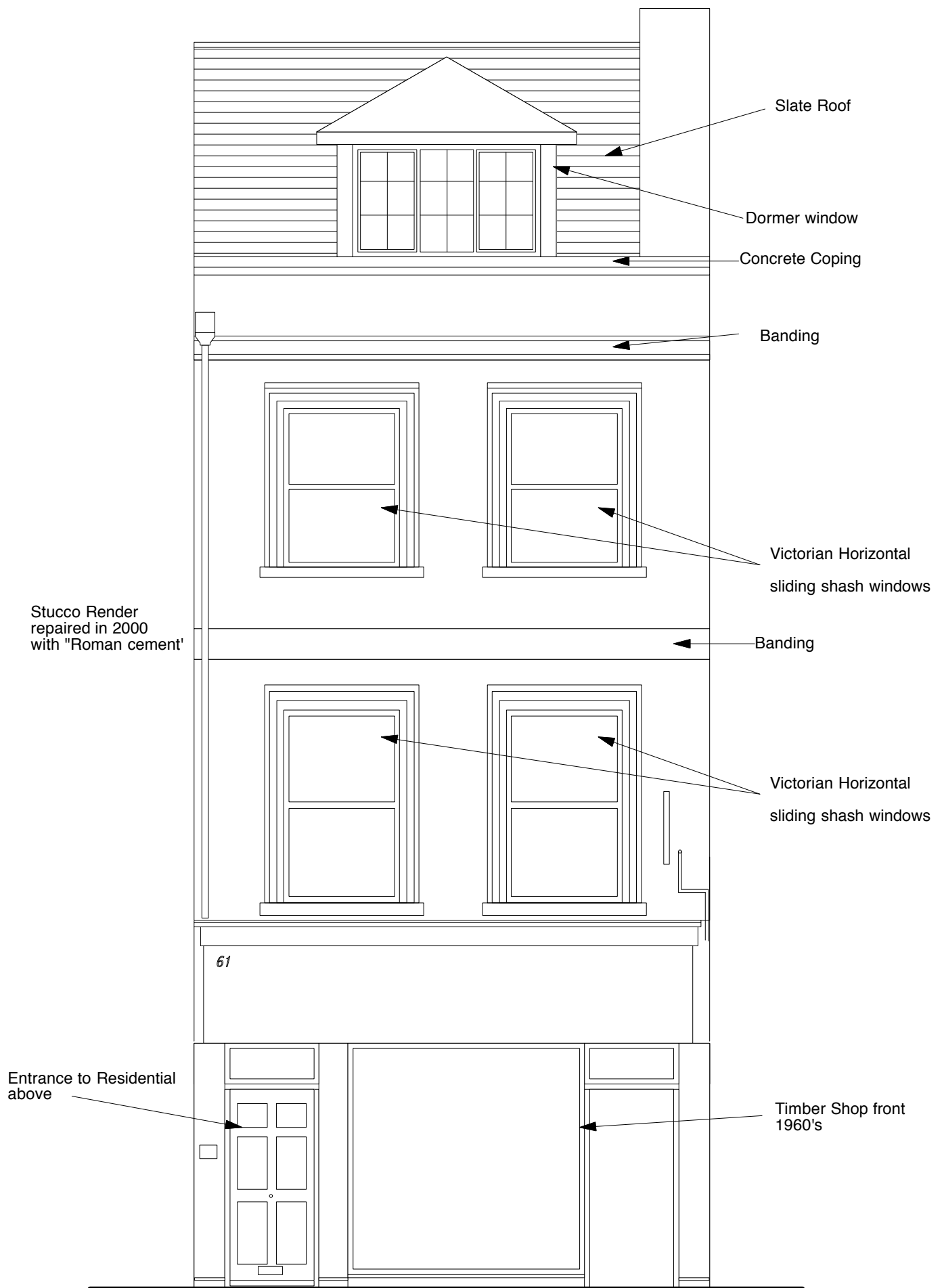
## Basement works

Apart from reinstating the stairaccess to the basement level we will also be refurbishing the existing toilet/ basin and kitchenette area. No other works are proposed in the basement.

