



FLAT No2 : 5 ROSECROFT AVENUE, LONDON  
NW3 7QA

DESIGN & ACCESS STATEMENT

Architect: **Eva Jiricna Architects Ltd**

3rd Floor  
38 Warren Street  
London W1T 6AE

**November 2016**

## CONTENTS

### 1.0 INTRODUCTION:

#### 1.1 Project Summary

#### 1.2 The Document

### 2.0 ASSESSMENT, POLICIES & CONTEXTUAL CONDITIONS:

#### 2.1 The Location, Site & Orientation

- Drawing No 804 PP 01 Site Location Plan.

#### 2.2 Planning Policies & Impact on Design

Drawing References for Photographs within the D & S.

- 804 Pics No1: Site Analysis / Picture Location References.

- 804 Pics No2: East View

- 804 Pics No3: North View

- 804 Pics No4: South View

#### 2.3 Passed Applications

### 3.0 DESIGN PROPOSAL, IMPACT & IMPROVEMENT:

#### 3.1 Existing Conditions

#### 3.2 Proposed Design & Improvements

#### 3.3 Summary

### 4.0 APPENDICES No 1:

Planning Application Drawings:

- 804 PP 01 Location Plan.

- 804 PP 02 Existing / Proposed Site Plans.

- 804 PP 03 Existing Proposed Roof Plans.

- 804 PP 04 Existing Plans.

- 804 PP 05 Existing Elevations.

- 804 PP 06 Existing Sections.

- 804 PP 07 Proposed Plans.

- 804 PP 08 Proposed Elevations.

- 804 PP 09 Proposed Sections.

**1.0 INTRODUCTION:**

## 1.0 INTRODUCTION:

### 1.1 Project Summary:

This Design & Access statement is limited in its scope due to the scale of the existing dwelling & the proposals which the planning application is being applied for.

In terms of mass, scale & usage there is no real impact. The application is for the replacement of existing building components such as windows / doors at both ground & lower ground level (introducing two windows at lower ground level), whilst also replacing / extending the existing landing & providing a new staircase.

The statement considers the context of the flat No 2, its orientation & the impact on both the existing building, its neighbours & the proposed improvements to the usage & enjoyment for the occupier.

'Preplanning Application Advice Consultation' was sought from Camden Council, which has been used in formulating both the design proposals & application (including development & planning guidance policies).

### 1.2 The Document:

The Design Access Statement has been subdivided into three sections. The 1<sup>st</sup> is the introduction to the application. The 2<sup>nd</sup> summaries 'The Assessment, Planning Policies & Contextual Conditions' in evaluation of the brief, site context, impact of planning guidelines & those it may affect. The 3<sup>rd</sup> deals with the design proposal & the manner in which they respond to the section No 2 & the benefits that will be gained from the proposed changes, whilst not affecting its surroundings or neighbours. The 3<sup>rd</sup> is a copy of the drawings for reference.

The reference to drawings termed 804 'Pics' are drawings which are contain site photographs & only appear in the Design & Access statement only.

## **2.0 ASSESSMENT, POLICIES & CONTEXTURAL CONDITIONS:**

## **2.0 ASSEMENT, POLICIES & CONTEXTURAL CONDITIONS:**

### **2.1 The Location, Site & Orientation:**

The property is located within the Redington & Frognal Conservation Area at the junction between Hollycroft & Rosecroft Avenue (refer to 804 PP 01). The site lies on the Westside of Rosecroft Avenue & consists of a four storey semi-detached house with flat No 2 occupying the lower garden level. It faces south west with the land profile beyond the garden rapidly falling away providing uninterrupted natural light, views of trees & landscape.

Originally the dwelling was a single property subdivided into semi-detached units with No 5 being converted into 6No flats, with flat No 2 being located at ground level (kitchen & lounge / living area) & lower ground level (bedrooms & bathroom).

The garden is at the rear & reached from the ground level lounge / living area via stepped access to a small landing & narrow staircase. The staircase is narrow with steep risers, all in all not a comfortable transition between the two areas. For reference to site photographs refer to drawing 804 Pic 1 (see later).

### **2.2 Planning Policies & Impact on Design:**

Although a very small development, Camden Council's Design Guides CS 14, DP 24 & 25 have been considered to ensure that the proposals are of the highest design standard in respect to its form, scale, character, material & detail subtly fitting into its setting.

The site being to rear of the building, the lower garden level is secluded. It is enclosed by a two storey masonry construction to the north (with roof terrace; refer to Pic No2 & 3), planted fences to both the south garden (refer to Pic No 4) & communal garden to the west.

Among others, CPG 1 & 2 have been used as guidance for the purpose of steering the design development for the proposed modifications to the existing facilities. The new bay window landing is well within the minimum limits stipulated by CPG2 for it to be classified as a balcony. The existing isolated landing to the north has been extended in line with the new landing to form a minimal seating area, whilst also acting as the landing to the new staircase; the extent of the garden terrace will remain as existing.

The area in question is well concealed by the existing protruding bay of flat No 2 & the solid masonry wall of flat No 5 (refer to Pic No 3). There are in fact two other existing roof terraces that form part of the other flats within the context of the building.

The main existing windows & doors are of a simple contemporary metal design & construction, although scrolled metal security doors are fitted to the lower ground window doors. There is only one narrow sash window either side of the main bay construction.

### **2.3 Past Applications:**

Viewing past planning applications, it was noted that when the original application was granted in 1969, flat No 2 was proposed with a central landing & staircase leading down from the ground to lower garden level – it is unclear why this was not constructed.



5 ROSECROFT AVENUE

3 ROSECROFT AVENUE

EXISTING BALCONY / TERRACE



**1 SITE PHOTO SHOWING No 3 & 5 ROSECROFT AVENUE (EAST VIEW)**

**FLAT No 2**

- 1 EXISTING STAIRCASE & BALCONY LANDING
- 2 SIDE OPENING DOOR PANELS
- 3 FULL HEIGHT GLAZED PANEL

DIMENSIONS NOT TO BE SCALED FROM THIS DRAWING CONTRACTORS TO NOTIFY ARCHITECTS OF SITE VARIATIONS AFFECTING INFORMATION ON THIS DRAWING

Rev.	Date	Description	By	Chkd	App.	App.	Rev.	Date	Description	By	Chkd	App.	App.

**NOTES**  
 THIS DRAWING IS FOR INFORMATION ONLY. DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER EXISTING CONTEXT AND SURVEY DRAWINGS. ANY DISCREPANCIES IN THE DRAWING AND ANY DIMENSIONS SHOULD BE REPORTED DIRECT TO THE ARCHITECT FOR CLARIFICATION & CONFIRMATION OF INSTRUCTION.  
 THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER ARCHITECTURAL, LANDSCAPE, STRUCTURAL, MECHANICAL, ELECTRICAL, AND ANY OTHER CONSULTANT'S DRAWINGS AND REPORTS.  
 MFILES

**EVA JIRICNA ARCHITECTS LIMITED**  
 THIRD FLOOR  
 38 WARREN STREET  
 LONDON W1T 6AE  
 Tel: 020 7554 2400  
 Fax: 020 7388 8022  
 e-mail: mol@ejol.com

**PROJECT**  
 Flat No 2  
 5 Rosecroft Avenue  
 London NW3 7QA

**DRAWING TITLE**  
 Site Photos  
 East View

**DATE**  
 Nov 2016

**SCALE**  
 NTS

**DRAWING No.**  
 804

**REV.**  
 Pic 02







**1 VIEW TO NORTH EAST (STUDIO FLAT & FLAT No 3 TERRACE)**

- 1 EXISTING STAIRCASE & BALCONY LANDING
- 2 SIDE OPENING DOOR PANELS
- 3 FULL HEIGHT GLAZED PANEL



EXISTING FULL LENGTH BALCONY

**2 VIEW TO THE EAST BETWEEN FLAT No 2 & 3 ROSECROFT AVENUE**

- 1 EXISTING STAIRCASE & BALCONY LANDING
- 2 SIDE OPENING DOOR PANELS
- 3 FULL HEIGHT GLAZED PANEL

DIMENSIONS NOT TO BE SCALED FROM THIS DRAWING CONTRACTORS TO NOTIFY ARCHITECTS OF SITE VARIATIONS AFFECTING INFORMATION ON THIS DRAWING

Rev.	Date	Description	By	Chkd	App.	App.	Rev.	Date	Description	By	Chkd	App.	App.	NOTES	EVA JIRICNA ARCHITECTS LIMITED THIRD FLOOR 38 WARREN STREET LONDON W1T 6AE Tel 020 7554 2400 Fax 020 7388 8022 e-mail: mol@ejol.com	PROJECT Flat No 2 5 Rosecroft Avenue London NW3 7QA	DATE Nov 2016
														THIS DRAWING IS FOR INFORMATION ONLY. DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER EXISTING CONTEXT AND SURVEY DRAWINGS. ANY DISCREPANCIES IN THE DRAWING AND ANY DIMENSIONS SHOULD BE REPORTED DIRECT TO THE ARCHITECT FOR CLARIFICATION & CONFIRMATION OF INSTRUCTION. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER ARCHITECTURAL, LANDSCAPE, STRUCTURAL, MECHANICAL, ELECTRICAL, AND ANY OTHER CONSULTANTS' DRAWINGS AND REPORTS.		DRAWING TITLE Site Photos East View	SCALE NTS
																DRAWING No. 804	REV. Pic 04

**3.0 DESIGN PROPOSAL, IMPACT & IMPROVEMENT:**

### 3.0 DESIGN IMPACT & IMPROVEMENT:

The existing conditions & proposal were summarised in section No 2.0 Assessment, Policies & Contextual Conditions. In brief this section highlights the 'Existing Conditions' for 'Proposed Improvements' including the replacement of the existing windows / doors, introducing more light into the bedrooms, modifying the route from the upper ground level to the garden.

