

Design & Access Statement

WRIGHT & WRIGHT ARCHITECTS

89-91 Bayham Street
Rear Roof Terrace

January 2017

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OVERVIEW

1.1 Overview

This Design & Access Statement has been prepared to assist with a planning application at 89-91 Bayham Street: to create a second floor roof terrace onto a first floor rear flat roof; and add four rooflights to the building's existing roof.

1.2 Location

The site is located at 89-91 Bayham Street in the London Borough of Camden and is within the Camden Town Conservation Area.

1.3 Building

The building is an early 20th Century three storey building, which was originally built for light industry.

It has a painted rendered finish at the front and back with white PVC windows.

The area that the application relates is at the rear of the second floor office.

The rear of the property is surrounded by the backs of a number of offices and retail units, which front onto Camden High Street and Pratt Street.

1.4 Use Class

At ground floor there are two retail units: class **A1**
At first and second floor there are offices: class **B1 (a)**

1.5 Design Intent

Wright and Wright Architects have been the tenants of the second floor office space for the past 20 years.

Wright and Wright wish to convert the flat roof at the back of the property into a roof terrace. This will be used as an amenity space during working hours: for informal meetings and for lunch.

Wright and Wright also wish to add four new roof lights to the existing butterfly roof of the main building to assist with ventilation and increase the quantity of natural light in the office.

The offices are open from 9.30-18.00, Monday to Friday.

