



Refurbishment of 2-Bedroom Apartment

At

286 Grays Inn Road – Flat Nr. 3
Kings Cross
London
WC1X 8EB

Supporting document for the Planning Application relating to the proposed refurbishment of a 2 bedroom apartment on the first, second & third floor.

January 2017

SM12
Architects
Studio M12

Design and Access Statement

286 Grays Inn Road – Flat Nr.3, Kings Cross, London, WC1X 8EB

Design and Access Statement – A209:DAS:01

Introduction and Background

This Design and Access Statement accompanies a Planning Application for the refurbishment of a 2 Bedroom apartment at second & third floor levels. The refurbished residential accommodation is included in the existing building & loft, within the existing pitched roof.

This application is for the insertion of a new roof light, matching that installed on the rear elevation, to provide light and natural ventilation to the proposed new bathroom at third floor.

The plan complies with the London Plan in terms of required area for this type of apartment, and would work well in this predominantly residential terrace, adding to a continued visual overlooking of the street, once the shops are closed.

Residential units in this terrace and along this part of Grays Inn Road have had similar refurbishments, within existing loft floor structures.



Location of Proposed Development (NTS)

The client's intention is for the refurbished apartment for him and his partner to move back into this apartment as it now better suits their work locations.

Site Location and Context

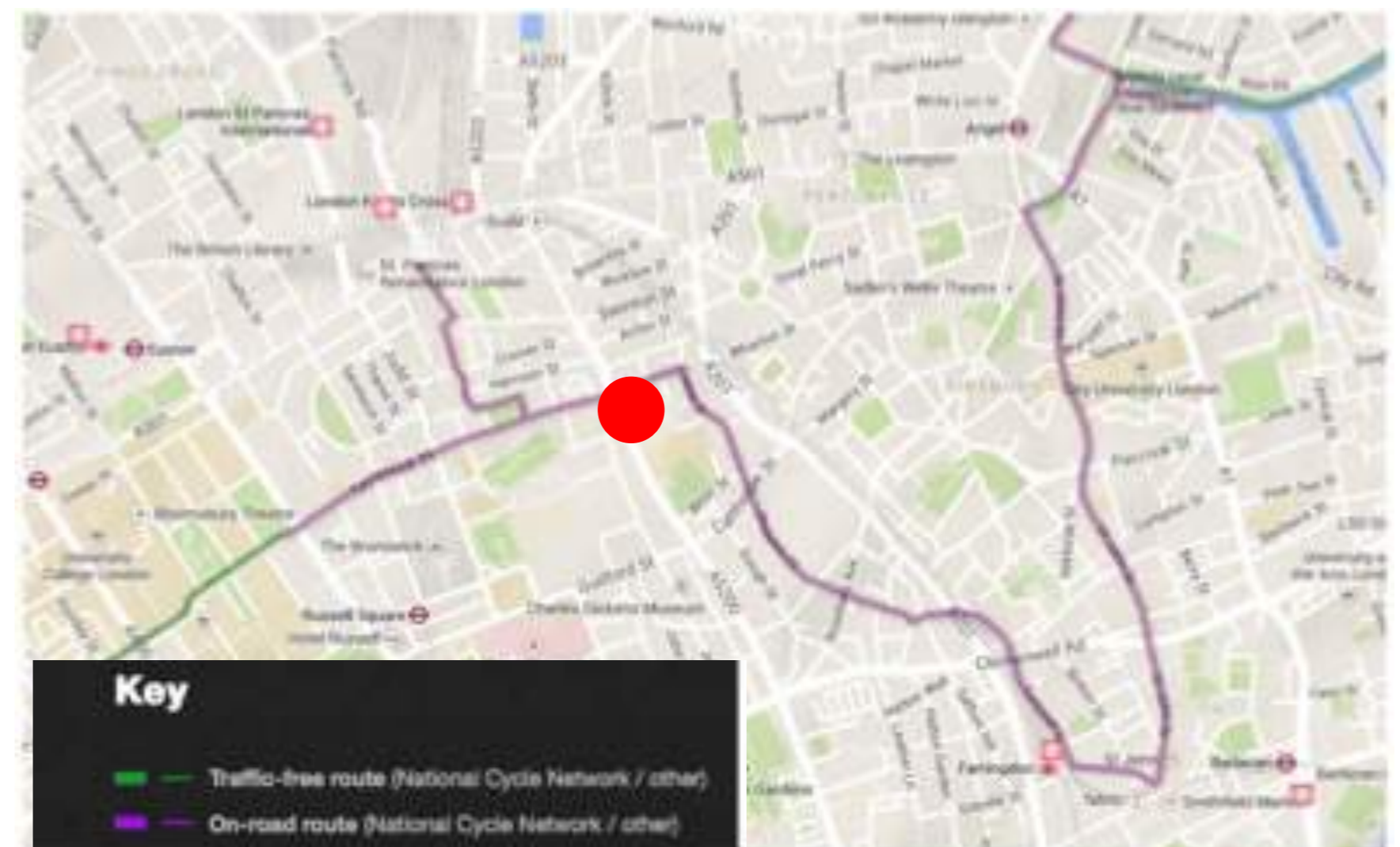


View of property from opposite side of street

The site is located on the busy and active retail street of Grays Inn Road which is a large shopping area, running from King's Cross Station to Chancery Lane. There are many diverse shops, cafes, restaurants, offices as well as a great deal of residential accommodation at the upper levels. Just to the south of the site is the UCL dental Institute.

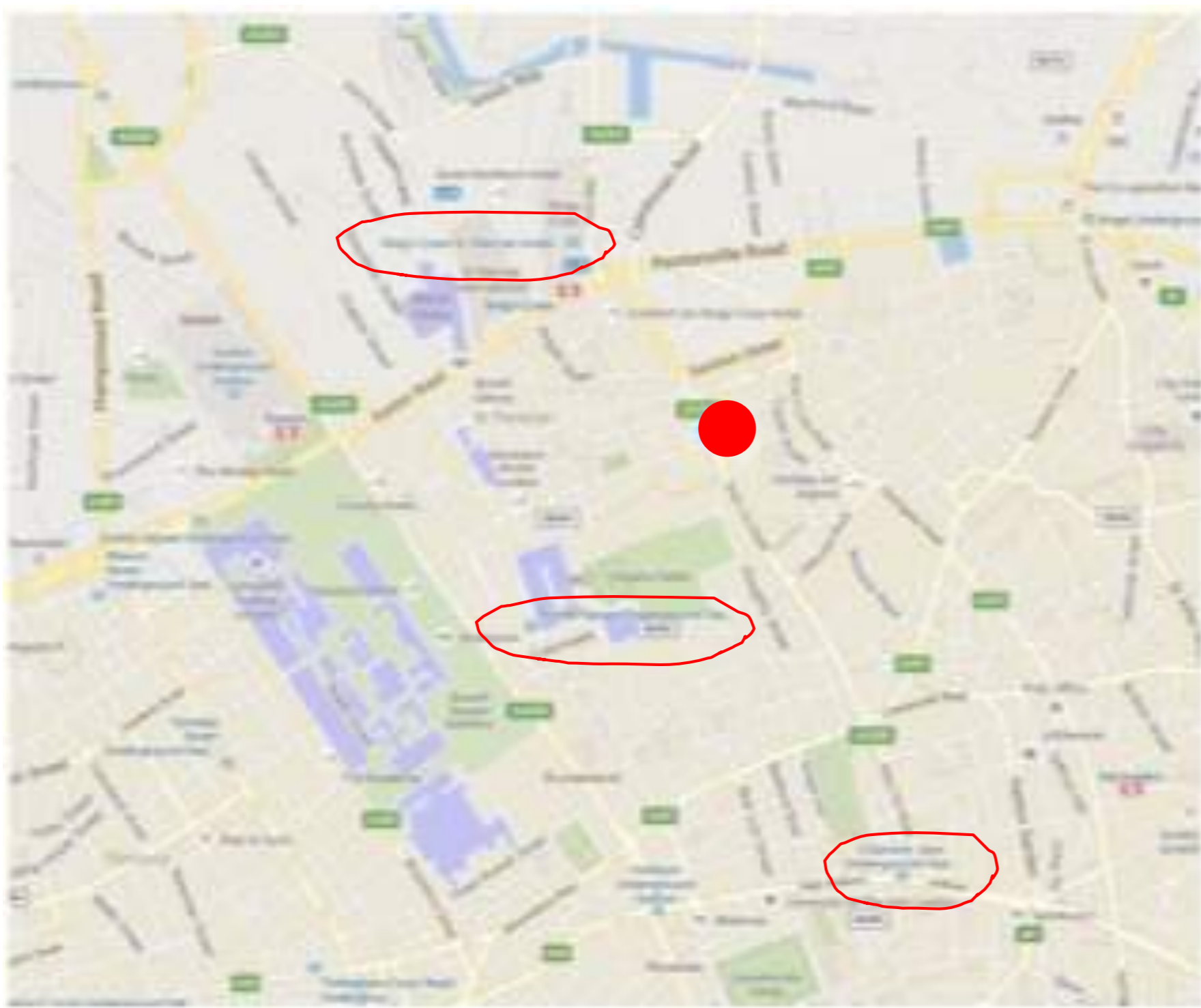
The building heights are consistent along Grays Inn Road and in the neighbouring streets. The existing terraced houses are three storey plus loft, with some more recent dwellings higher.