#### 3.1 Existing Conditions:

##### **Bay Windows & Doors:**

- Although the living / lounge area has a large glazed window providing a natural source of light, uninterrupted views, it is also limited with the only openable windows being either side, they in themselves being narrow. There is no real sense or relationship between the inside & garden area.

##### **Access to Garden:**

- Main access to the garden is reached from the ground level living area via a set of very narrow bay doors located to the side. From the doors there is a step down to a concrete landing (a very difficult transition), which leads to a steep staircase to garden below, generally a very difficult route to manoeuvre especially taking things to & through from the kitchen / living area. After many years the stair itself is starting to deteriorate & will require replacement.

##### **Bedroom & Natural Light:**

- Although bedrooms have the same orientation as the living area they are at the lower garden level, have a narrow deep plan with limited natural light provided by slim windows (W 4 & 5) & doors (D3 & 4). All these openings are fitted with scrolled iron security doors which detract from the building's appearance, whilst creating a caged effect to the occupant.

#### 3.2 Proposed Improvements:

##### **Bay Windows & Doors:**

- To replace the existing large single window (W2) with a twin unit single sliding door allowing increased connection to the external environment, whilst providing access to a new landing. Door D1 & D2 would be fixed windows with limited tilt facility for ventilation. Both the landing & balustrade would be constructed from clear low iron structural glass, minimum of structure, so when observed the form & mass of the dwelling is still the dominate view.

##### **Access to Garden:**

- The existing concrete landing, staircase would be removed & replaced with a new glass balcony / balustrade (stated above). The landing would be level with the internal floor level eliminating the existing stepped access. The longer landing would also form a larger area between the façade wall of flat No 2 & that of the two masonry extension wall of adjacent property flat No 3. The staircase will be increased in width, number of risers increased, which improves the access between the living area & garden

**Bedroom & Natural Light:**

- All windows & doors are to be replaced & use low iron security glass eliminating the need for the scrolled security grillage. This would improve the external appearance & interior of the dwelling. The proposals include the introduction of two new openings (W6 & W7) that align with the ground floor doors (D1 & D2) & the adjacent doors / windows.

**3.3 Summary:**

Taking the location & context of the proposal in question, the replacement of the existing landing / staircase provides level access from the living area to the new landing / staircase, a real improvement in navigation & use. The choice of materials (mainly glass) allows the mass of the building to be visually retained as the dominant architectural feature.

There is no detriment to the neighbours with the widened landing being positioned to the northern boundary extension & is enclosed by the existing two storey bay structure, which isolates it from the south boundary of No3. This creates a minimal seating area, whilst it also provides access to the new staircase.

The two additional windows to the lower garden bay structure will provide additional light to the bedroom areas. Within the context of both the building & bay, they align with the existing apertures & are well balanced with the overall larger context.

The proposals are discrete & sensitive, having no adverse impact to both the building(s) & neighbours.





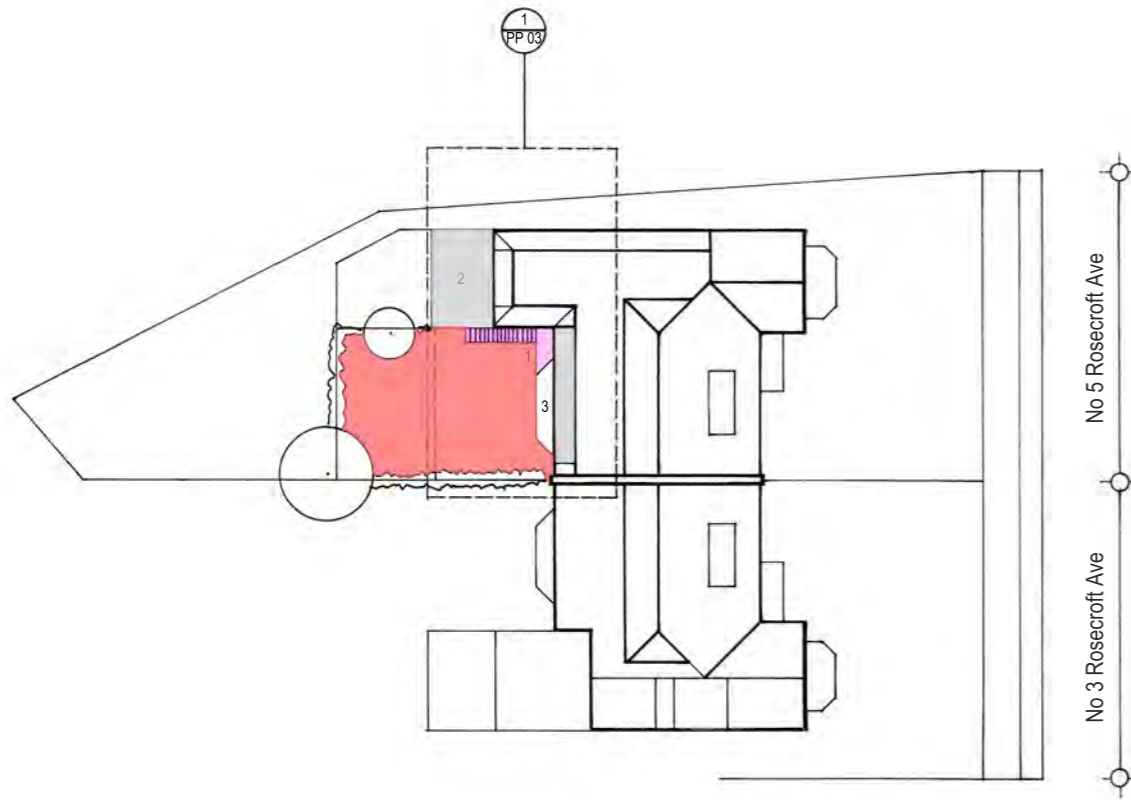
1

PLAN : SITE LOCATION

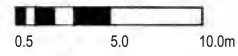
■ 5 ROSECROFT AVENUE / FLAT No 2- LOWER & GROUND LEVEL

Rev.	Date	Description	By	Chkd	App.	App.	Rev.	Date	Description	By	Chkd	App.	App.	NOTES	PROJECT	DATE
														THIS DRAWING IS FOR INFORMATION ONLY. DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER EXISTING CONTEXT AND SURVEY DRAWINGS. ANY DISCREPANCIES IN THE DRAWING AND ANY OMISSIONS SHOULD BE REPORTED DIRECT TO THE ARCHITECT FOR CLARIFICATION & CONFIRMATION OF RESTRICTION.	EVA JIRICNA ARCHITECTS LIMITED	November 2016
														THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER ARCHITECTURAL, LANDSCAPE, STRUCTURAL, MECHANICAL, ELECTRICAL AND ANY OTHER CONSULTANTS DRAWINGS AND REPORTS.	Flat No 2 5 Rosecroft Avenue London NW3 7QA	SCALE 1: 1250 @ A3
														THIRD FLOOR 138 WARREN STREET LONDON W1T 5AE Tel: 020 7554 2400 Fax: 020 7388 8022 e-mail: mail@ejal.com	Site Plan	DRAWING No. REV 804 PP 01