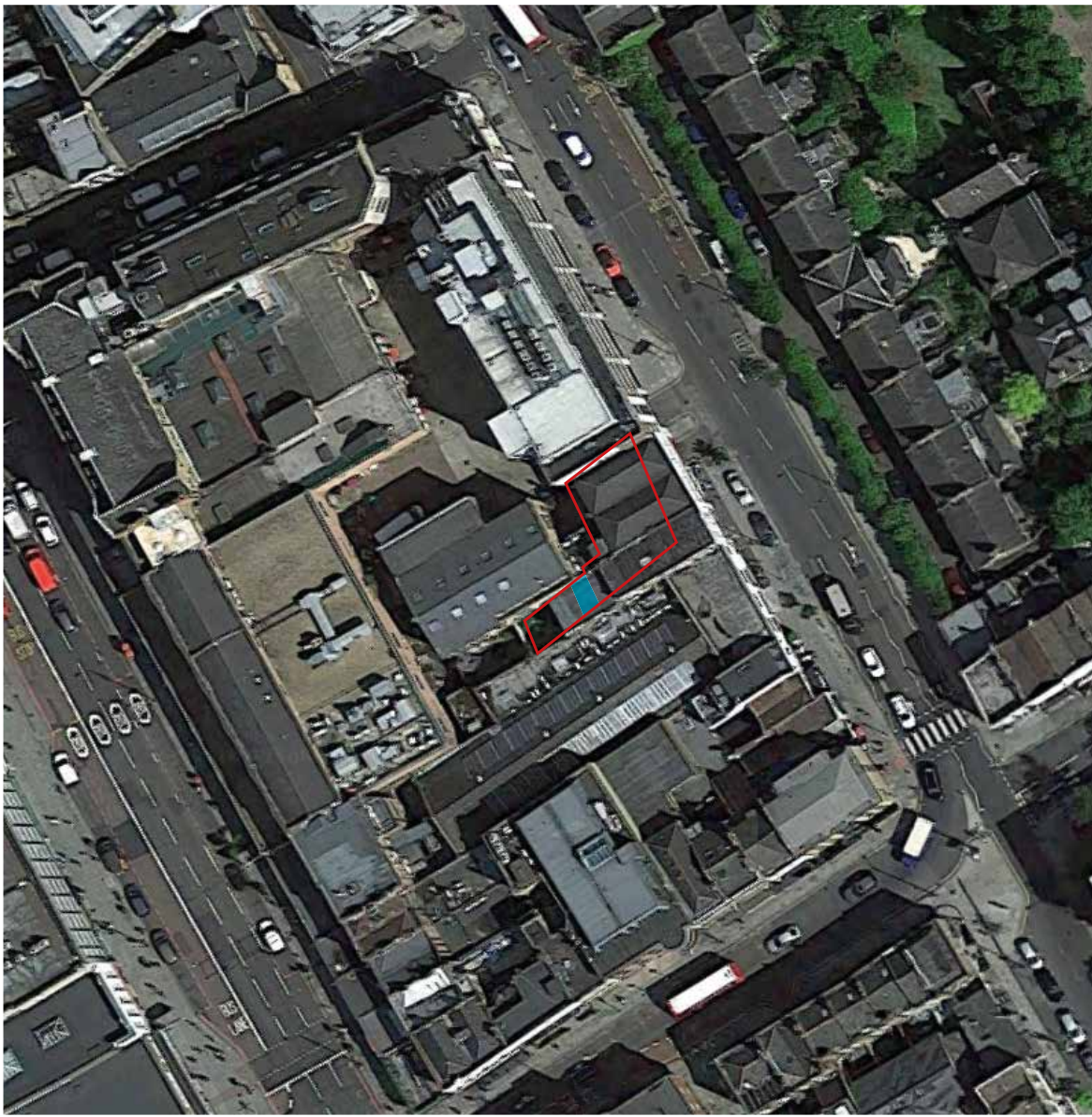
1.4 Access

There is currently no wheelchair access to the office and no change is currently proposed to access.