The client's intension is to refurbish the property to allow the immediate and extended family to use the accommodation on a regular basis. Creating an improved safe and warm environment, but maintaining (and improving) the historical elements of the building especially the principle front rooms.

To be read in conjunction with the following plans and photographs and noted drawings

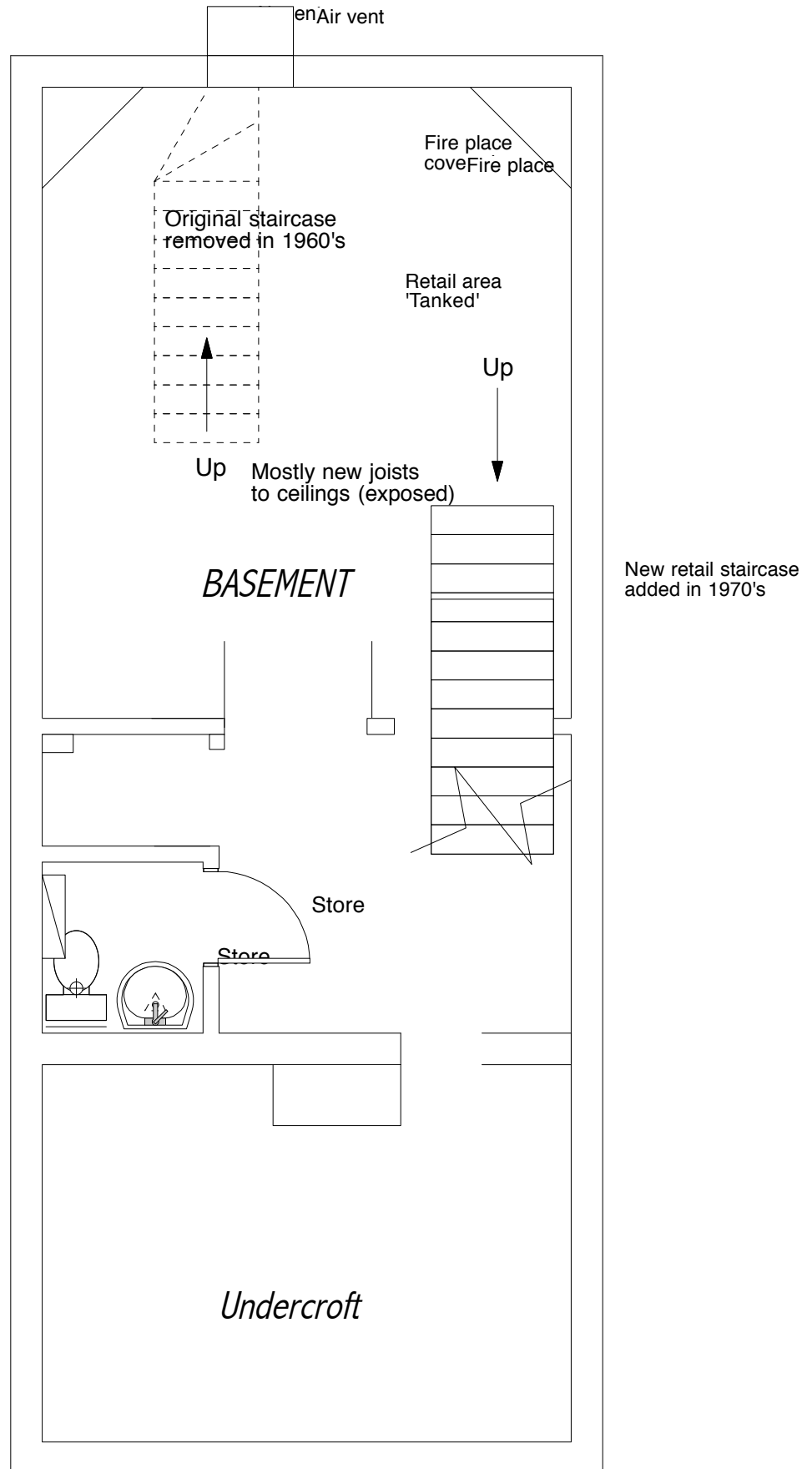
Existing plans & elevations	-	20014/201295/01
Proposed plans & elevations	-	20014/201295/02c
Existing & Proposed 1 <sup>st</sup> & 2 <sup>nd</sup> flr		
principle windows	-	20014/201295/14
Existing Plans & Section of		
The main staircase	-	20014/201295/15
Proposed Plans & Section of		
The main staircase	-	20014/201295/16
Revised front elevation	-	20014/201295/17
Existing 1 <sup>st</sup> flr wall elevations	-	20014/201295/20
Proposed 1 <sup>st</sup> flr wall elevations	-	20014/201295/21
1 <sup>st</sup> floor fibrous plaster cornice details	-	20014/201295/22
Site/location Plan	-	20014/201295/LP