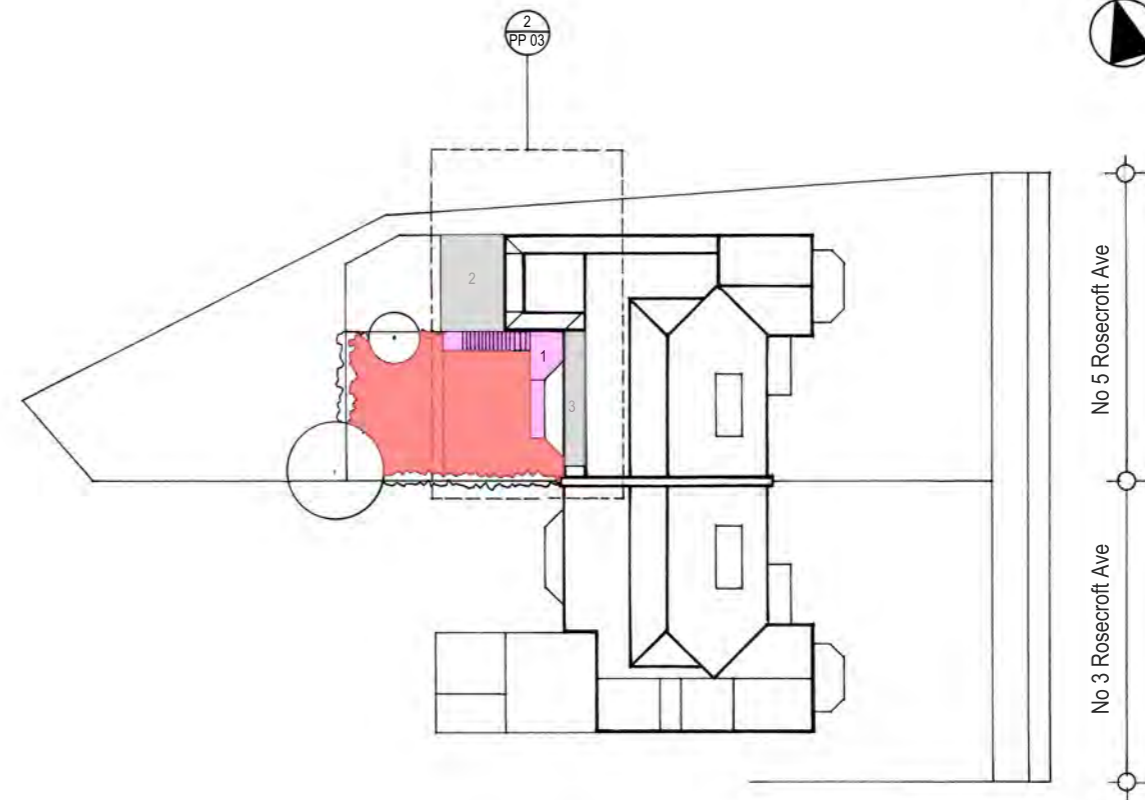
DRAWING NOT TO BE SCALED FROM THIS DRAWING. CONSULT WITH ARCHITECT FOR ANY CORRECTIONS AFFECTING INFORMATION ON THIS DRAWING.



1 EXISTING PLAN : ROOF / GARDEN.



- 1.0 Existing Low Level Garden Landing & Staircase to Flat No 2
- 2.0 High Level Roof Terrace to Flat No 3
- 3.0 High Level Roof Terrace to Flat No 5



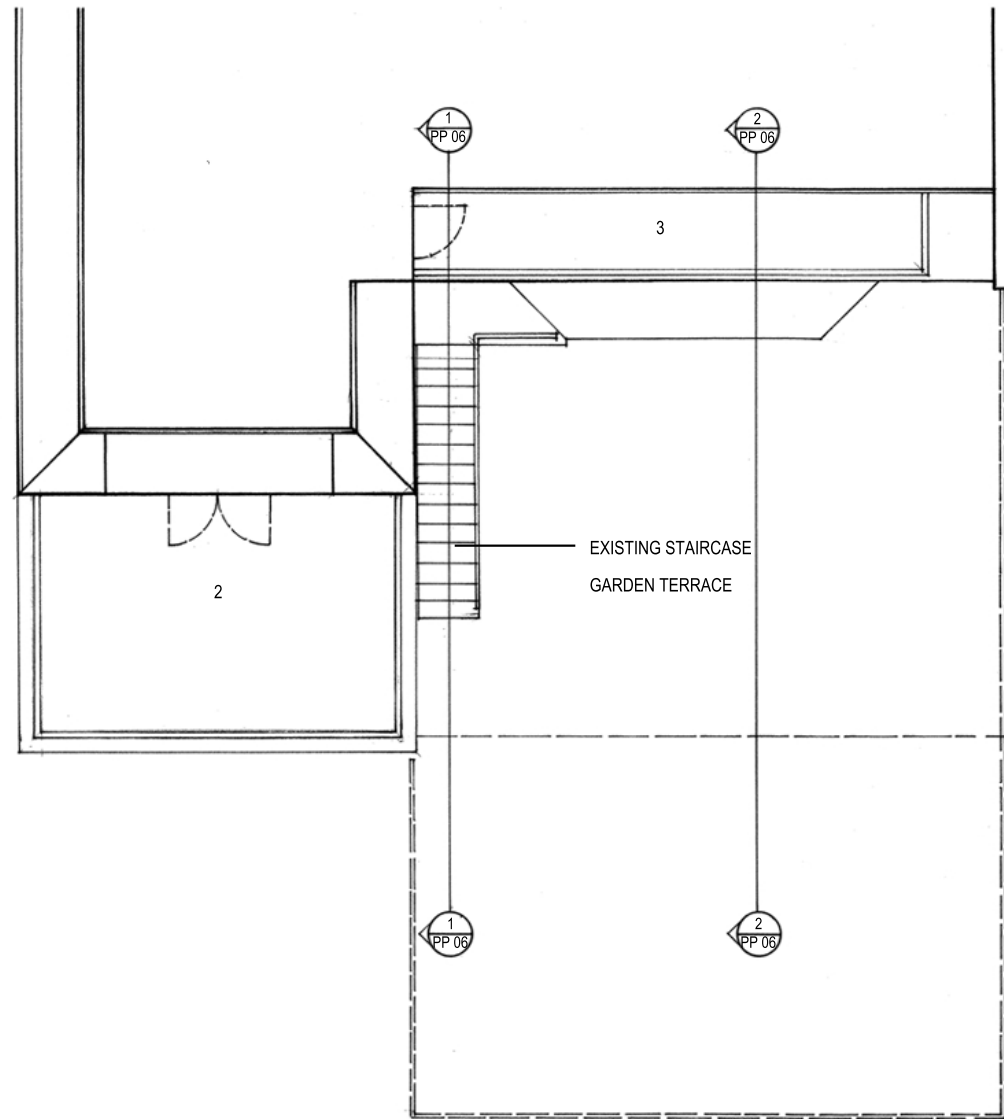
2 PROPOSED PLAN : ROOF / GARDEN

- 1.0 Proposed Replacement Landing & Staircase to Flat No 2
- 2.0 Existing High Level Roof Terrace to Flat No 3
- 3.0 Existing High Level Roof Terrace to Flat No 5

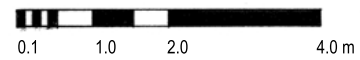
DIMENSIONS NOT TO BE SCALED FROM THIS DRAWING. CONTRACTORS TO NOTIFY ARCHITECTS OF SITE VARIATIONS AFFECTING INFORMATION ON THIS DRAWING

REVISIONS	NOTES	<b>EVA JIRICNA ARCHITECTS LIMITED.</b> THIRD FLOOR 38 WARREN STREET LONDON W1T 6AF Tel 020 7554 2400 Fax 020 7388 8022 e-mail: mol@ejal.com	<b>PROJECT</b> FLAT No 2 5, ROSECROFT AVENUE LONDON NW3 7QA	<b>DATE</b> OCTOBER 2016
			<b>DRAWING TITLE</b> PLAN: EXISTING / PROPOSED SITE ROOF PLANS	<b>SCALE</b> 1:200 @ A1
			<b>DRAWING No</b> 804 / PP 02	<b>REV</b>