LOCATION



Block plan

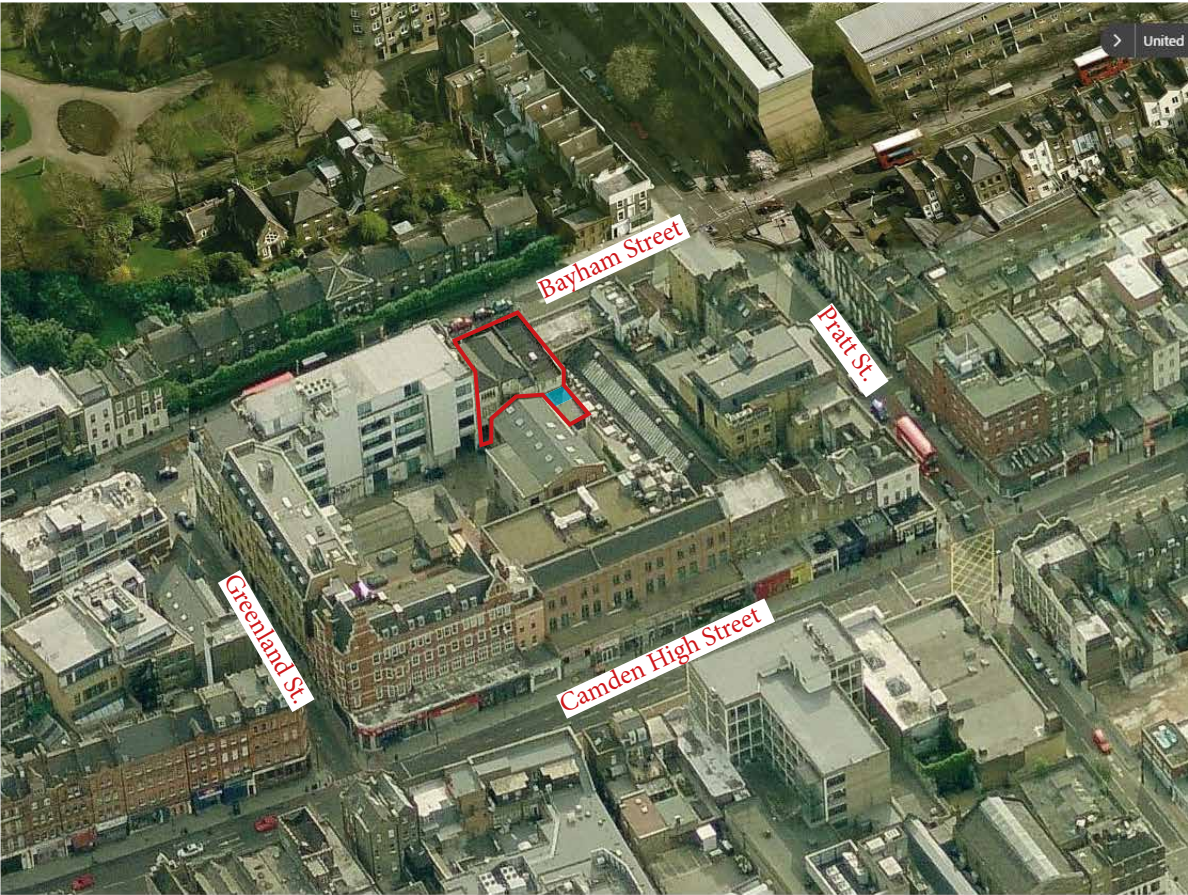