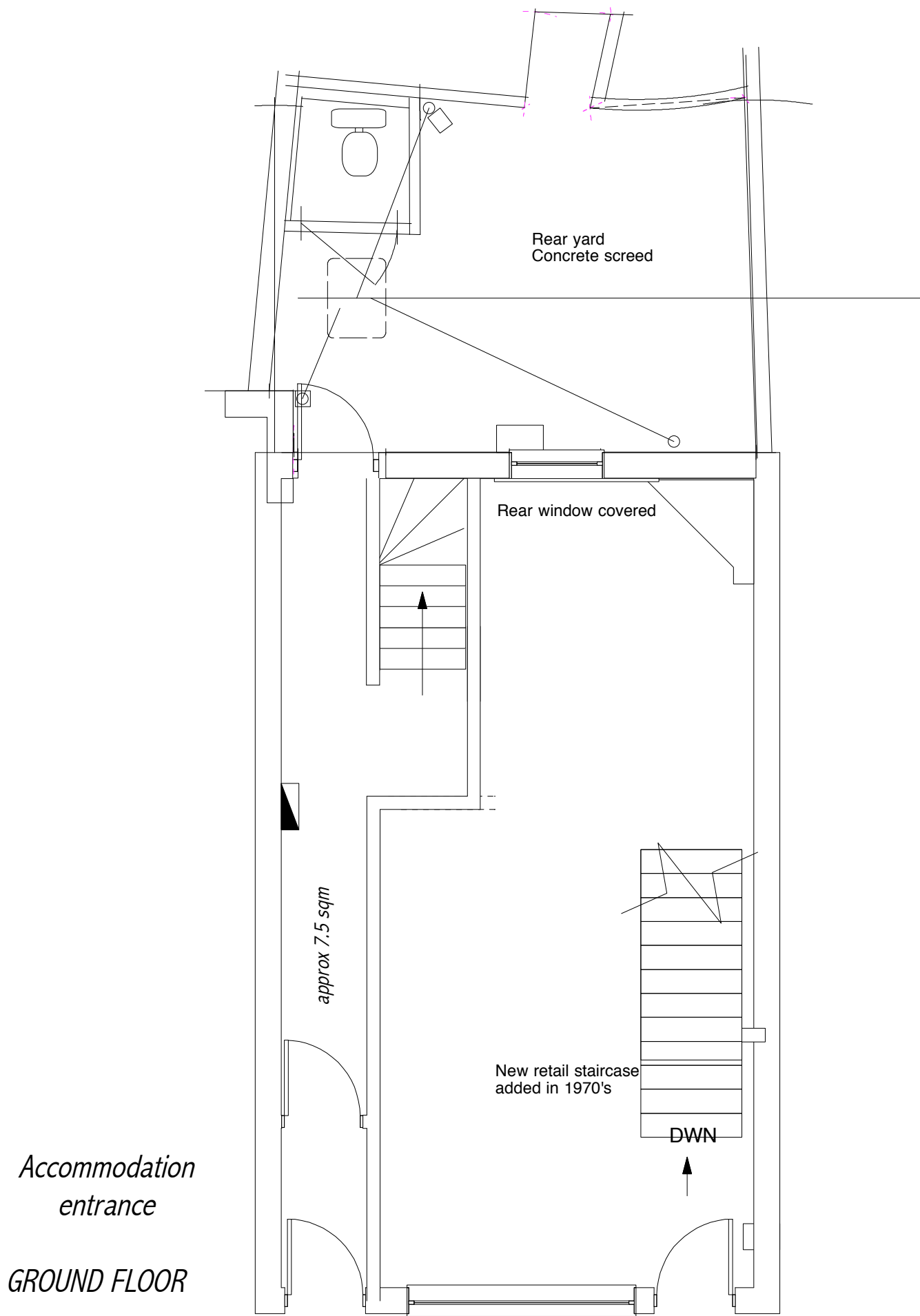
*FRONT ELEVATION*

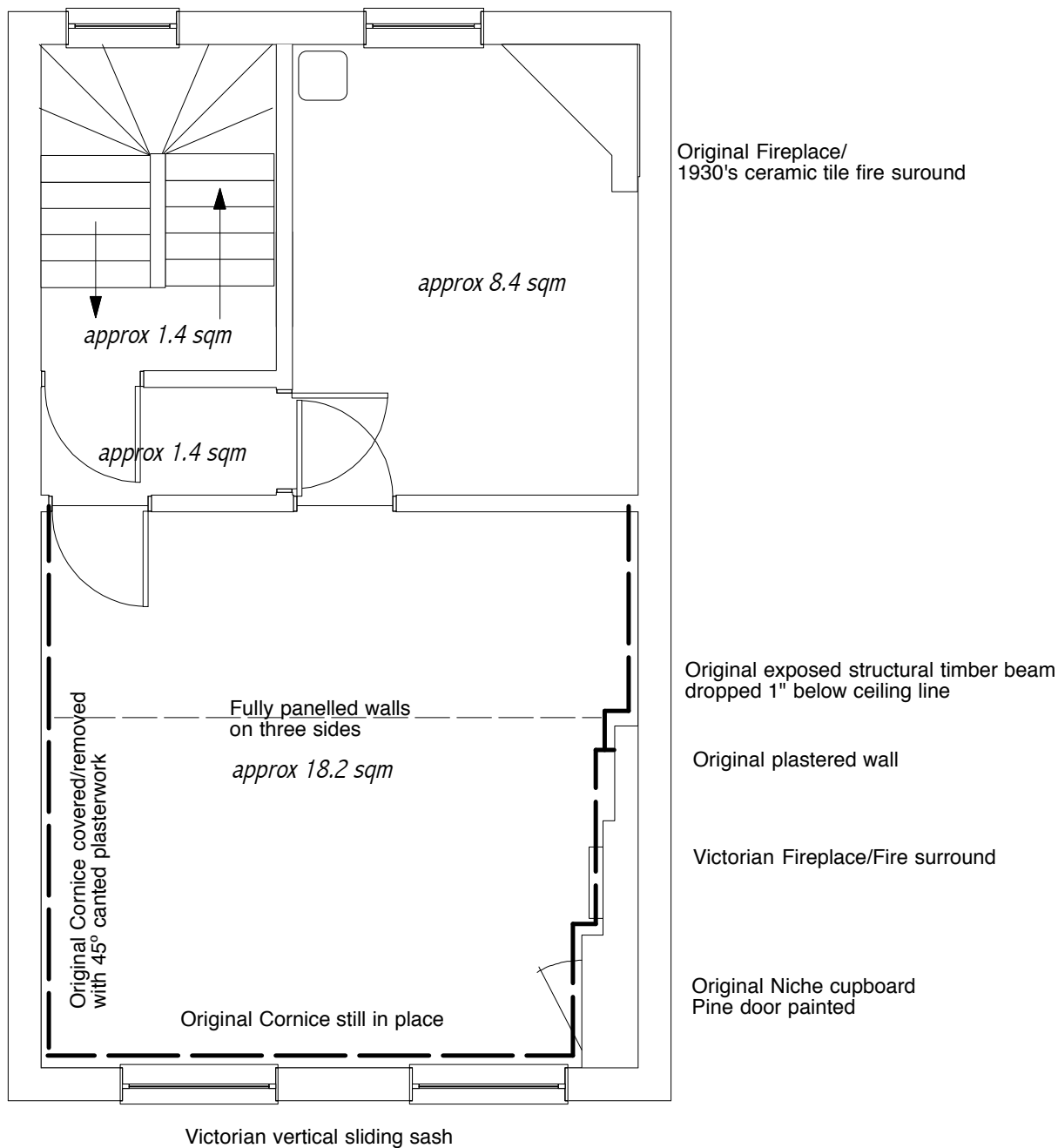
To be read in conjunction with photographs and Heritage Statement