Some of the ground floors in the area have active frontages, whilst the upper floors are a mixture of residential and commercial uses.



01. Mobility from the site

There are dedicated cycle lanes in close proximity to the site (red dot on map), providing access to a number of strategic locations such as King's Cross & Euston Station, the University College of London campus, Russell Square and the Barbican Center among others.



02. Site and Access to Public Transport

As mentioned the site (red dot on map) is to the South of King's Cross Station and Close to Euston Station. The site is surrounded by a variety of Underground Stations which are only a short walk away: Russel Square, Chancery Lane, Holborn and Farringdon among others, meaning that the site is very well catered for in terms of public transport.



buses from King's Cross Station

05. Bus Routes for the local area

Buses are also serving a wide range of destinations from the site to the West (Saint John's Wood, Paddington), South (Victoria, Trafalgar, Kensington), East end and Southbanks (Brixton, Elephant & Castle etc.) thus making the site ideally located in terms of transportation to a range of destinations around town.

Design Considerations

Kings Cross Conservation Area

There are a number of conservation areas in and around the site, with the closest being that of Kings Cross, but the property sits outside of this. The conservation area includes the northern stretch of Gray's Inn Road, with the house here sitting 3 city blocks south of the conservation area. The historical context of this area should not be affected in any way by the proposals contained in this application.

06. Archaeology

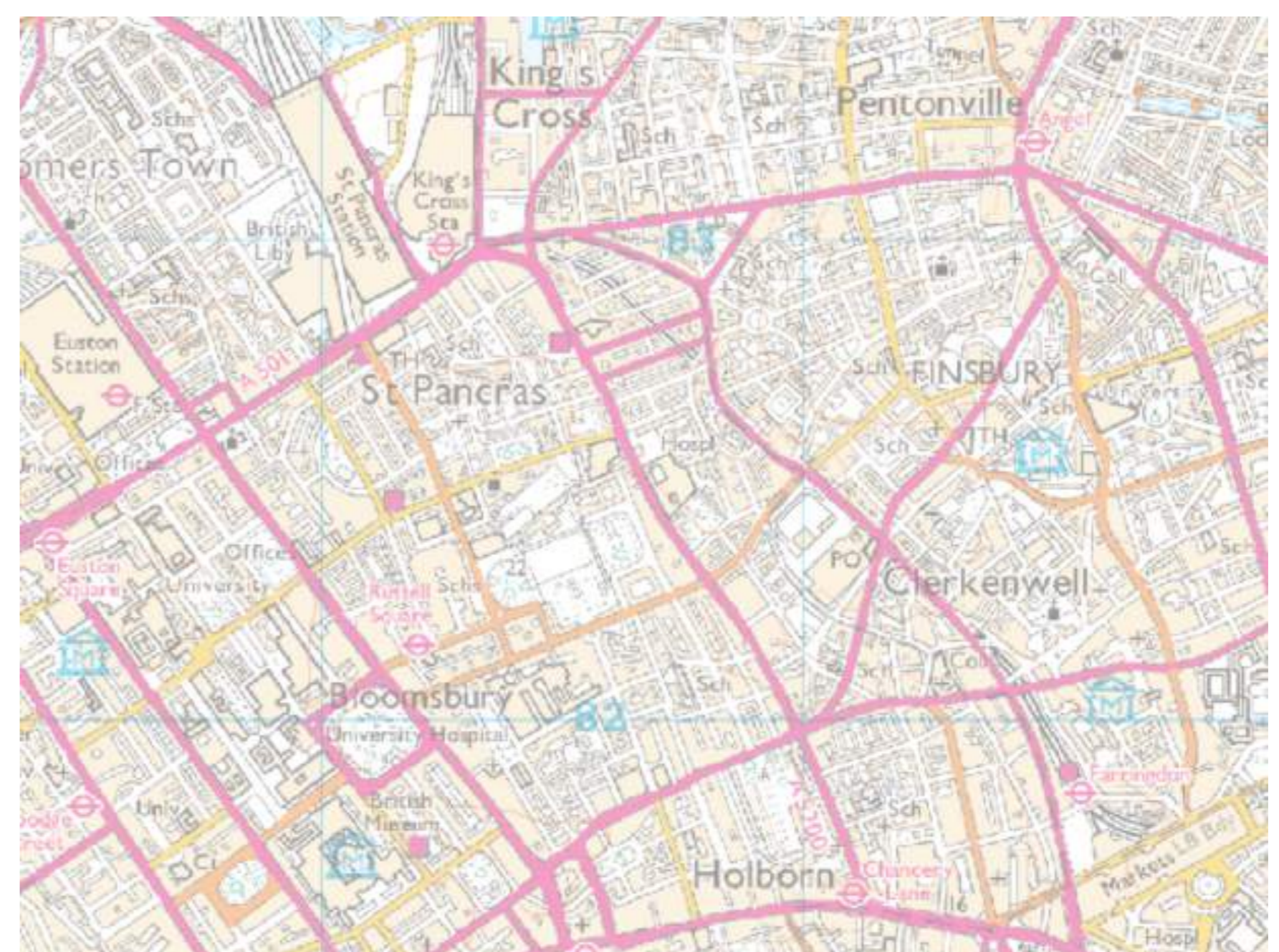
As the site has been developed in relatively recent times, it has been assumed that there will not be any relevant archaeology to disturb. However, should anything be discovered during exploratory works or the construction period, the Local Authority and Museum Services will be notified and a plan of action agreed.