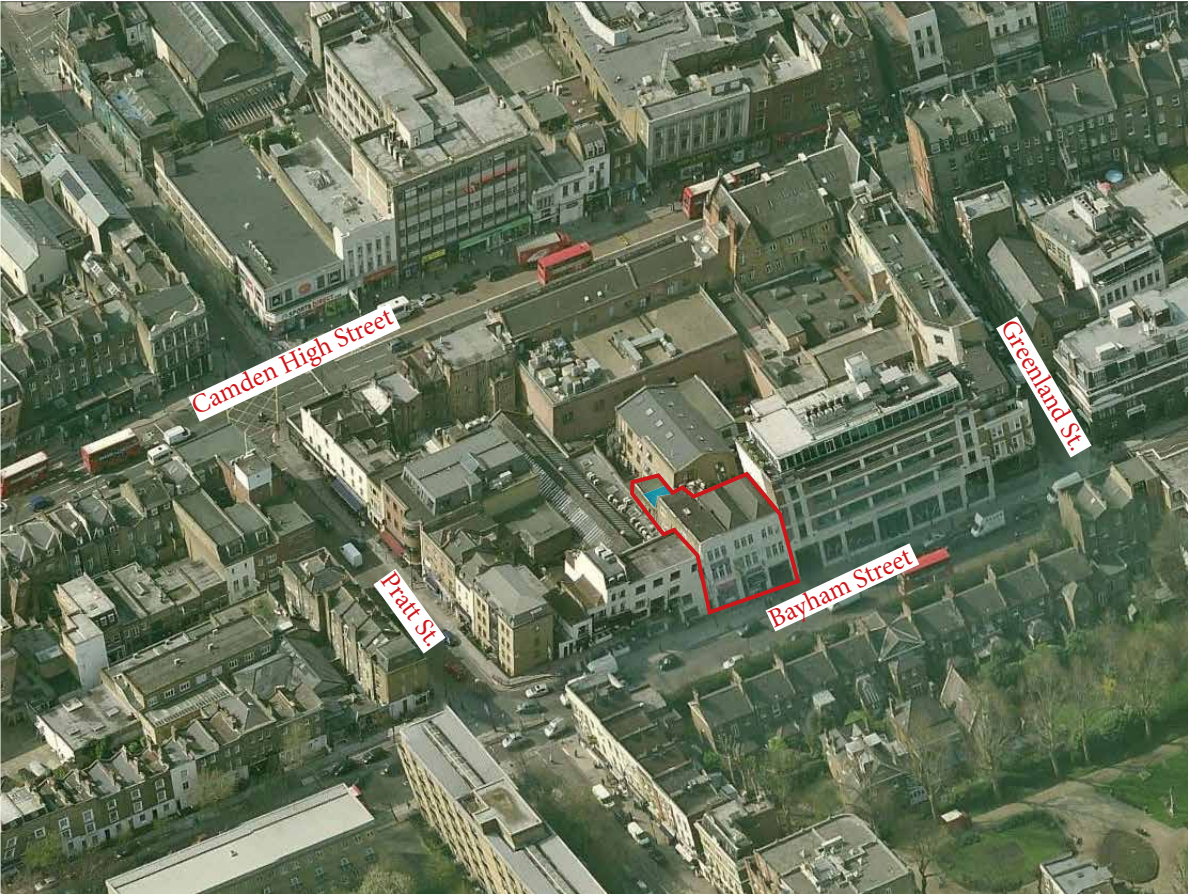
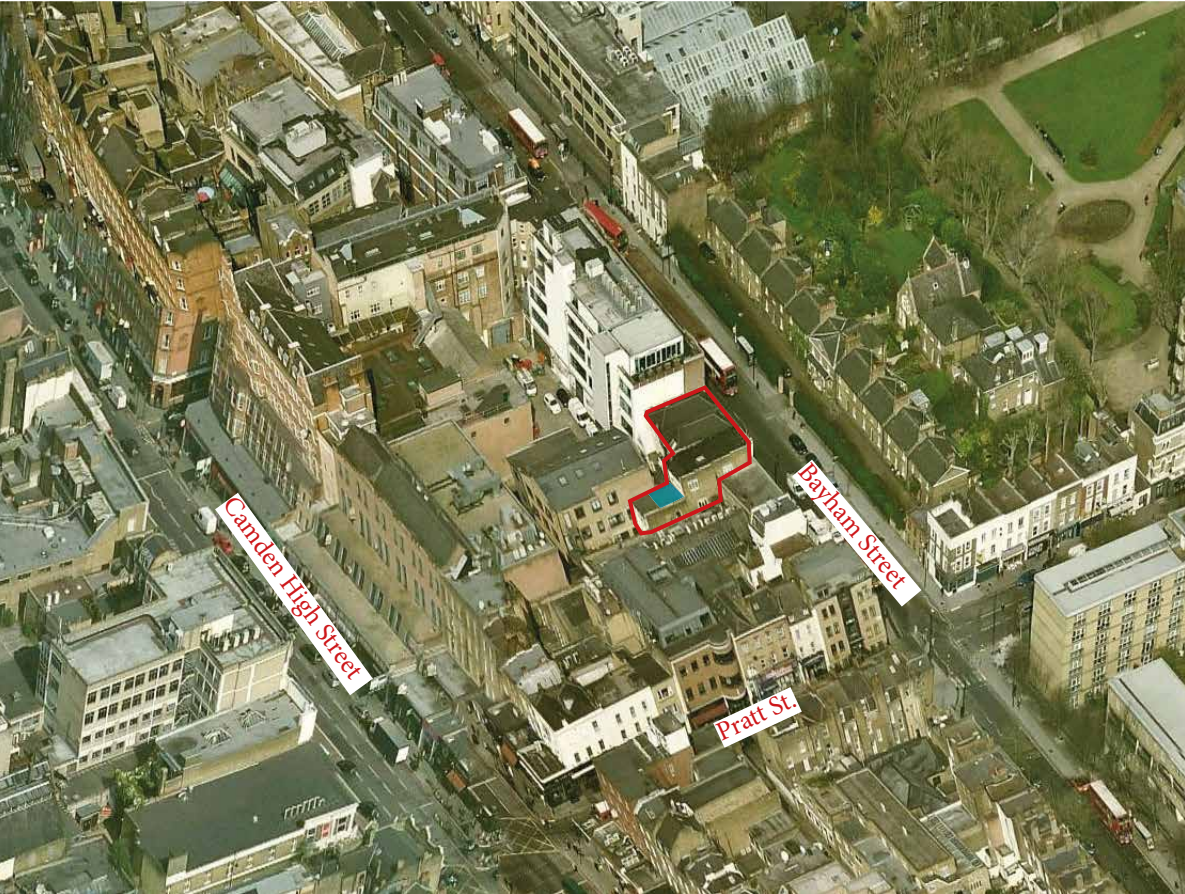