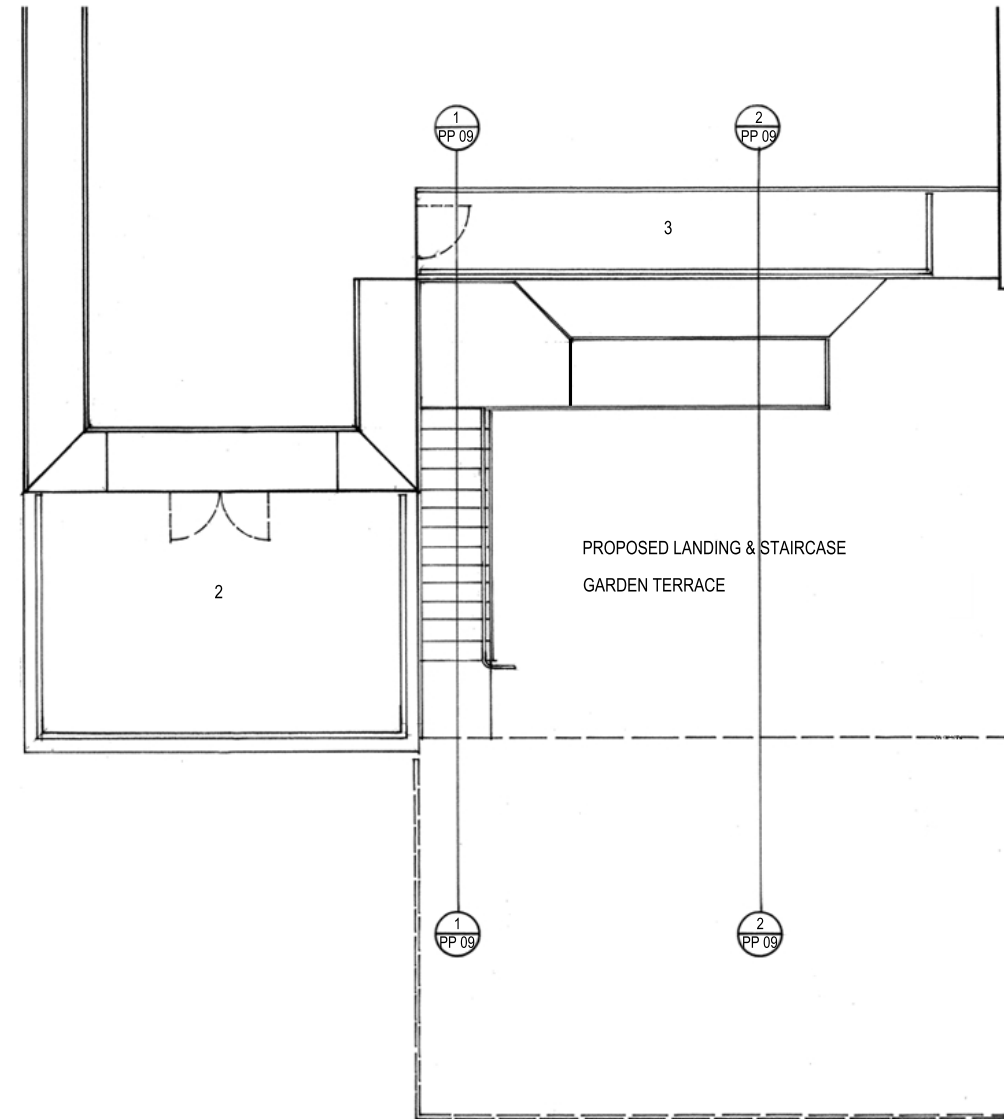




1 EXISTING PLAN : ROOF TERRACES, LANDINGS & STAIRCASE



- 1.0 Existing Low Level Garden Landing & Staircase to Flat No 2
- 2.0 High Level Roof Terrace to Flat No 3
- 3.0 High Level Roof Terrace to Flat No 5

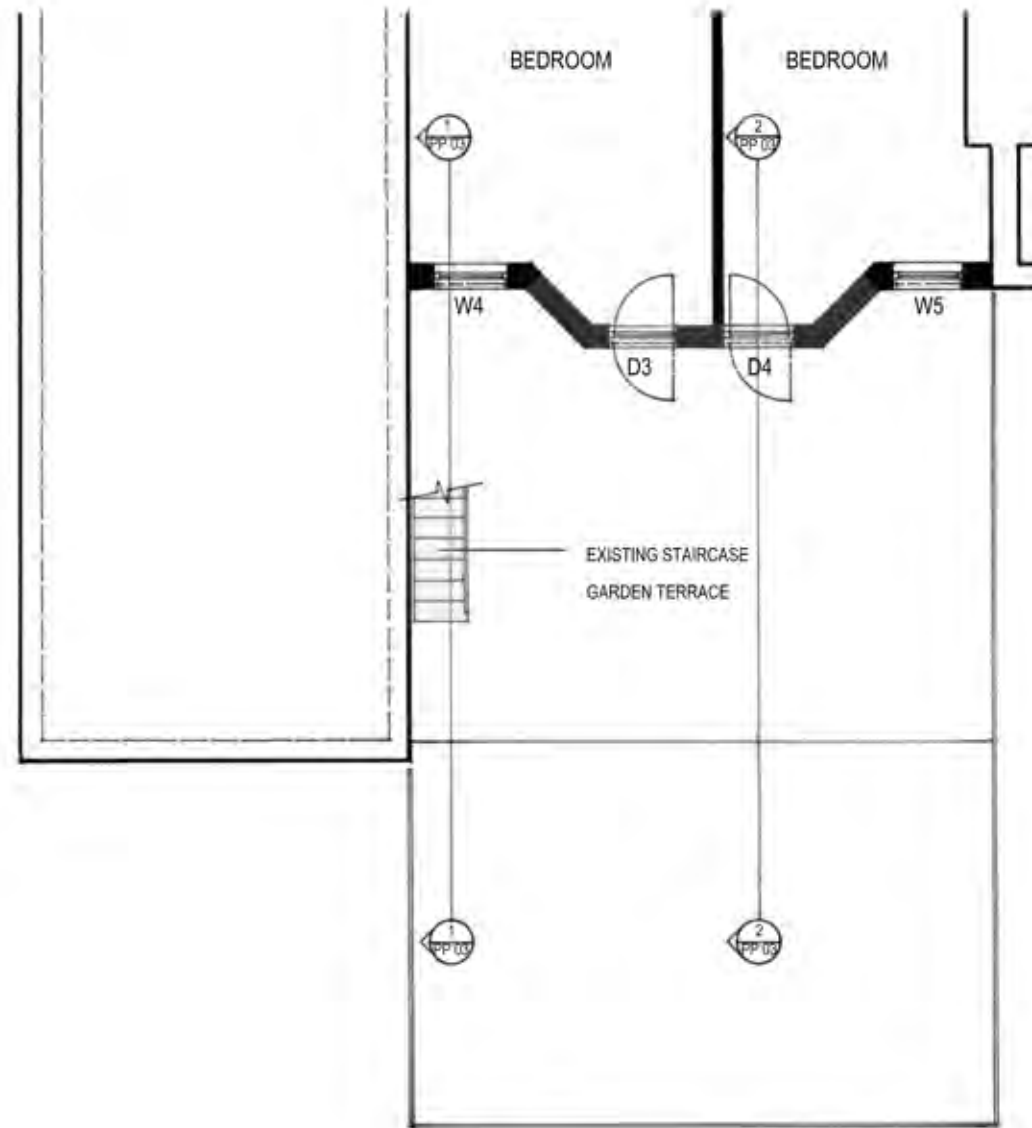


2 PROPOSED PLAN : ROOF TERRACES, LANDING & STAIRCASE TO FLAT No 2

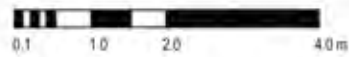
- 1.0 Proposed Low Level landing & Staircase to Flat No 2
- 2.0 Existing High Level Roof Terrace to Flat No 3
- 3.0 High Level Roof Terrace to Flat No 5

DIMENSIONS NOT TO BE SCALED FROM THIS DRAWING. CONTRACTORS TO NOTIFY ARCHITECTS OF SITE VARIATIONS AFFECTING INFORMATION ON THIS DRAWING.