07. Landscape & Ecology

Whilst Camden does have SSSI areas within its boundaries, there are no areas close to this location. Therefore the proposed extensions and alterations will not affect them materially, or physically, as the occupancy will remain the same as now.

The local environment of the site and its immediate surroundings have a number of mature trees mainly to

the rear in the gardens of other houses. There are a number of hedges and small trees on the street in addition to these, but with large areas either laid to lawn or with a hard surface. There are a few small parks in the area but the proposals will have no effect on these.



Flood Risk Map from the Environment Agency

08. Flood Risk

Please refer to above map from the Environment Agency which indicates that the site is not at risk. This property has never been affected by floods as far as we are aware, but should a full flood risk assessment be considered necessary, this will be undertaken prior to a Full Planning Application being made. Also the first floor

of the property has a floor level close to 3.5 / 4.0m above natural ground level, therefore there is very little risk of flooding to this dwelling, or possibility of any displacement of flood water to adjacent homes or properties.

09. Location and Scale of Building

This property is a Second & Third Floor Residential Unit in Gray's Inn Road. As stated previously, the area is surrounded by similar buildings of the same age, height and make. Some developments of different height, use, storeys, character and age can also be found in close vicinity to the site. The design is set within the main frontage and rear elevation as existing. The loft refurbishment, which is housed behind a tiled pitched roof (existing) will not alter the front elevation except for 1 new small mansard velux opening.

The elevational treatment of this new opening has again tried to match the scale and design of the surrounding buildings, to help make this small intervention as mimetic and least noticeable as possible from the street.

The only alteration will be to the tiled pitched roof as required for the new opening to be created. Materials of the roof will not be altered and will match the existing. The new mansard velux will have white frame to match the existing.

10. Contamination

There are no known uses, now or in the past that would suggest any form of contamination in the areas of ground that will be disturbed by these works. It is therefore not intended to undertake any intrusive surveys or testing prior to the works commencing.

11. Scheme proposals

The proposed layout and new accommodation has been generated to:

- Provide good quality residential accommodation of a size that will suit working professional couples.
- Minimize the impact on the visual amenity of the site and the surrounding properties, as there will be no alteration in terms of scale and massing.
- Create a safe environment for its users, and minimize the potential for miss-use.
- Respect the materials and scale of the buildings being affected.
- Respect the scale of façade treatment of adjoining development and existing buildings.