Aerial View

Location of terrace

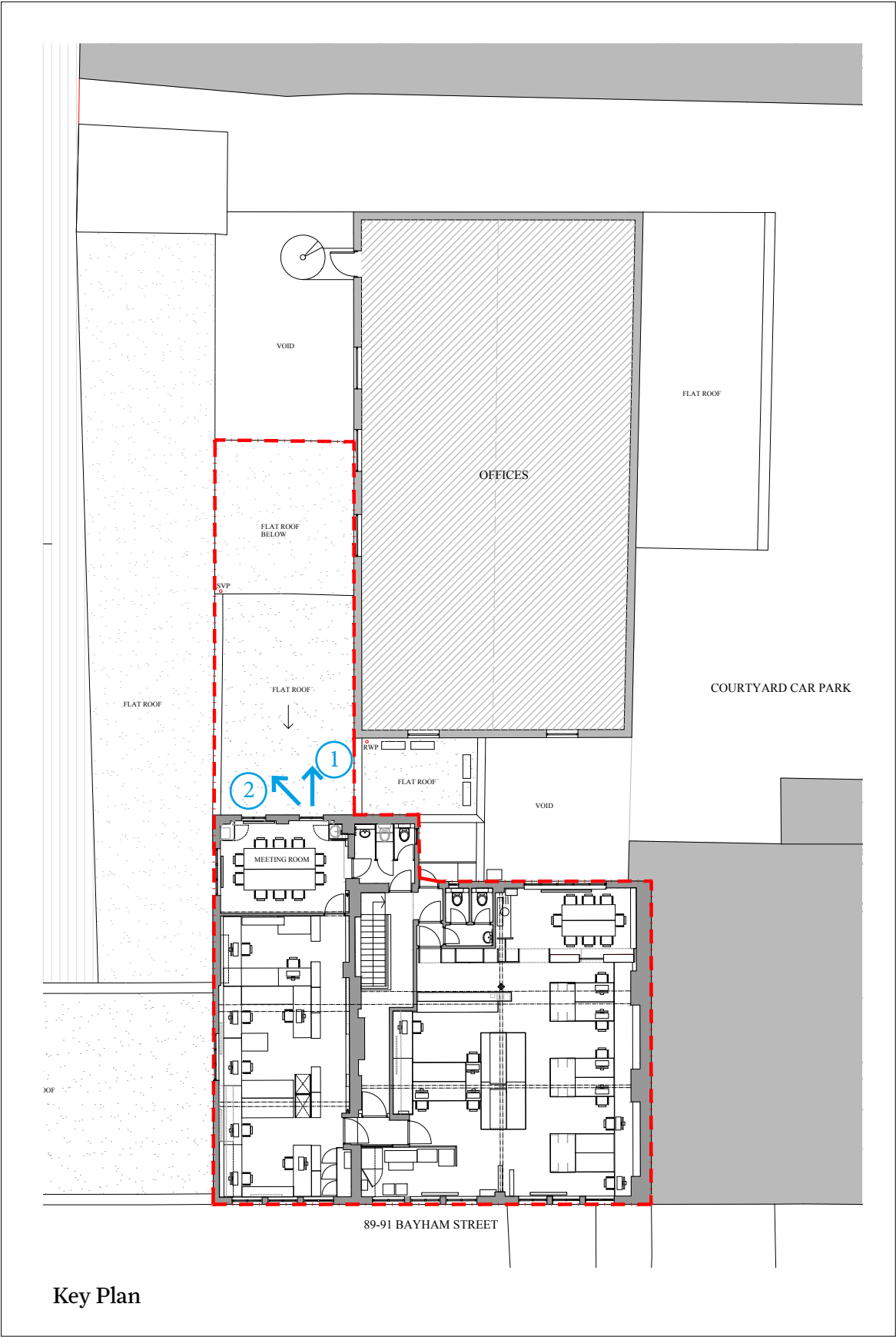
Property boundary

AERIAL PHOTOGRAPHS

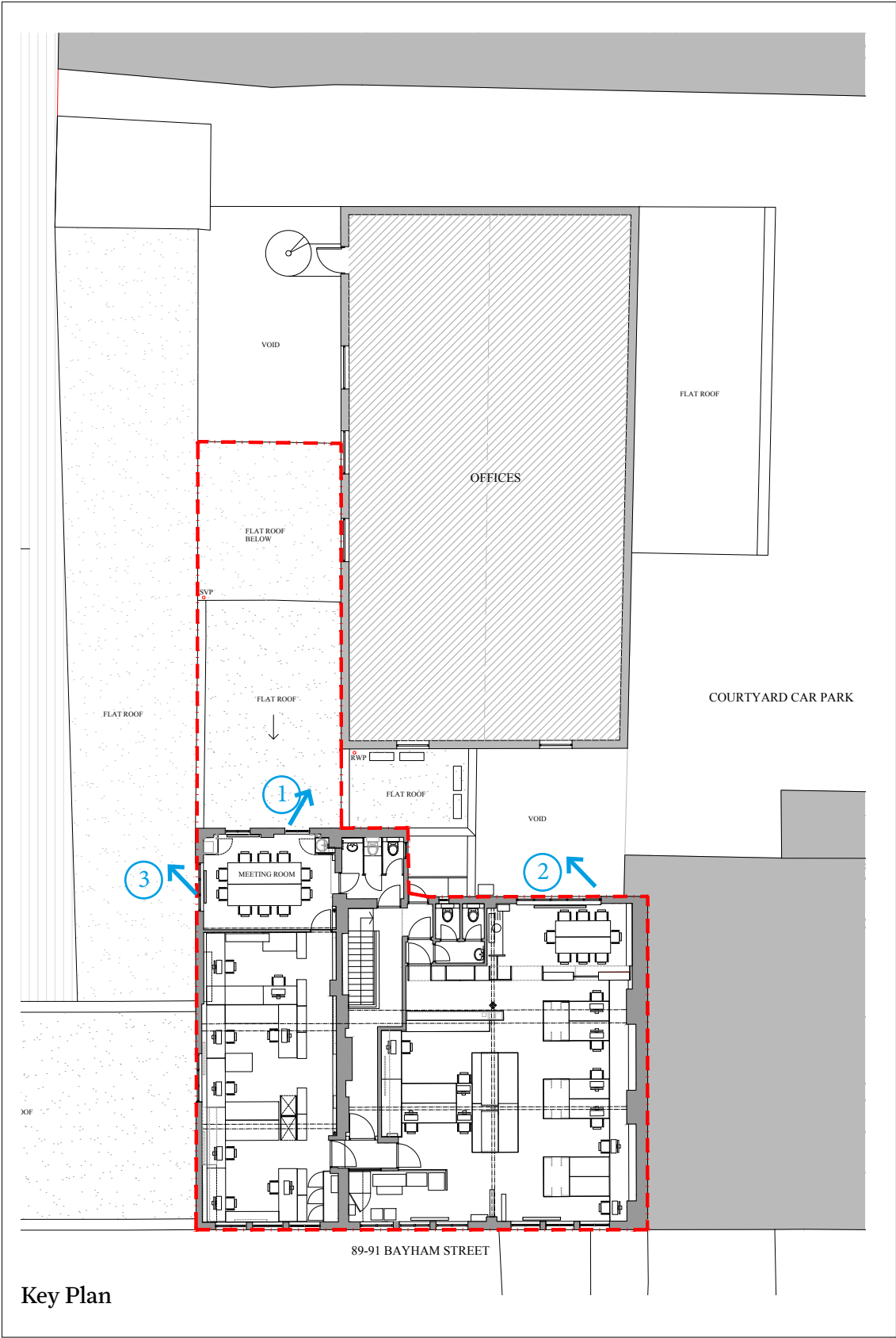


-  Location of terrace
-  Property boundary

REAR PHOTOGRAPHS



REAR PHOTOGRAPHS



INTERNAL PHOTOGRAPH



Internal photograph of the location of the proposed terrace door

PROPOSALS

A treated timber deck is proposed to sit on the existing flat roof.

Timber balustrading with timber slats and planters are proposed around the perimeter of the terrace to enclose the space.