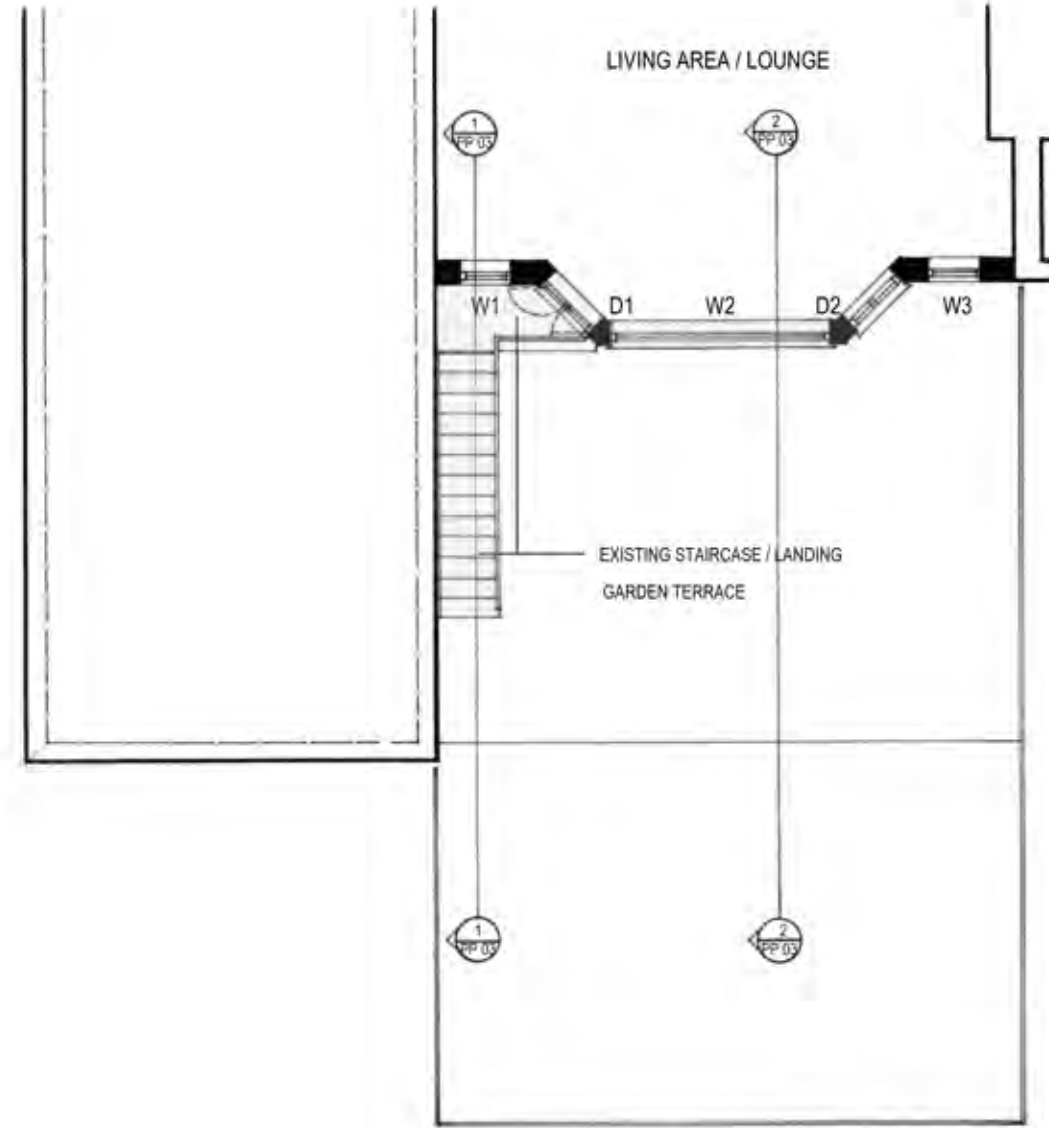
REVISIONS	NOTES	<b>EVA JIRICNA ARCHITECTS LIMITED.</b> THIRD FLOOR 38 WARREN STREET LONDON W1T 6AE Tel 020 7554 2400 Fax 020 7388 8022 e-mail: mol@ejl.com	PROJECT FLAT No 2 5, ROSECROFT AVENUE LONDON NW3 7QA	DATE OCTOBER 2016
			DRAWING TITLE PLAN: EXISTING / PROPOSED GARDEN TERRACES & STAIRCASES	SCALE 1: 50 @ A1
			DRAWING No 804 / PP 03	REV



1 EXISTING PLAN : LOWER GROUND LEVEL / GARDEN



■ DENOTES AREA OF DEMOLITION & RECONSTRUCTION



2 EXISTING PLAN : GROUND LEVEL

**WINDOW REFERENCES:**

- W 1 & 3: SASH WINDOWS.
- W 2: FIXED WINDOW.
- W 4 & 5: SEMI TILT WINDOWS WITH CAST METAL SCROLL SECURITY GRILLES.

**DOOR REFERENCES:**

- D 1 & 2: OPENING & FIXED DOORS.
- D 3 & 4: OPENING DOOR WITH SECURITY CAST METAL SCROLL SECURITY GRILLES.

**EXISTING CONSTRUCTION:**

**WINDOWS & DOORS:**  
MIXTURE OF METAL / TIMBER FRAMED WINDOW / DOORS, CLEAR GLASS, WITH CAST SCROLL METAL SECURITY GRILLES DOORS.

**LANDING & STAIRCASE:**

LANDING - INSITU CAST FAIR FACE CONCRETE.  
STAIRCASE - MILD STEEL PAINTED BLACK WITH MILD STEEL TREAD TRAYS WITH TIMBER INSERTS.

DIMENSIONS MAY VARY FROM DRAWING CONTRACTORS TO NOTIFY ARCHITECTS OF ANY VARIATIONS AFFECTING INFORMATION ON THE DRAWING

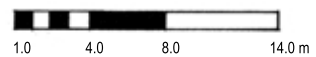
REVISIONS	NOTES	<b>EVA JIRICNA ARCHITECTS LIMITED.</b> <small>THIRD FLOOR 38 WARREN STREET LONDON, W1T 3AQ Tel: 020 7554 3400 Fax: 020 7388 8022 e-mail: eva@ejl.com</small>	<b>PROJECT</b> FLAT No 2 5, ROSECROFT AVENUE LONDON NW3 7QA	<b>DATE</b> NOVEMBER 2015
			<b>DRAWING TITLE</b> PLANS: EXISTING LOWER GROUND & GROUND LEVEL	<b>SCALE</b> 1:50 @ A1
			<b>DRAWING No</b> 804 / PP 04	<b>REV</b>



STUDIO FLAT      FLAT No 2 GARDEN FLAT

No 5 ROSECROFT AVENUE      No 3 ROSECROFT AVENUE

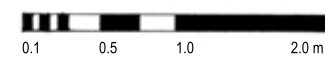
1 EXISTING ELEVATION : SCALE 1: 200 @ A1



■ DENOTES AREA OF DEMOLITION & RECONSTRUCTION.



2 EXISTING ELEVATION : SCALE 1: 50 @ A1



**WINDOW REFERENCES:**  
 W 1 & 3 : SASH WINDOWS.  
 W 2 : FIXED WINDOW.  
 W 4 & 5 : SEMI TILT EDGE WINDOWS WITH CAST SCROLL SECURITY GRILLES.

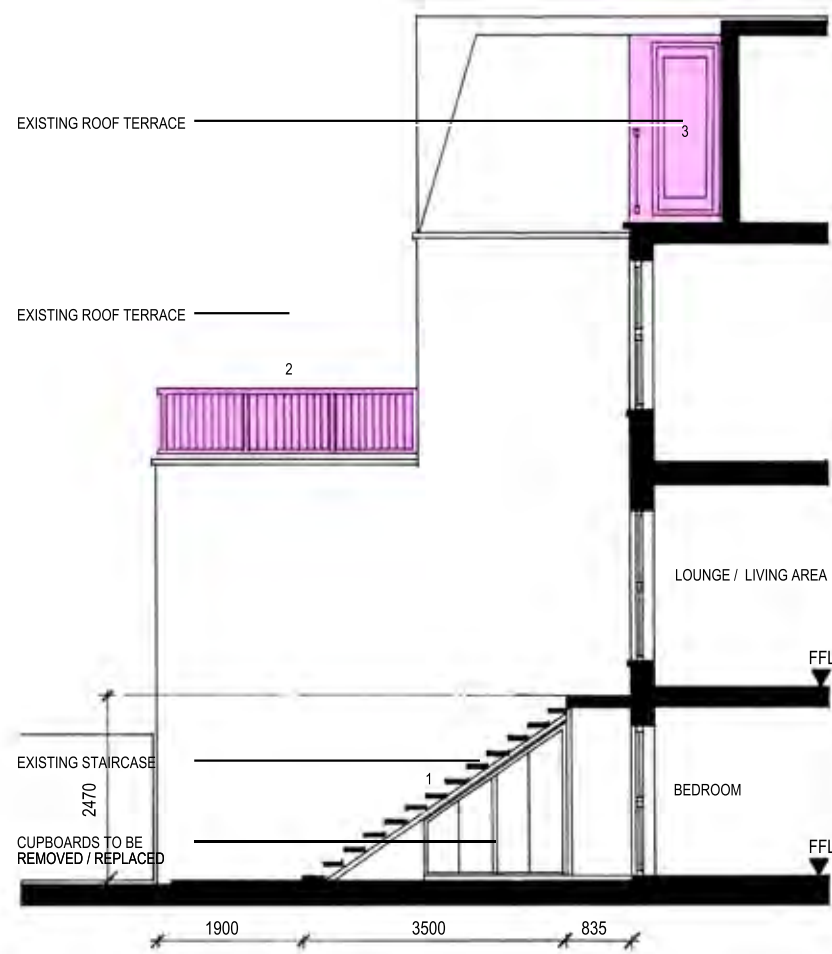
**DOOR REFERENCES:**  
 D 1 & 2 : OPENING & FIXED DOORS.  
 D 3 & 4 : OPENING DOOR WITH SECURITY GRILLES.