12. Layout and Access Design Considerations

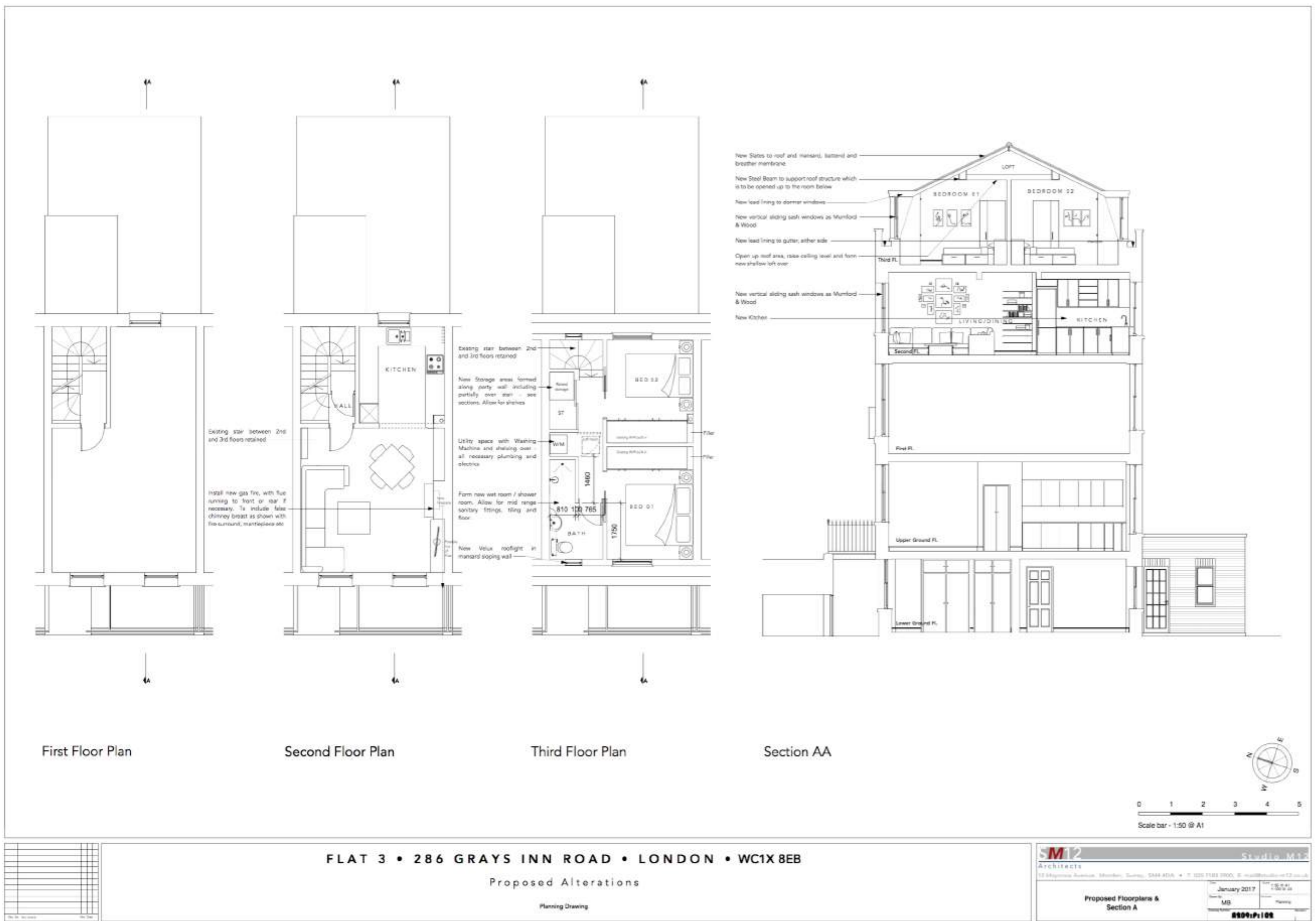
Obviously with the entrance to the apartment being at second floor, it is not possible to design it as wheelchair accessible, as a lift would be impractical and require space to be taken from the existing ground + first floor units (other ownership & property). However the stair will be retained as existing, with full handrails on either side.

The doors within the apartment are generally within 810mm openings, providing ease of access between rooms. There are exceptions such as stores etc. The corridor width at third floor is as wide as it can be within the existing boundaries of the loft. An additional loft hatch in the corridor will bring additional daylight to this unit (staircase & corridor), in the interest of user safety.

Due to the availability of public transport, there are currently no parking spaces associated with this property. It is hoped that this will comply with the current legislation and can be retained as part of any approval given.