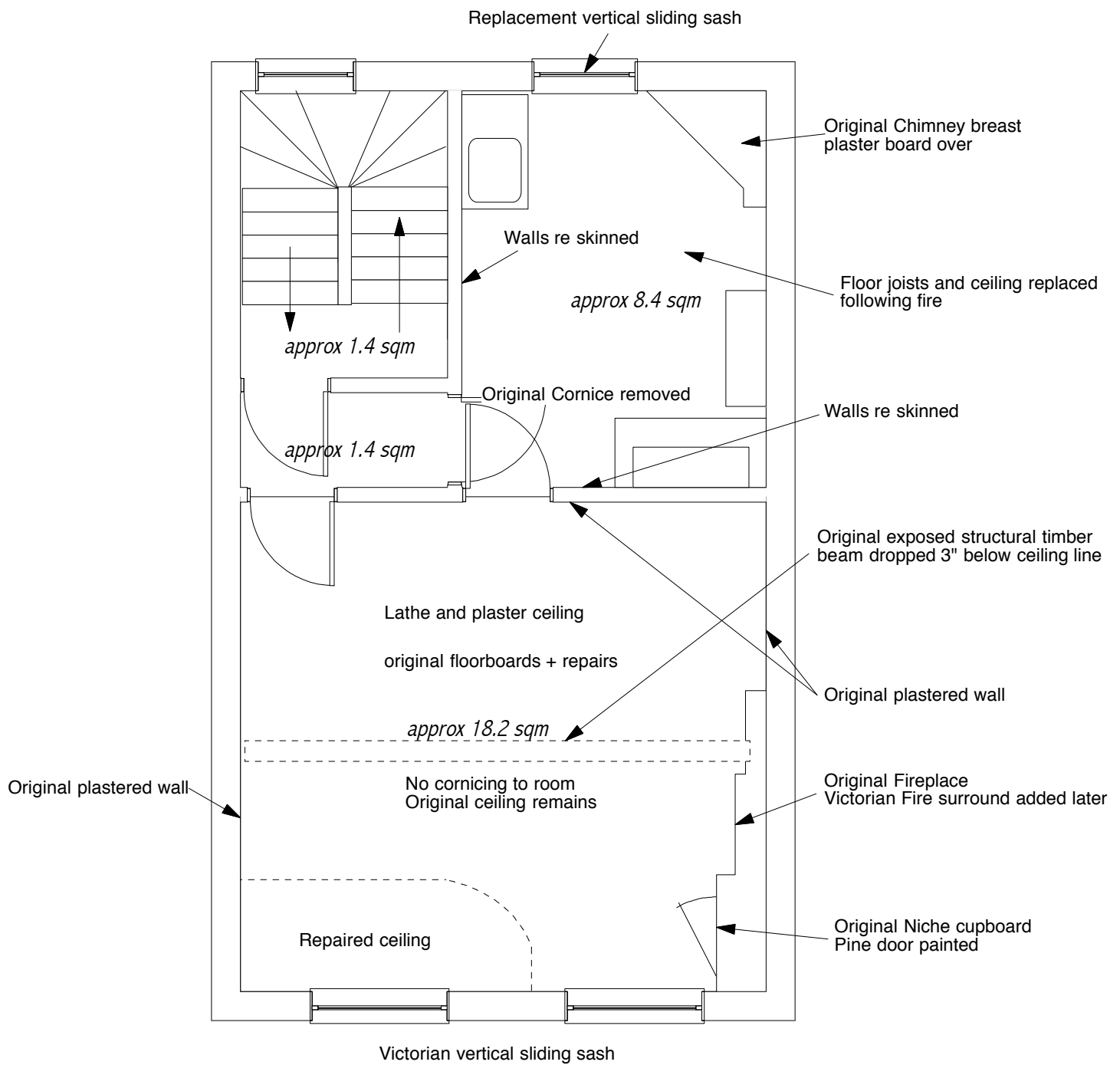


*BASEMENT*



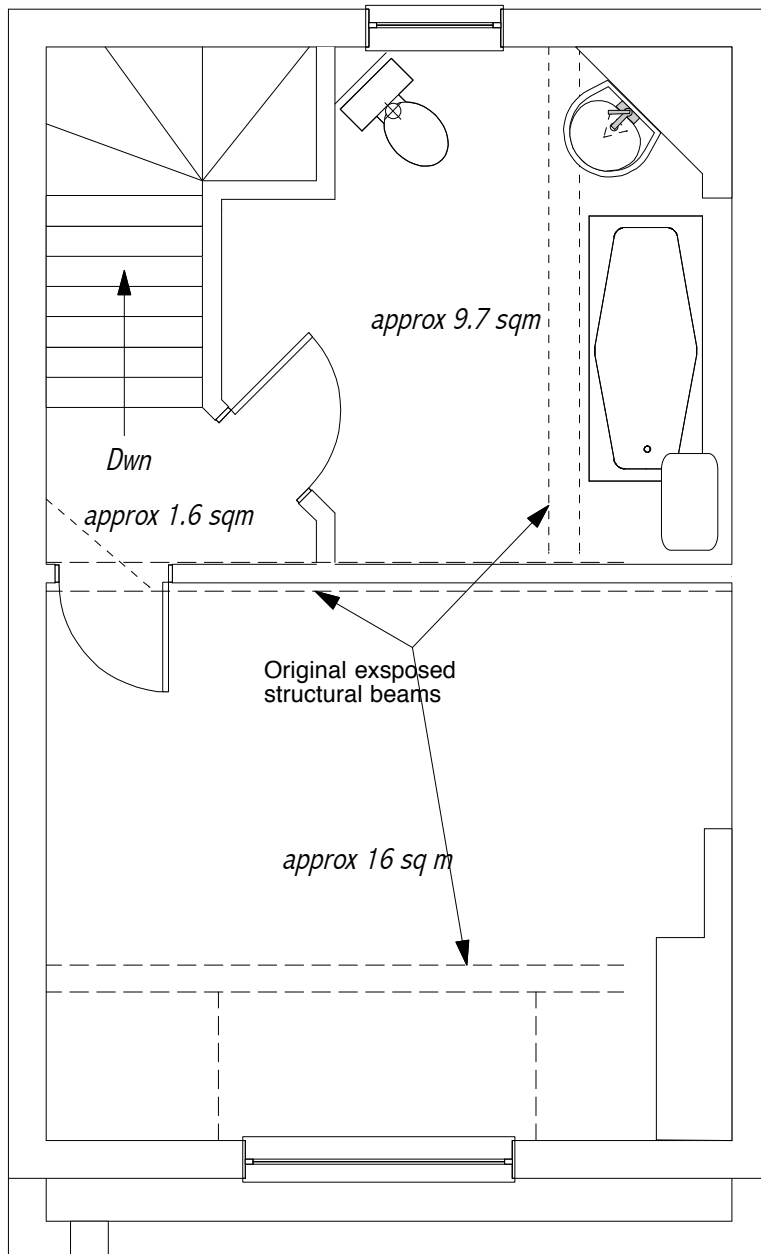


## FIRST FLOOR

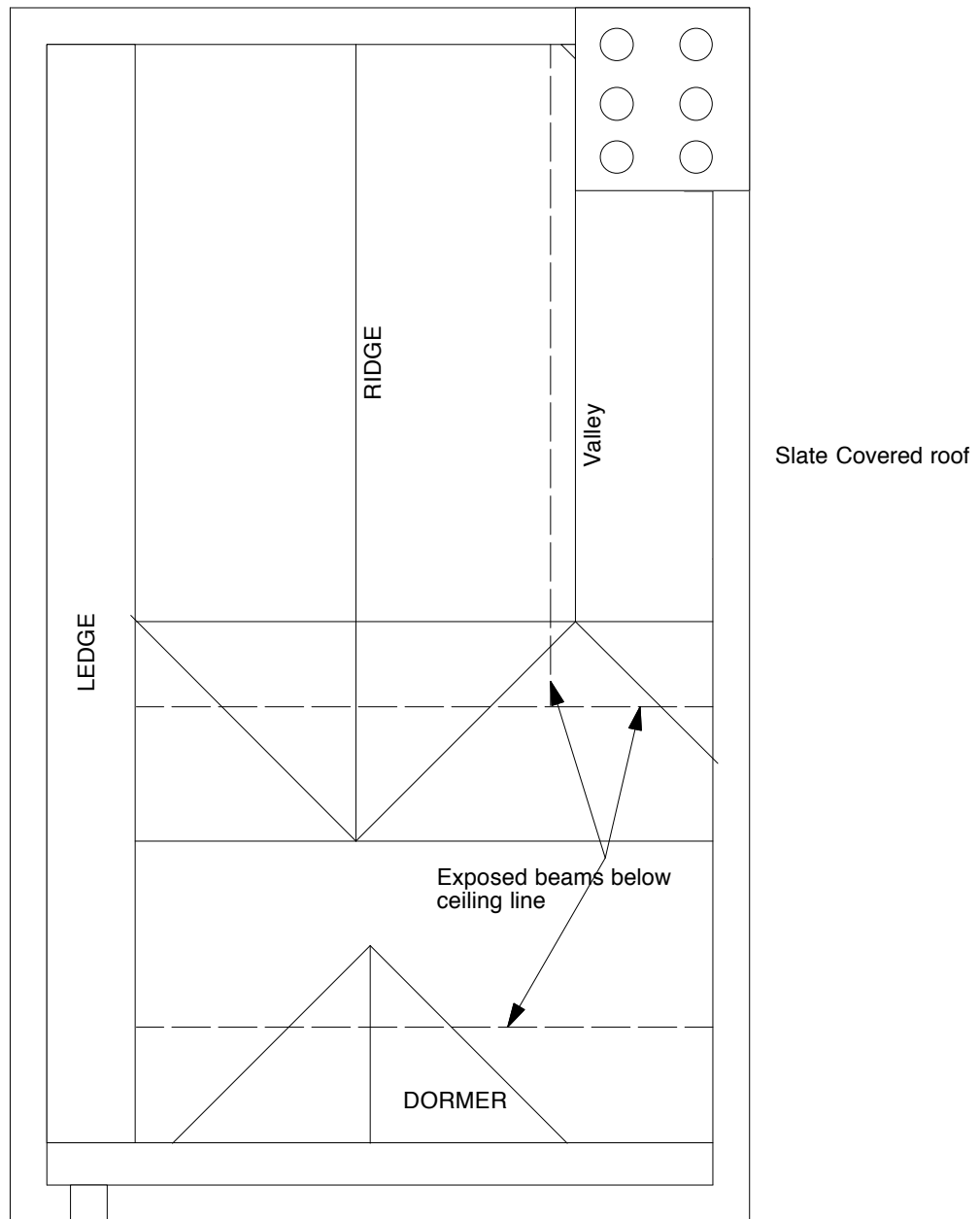


## SECOND FLOOR

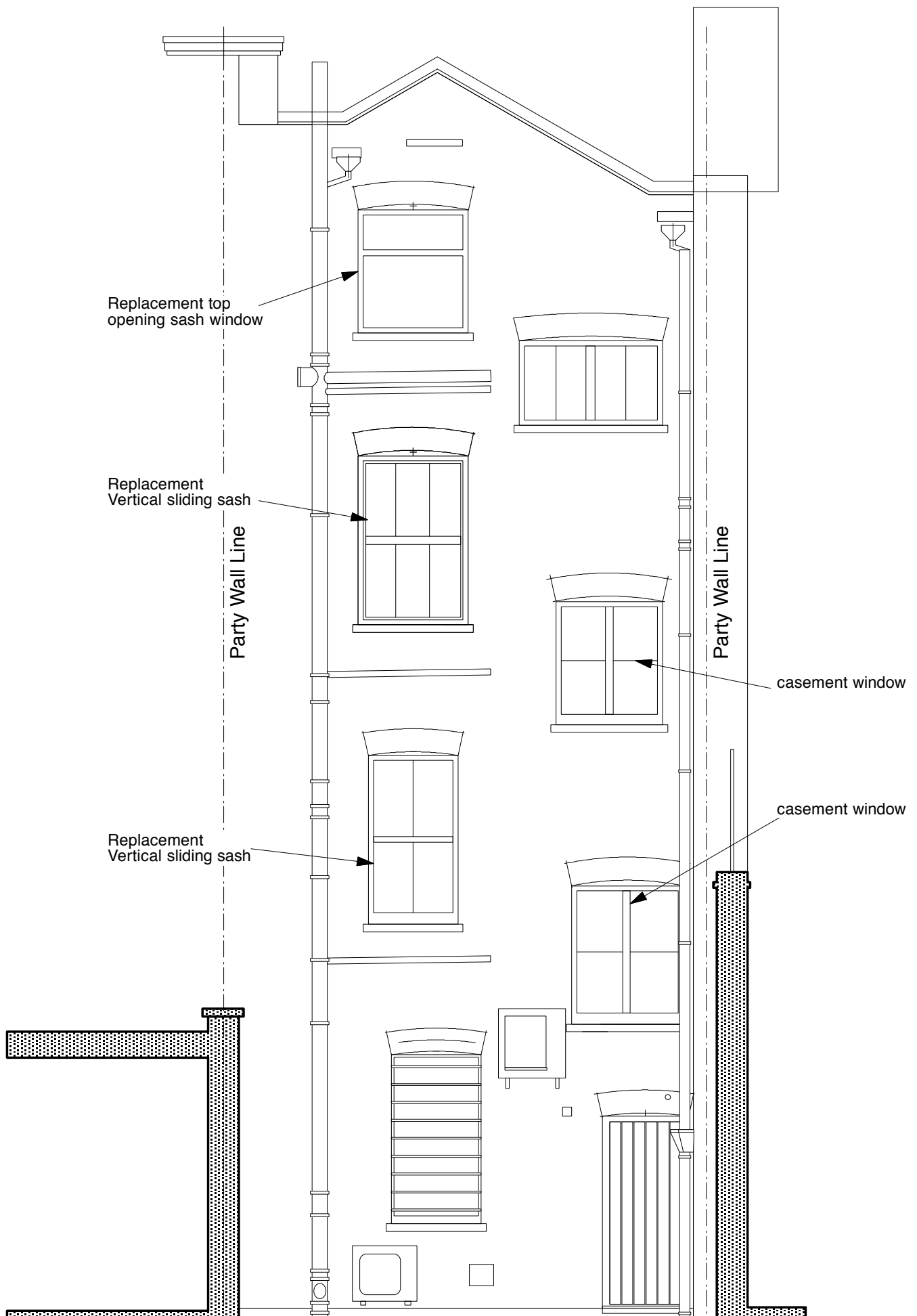
Modern replacement casement window



*THIRD FLOOR*  
*Mansard*



## *ROOF PLAN*



## REAR ELEVATION

To be read in conjunction with photographs and Heritage Statement