**EXISTING CONSTRUCTION:**  
**WINDOWS & DOORS:**  
 MIXTURE OF METAL / TIMBER FRAMED WINDOW / DOORS, CLEAR GLASS, WITH CAST METAL SCROLL SECURITY GRILLES DOORS.

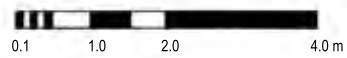
**LANDING & STAIRCASE:**  
 LANDING - INSITU CAST FAIR FACE CONCRETE.  
 STAIRCASE - MILD STEEL PAINTED BLACK WITH MILD STEEL TREAD TRAYS WITH TIMBER INSERTS.

DIMENSIONS NOT TO BE SCALED FROM THIS DRAWING. CONTRACTORS TO NOTIFY ARCHITECTS OF SITE VARIATIONS AFFECTING INFORMATION ON THIS DRAWING.

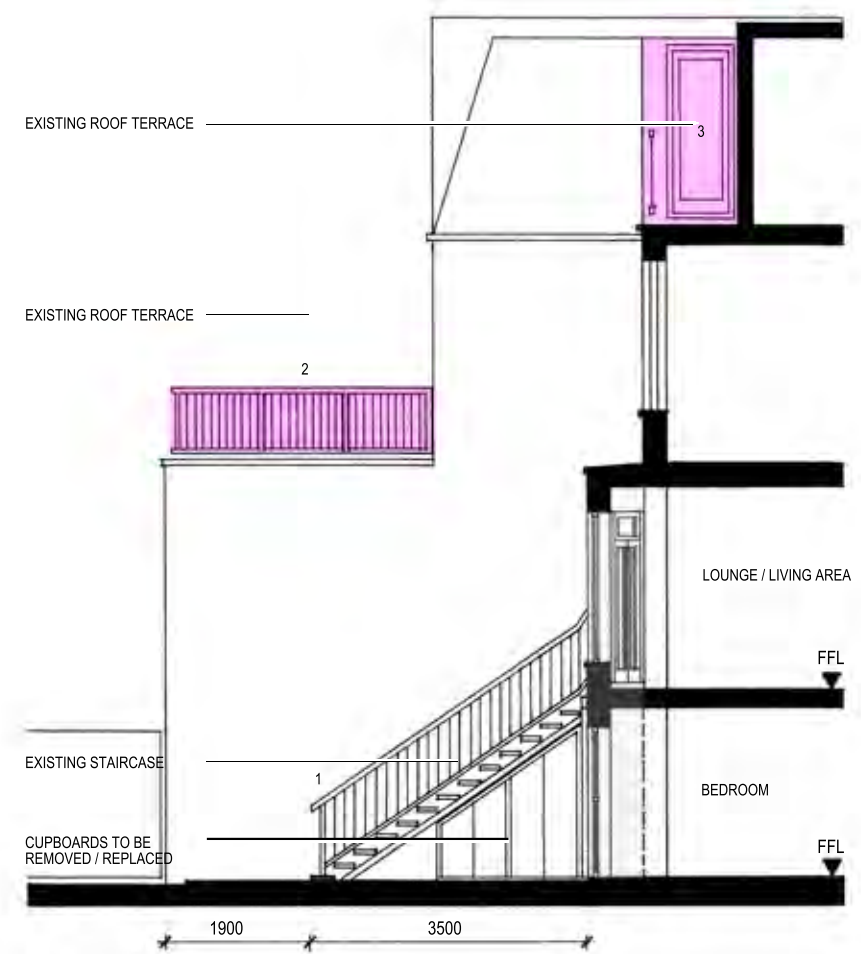
REVISIONS	NOTES	<b>EVA JIRICNA ARCHITECTS LIMITED.</b> <small>THIRD FLOOR          38 WARREN STREET          LONDON W1F 5AE          Tel 020 7554 2400          Fax 020 7388 8022          e-mail mol@ejl.com</small>	<b>PROJECT</b> FLAT No 2 5, ROSECROFT AVENUE LONDON NW3 7QA	<b>DATE</b> NOVEMBER 2016
			<b>DRAWING TITLE</b> EXISTING ELEVATIONS CONTEXT & No 5 ROSECROFT AVENUE	<b>SCALE</b> 1: 200 & 1: 50 @ A1
			<b>DRAWING No</b> 803 / PP 05	<b>REV</b>



1 EXISTING SECTION : No 1



- 1.0 Existing Low Level Staircase & Landing to Flat No 2
- 2.0 High Level Roof Terrace to Flat No 3
- 3.0 High Level Roof Terrace to Flat No 5
- Existing Terraces
- DENOTES AREA OF DEMOLITION & RECONSTRUCTION.



2 EXISTING SECTION : No 2

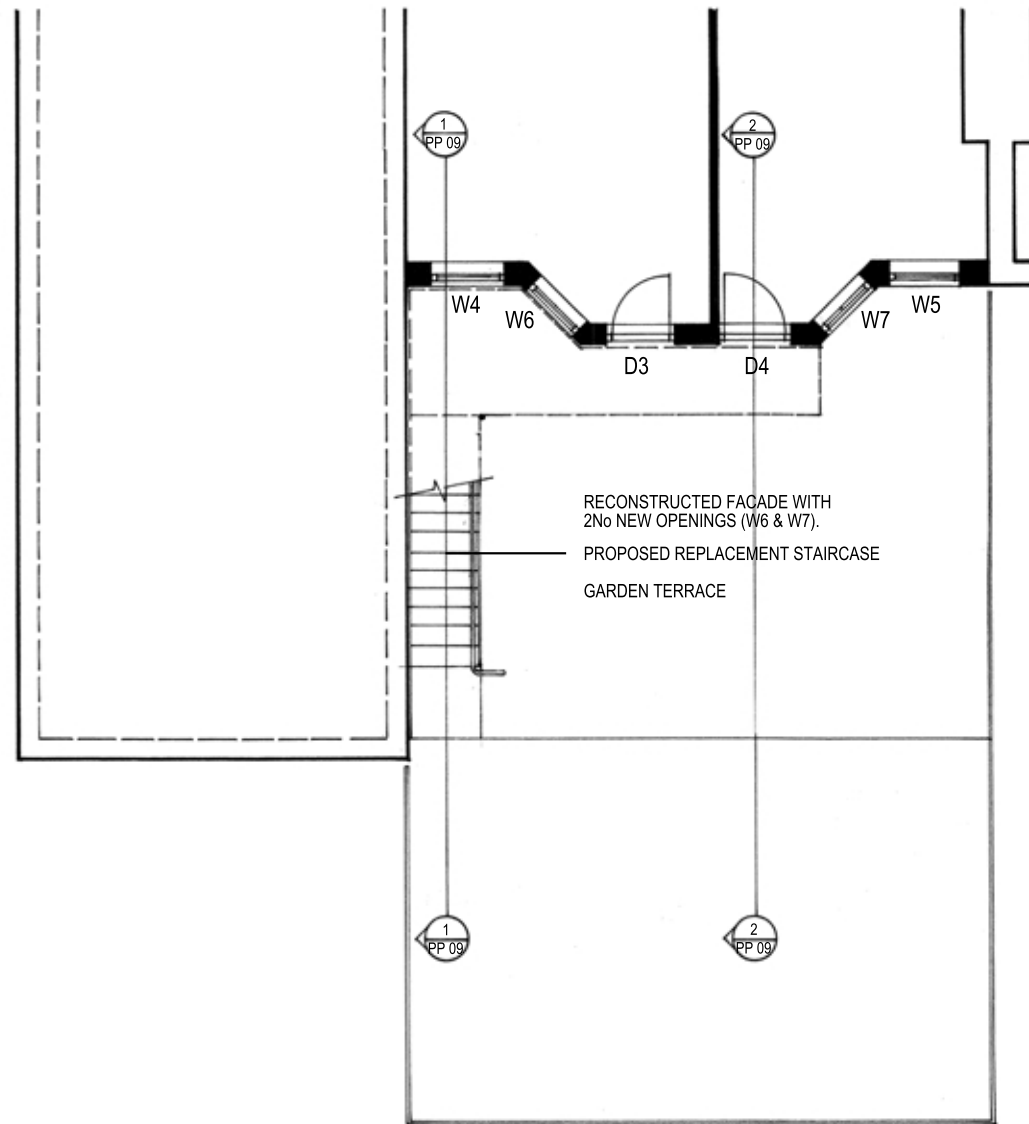
- 1.0 Low Level Garden Staircase & Landing to Flat No 2
- 2.0 Existing High Level Roof Terrace to Flat No 3
- 3.0 High Level Roof Terrace to Flat No 5

**EXISTING CONSTRUCTION:**  
**WINDOWS & DOORS:**  
 MIXTURE OF METAL / TIMBER FRAMED WINDOW / DOORS, CLEAR GLASS, WITH CAST METAL SCROLL SECURITY GRILLE DOORS.