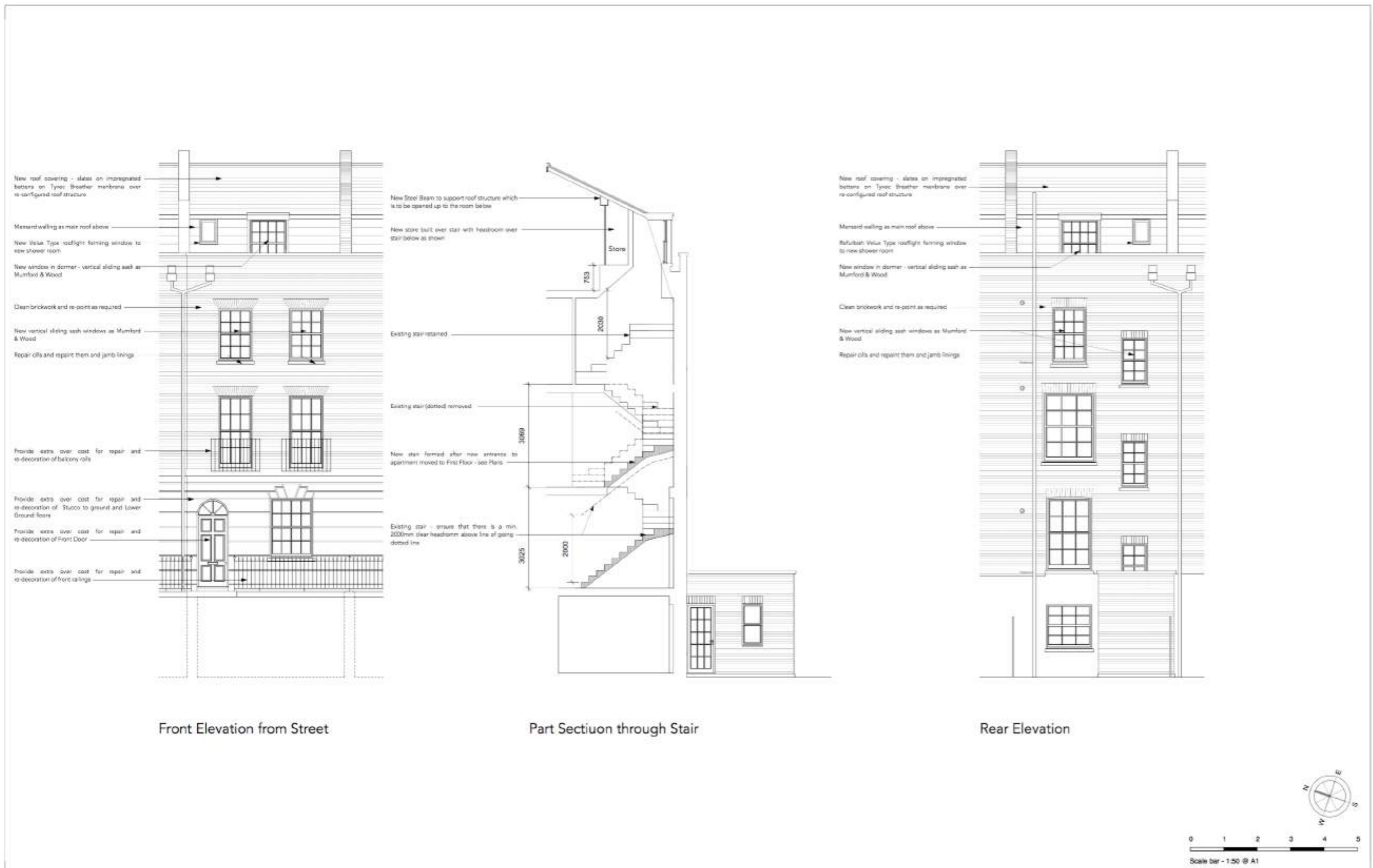
The cycle & refuse storage will not be associated by this application, and will remain as existing.

The following pages include the proposed drawing of the development as submitted with this application.



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FLAT 3 • 286 GRAYS INN ROAD • LONDON • WC1X 8EB Proposed Alterations Planning Drawing	 12 Martins Avenue, Maiden, Surrey, SA9 4DA • T: 01753 703110 • E: mail@sm12.co.uk January 2017 MB 0000#105
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