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Original beam across Dormer  
At Third Floor



Head of stairs, 3<sup>rd</sup> Flr



Original beam, transverse at 3<sup>rd</sup> flr



Original Drop Beam in 3<sup>rd</sup> flr  
Bathroom. (Longitudinal)



First Floor Front Room.  
Timber boarded to dado, panelling  
above



Original panelling between Victorian  
Vertically sliding sash windows.



First Floor Front Room  
Niche cupboard to right of Fire place



Original Fireplace on 1<sup>st</sup> floor , Front  
Room



Original panels below front windows



Victorian Fire Surround



Gas supply for gas lighting, 1<sup>st</sup> Flr.





Panels above dado & Cornice 1<sup>st</sup> Flr



Pine Niche Cupboard, 2<sup>nd</sup> Flr



Fire place 2<sup>nd</sup> Flr



Gas light, 2<sup>nd</sup> Flr



Inside Cupboard, 2<sup>nd</sup> Flr



Originla skirting's and plaster.  
2<sup>nd</sup> Flr front room.  
No Panelling



Window surround 2<sup>nd</sup> Flr  
Front Room



Fireplace in Rear Room 1<sup>st</sup> Flr





Damage to Staircase, covered with hardboard.



Handrail charred badly



Uncovered banister



Front Hall access from Pavement



Rear Elevation