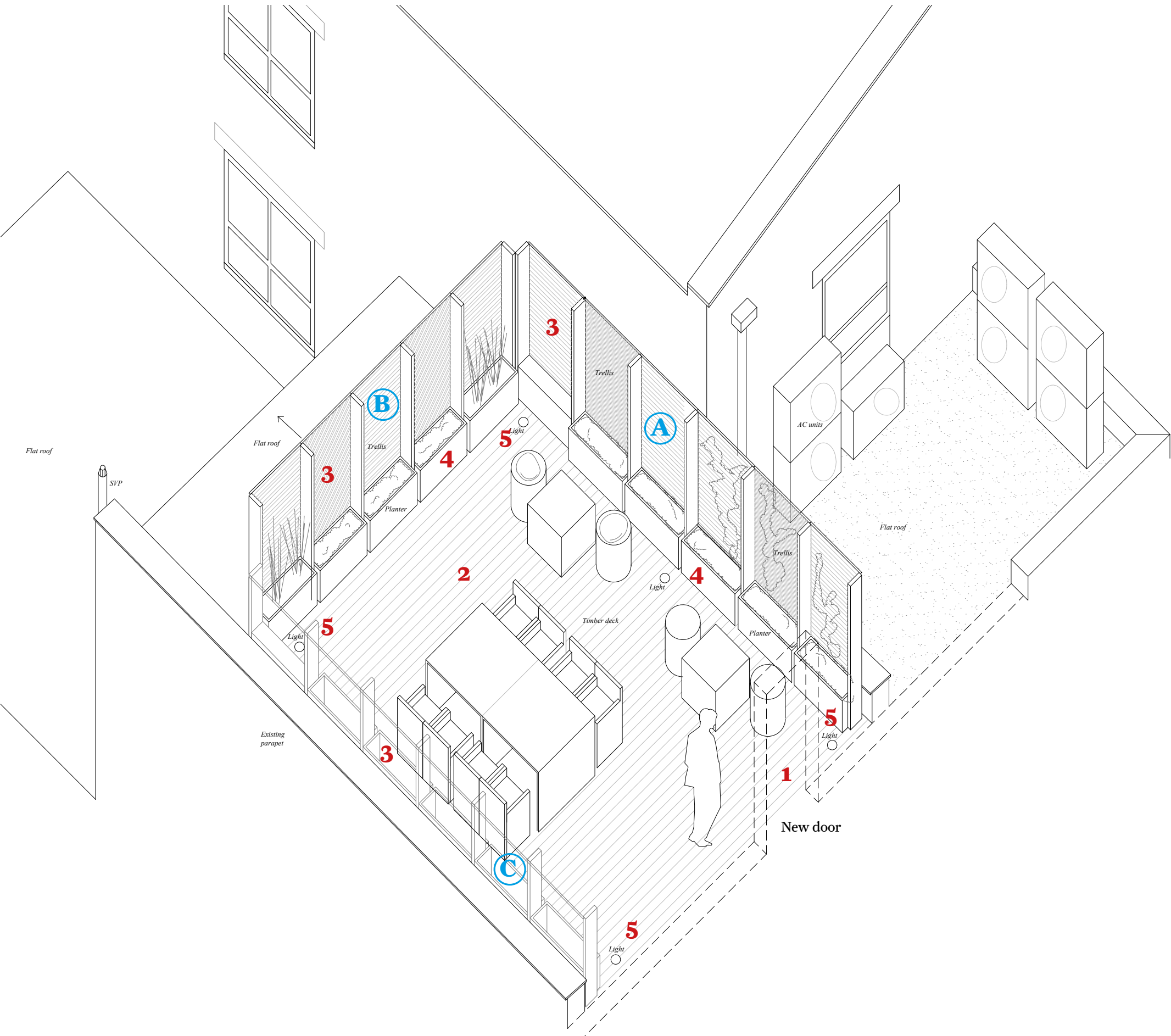
A 1800 mm screen is proposed to the northern side of the terrace [A] to limit the view of the existing air conditioning units of the neighbouring property.

A 1800 mm screen is proposed on the western side of the terrace to provide privacy from the windows of the immediately adjacent property [B].

Where there are no immediate neighbouring properties to the south of the terrace, a 1100mm balustrade is proposed [C].

PROPOSALS:

- [1] 1 x new opening in existing window opening and new aluminium door to roof terrace.
- [2] New timber deck above existing flat roof.
- [3] New timber balustrading with trellis.
- [4] Timber planters around perimeter.
- [5] Floor recessed external lighting (x 6).