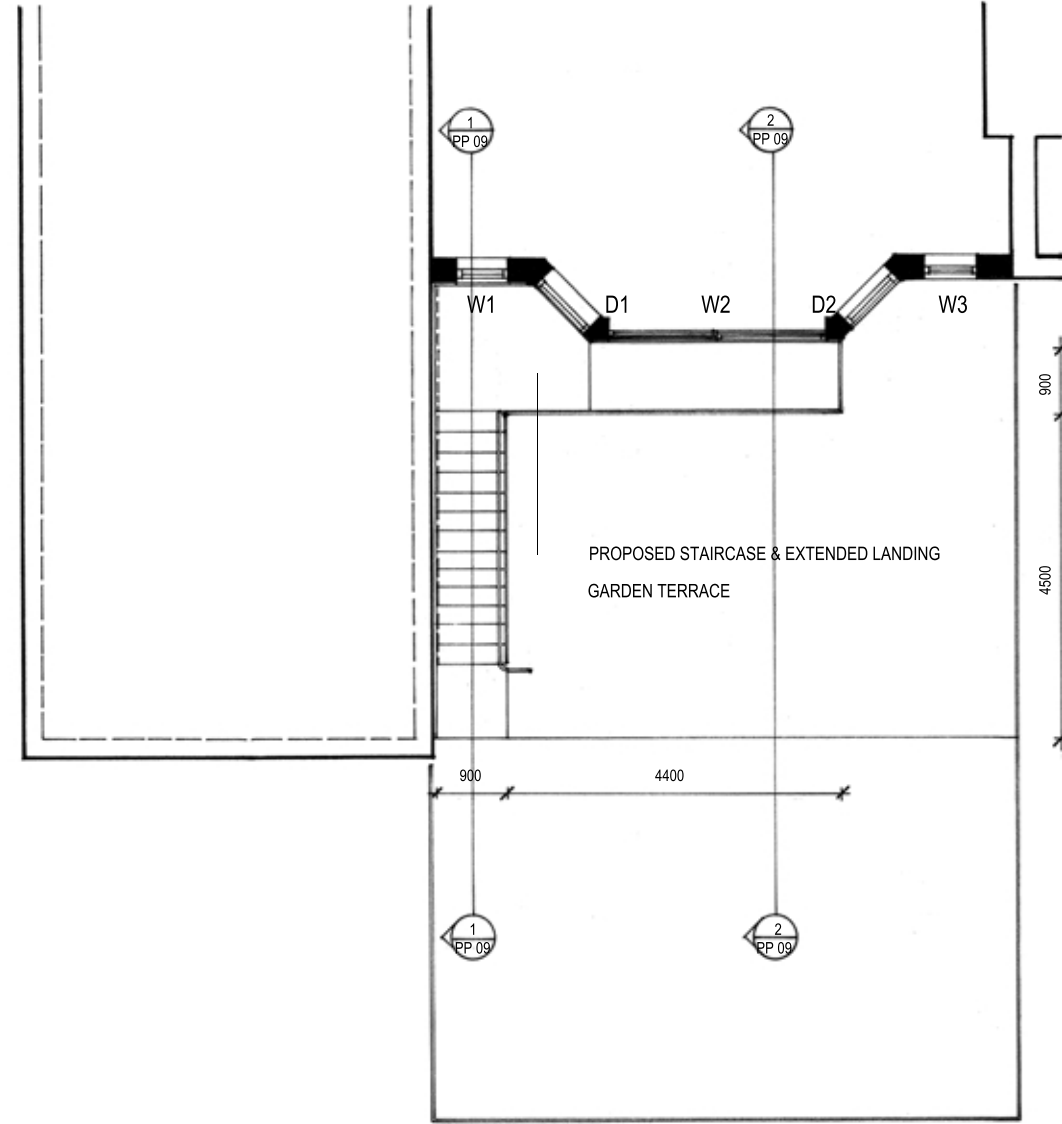
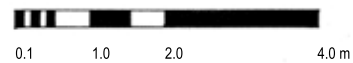
**LANDING & STAIRCASE:**  
 LANDING - INSITU CAST FAIR FACE CONCRETE.  
 STAIRCASE - MILD STEEL PAINTED BLACK WITH MILD STEEL TREAD TRAYS WITH TIMBER INSERTS.

DIMENSIONS NOT TO BE SCALED FROM THE DRAWING. CONTRACTORS TO NOTIFY ARCHITECTS OF SITE VARIATIONS AFFECTING INFORMATION ON THIS DRAWING.

<p>REVISIONS</p>		<p>NOTES</p>	<p><b>EVA JIRICNA ARCHITECTS LIMITED.</b></p> <p>THIRD FLOOR        38 WARREN STREET        LONDON W1T 5AE        Tel: 020 7554 2400        Fax: 020 7388 7022        e-mail: info@ejl.com</p>	<p><b>PROJECT</b>        FLAT No 2        5, ROSECROFT AVENUE        LONDON        NW3 7QA</p>	<p><b>DATE</b>        NOVEMBER 2016</p> <p><b>SCALE</b>        1:50 @ A1</p>
			<p><b>DRAWING TITLE</b>        EXISTING SECTIONS        SECTION No 1 &amp; 2</p>	<p><b>DRAWING No</b>        803 / PP 06</p> <p><b>REV</b></p>	



1 PROPOSED PLAN : LOWER GROUND LEVEL / GARDEN



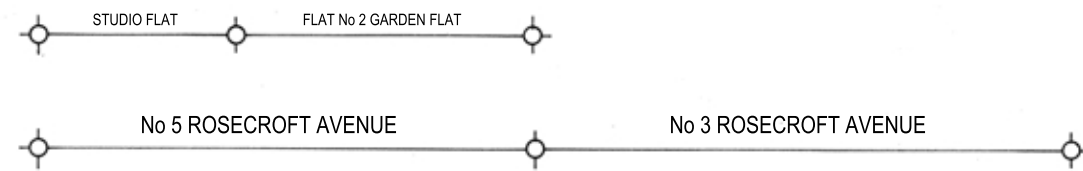
2 PROPOSED PLAN : GROUND LEVEL

**WINDOW REFERENCES / PROPOSED:**  
W 1 & 3: SASH WINDOWS TO BE REPLACED (TIMBER / METAL).  
W 2 : 2No PANEL DOOR UNIT / 1No SLIDING.(METAL TO REPLACE EXISTING).  
W 4 & 5 : METAL SEMI TILT WINDOWS TO BE REPLACED / SECURITY GRILLES OMITTE D.  
**DOOR REFERENCES:**  
D 1 & 2 : OPENING & FIXED DOORS TO BE REPACED WITH FIXED METAL WINDOWS.  
D 3 & 4 : METAL OPENING DOOR.TO BE REPLACED / SECURITY GRILLES OMITTED.

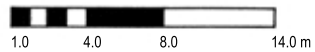
**PROPOSED CONSTRUCTION:**  
**WINDOWS & DOORS:**  
ALL GROUND LEVEL BAY UNITS TO BE OF PAINTED METAL CONSTRUCTION WITH CLEAR LOW IRON DOUBLE GLAZED UNITS CONSTRUCTION TYPE TO MATCH THAT OF THE EXISTING LOWER GROUND ASSEMBLIES.  
**STAIRCASE & LANDING:**  
LANDING TO BE CANTILEVERED STRUCTURAL GLASS DECKING, TOP LAYER TO BE GLASS ANTI-SLIP. OUTER EDGES TO BE METAL FRAMED. BALUSTRADE TO BE CLEAR LOW IRON LAMINATED SAFETY GLASS.  
STAIRCASE TO HAVE METAL STRINGERS / TREAD TRAYS WITH EITHER TIMBER / STONE WITH ANTI-SLIP INSETS. BALUSTRADE TO BE AS PER THE BALCONY.

DIMENSIONS NOT TO BE SCALED FROM THIS DRAWING. CONTRACTORS TO NOTIFY ARCHITECTS OF SITE VARIATIONS AFFECTING INFORMATION ON THIS DRAWING.