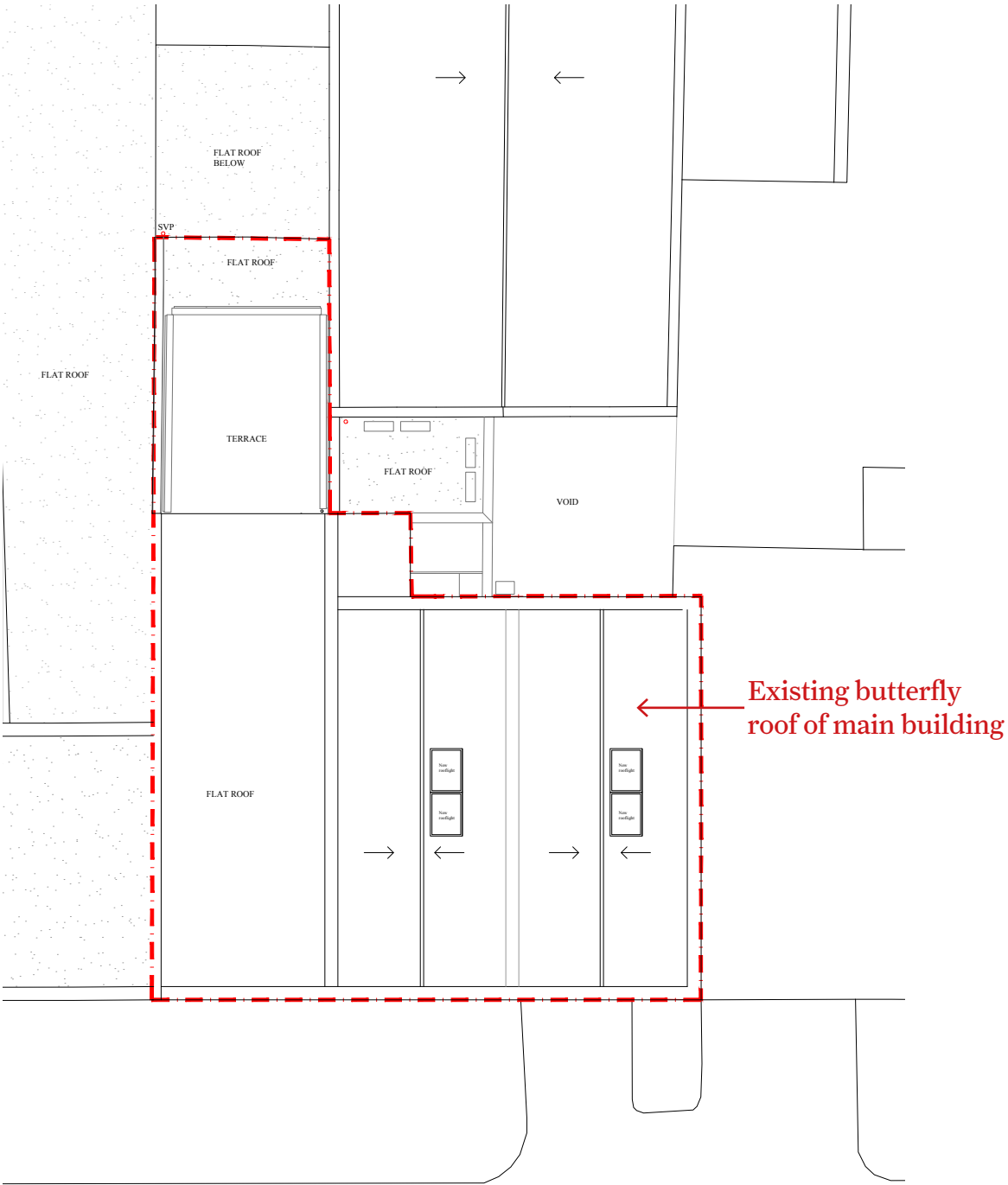
Axonometric of proposal

PROPOSAL - ROOFLIGHTS

Four new Velux rooflights are proposed to the roof of the main building to increase ventilation and natural light into the office area.



Front elevation from Bayham Street showing that the parapet conceals the existing roof.



Proposed roof plan