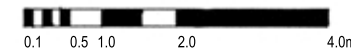
REVISIONS	NOTES	<b>EVA JIRICNA ARCHITECTS LIMITED.</b> THIRD FLOOR 38 WARREN STREET LONDON W1T 5AE Tel: 020 7554 2400 Fax: 020 7368 8022 e-mail: eva@ejal.com	<b>PROJECT</b> FLAT No 2 5, ROSECROFT AVENUE LONDON NW3 7QA	<b>DATE</b> NOVEMBER 2016
			<b>DRAWING TITLE</b> PLANS: PROPOSED LOWER GROUND & GROUND LEVEL	<b>SCALE</b> 1:50 @ A1
			<b>DRAWING No</b> 804 / PP 07	<b>REV</b>



1 EXISTING ELEVATION : SCALE 1: 200 @ A1



2 EXISTING ELEVATION : SCALE 1: 50 @ A1



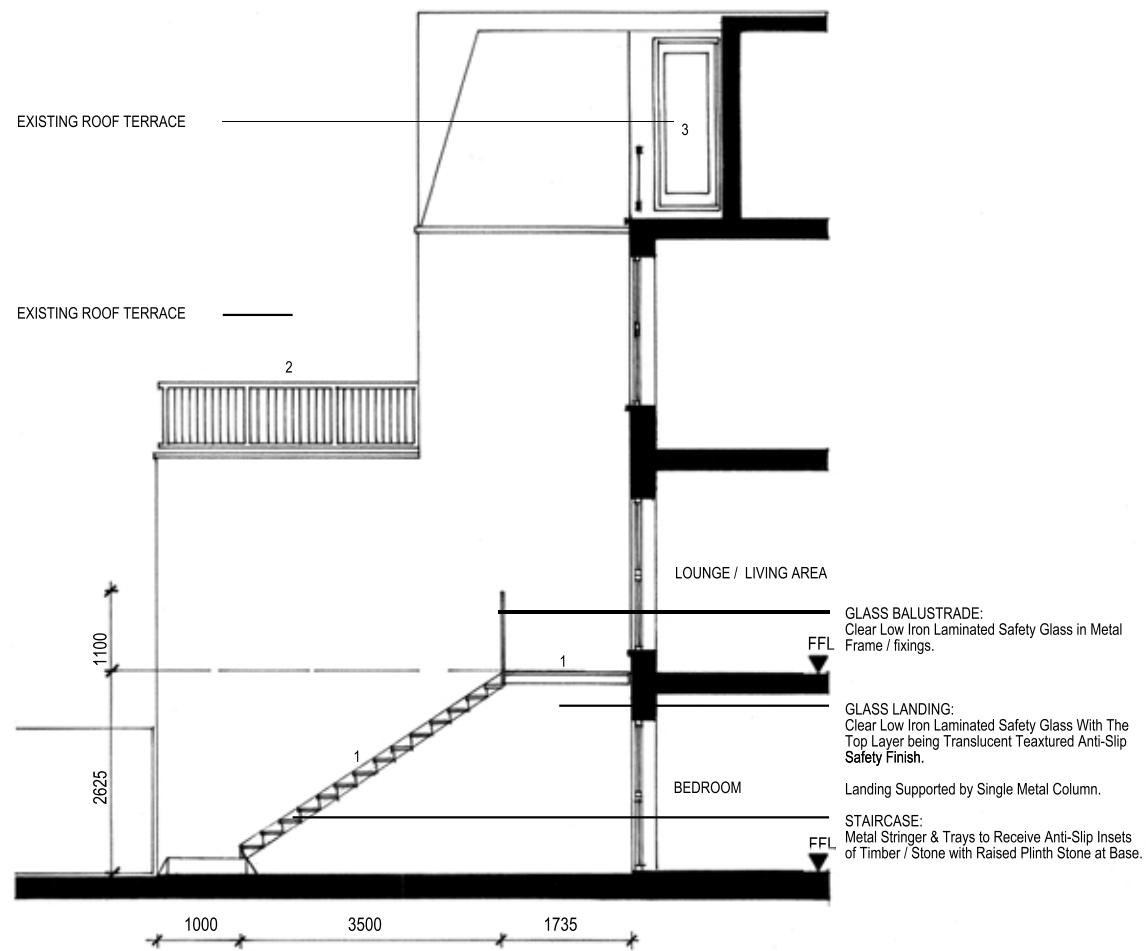
**WINDOW REFERENCES / PROPOSED:**  
 W 1 & 3: SASH WINDOWS TO BE REPLACED (TIMBER / METAL).  
 W 2 : 2No PANEL DOOR UNIT / 1No SLIDING (METAL TO REPLACE EXISTING).  
 W 4 & 5: METAL SEMI TILT WINDOWS TO BE REPLACED / SECURITY GRILLS OMITTED.

**DOOR REFERENCES:**  
 D 1 & 2: OPENING & FIXED DOORS TO BE REPLACED WITH FIXED METAL WINDOWS.  
 D 3 & 4: METAL OPENING DOOR TO BE REPLACED / SECURITY GRILLS OMITTED.

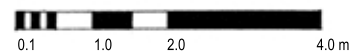
**PROPOSED CONSTRUCTION:**  
**WINDOWS & DOORS:**  
 ALL GROUND LEVEL BAY UNITS TO BE OF METAL PAINTED CONSTRUCTION WITH CLEAR LOW IRON DOUBLE GLAZED UNITS, CONSTRUCTION TYPE TO MATCH THAT OF THE EXISTING LOWER GROUND ASSEMBLIES.  
**LANDING & STAIRCASE:**  
 LANDING TO BE CANTILEVERED STRUCTURAL GLASS DECKING, TOP LAYER TO BE GLASS ANTI-SLIP. OUTER EDGES TO BE METAL FRAMED. BALUSTRADE TO BE CLEAR LOW IRON LAMINATED SAFETY GLASS.  
 STAIRCASE TO HAVE METAL STRINGERS / TREAD TRAYS WITH EITHER TIMBER / STONE INSERTS WITH ANTI-SLIP SURFACE TREATMENT, BALUSTRADE TO BE AS PER THE BALCONY.

DIMENSIONS NOT TO BE SCALED FROM THIS DRAWING. CONTRACTORS TO NOTIFY ARCHITECTS OF SITE VARIATIONS AFFECTING INFORMATION ON THIS DRAWING.

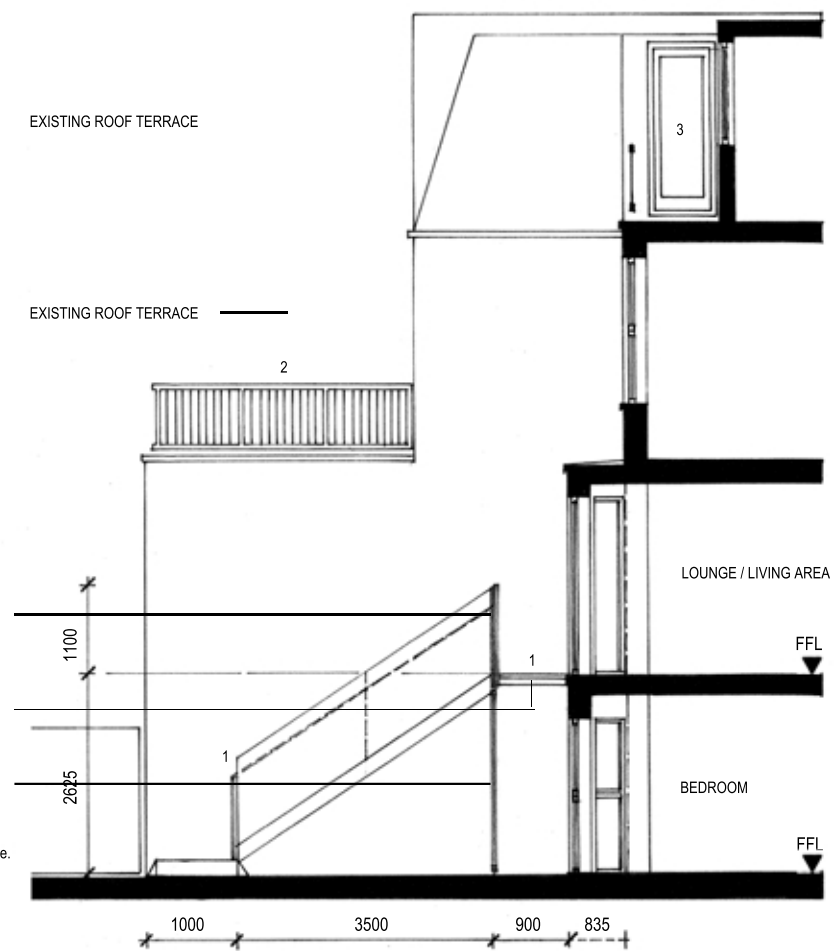
REVISIONS	NOTES	<b>EVA JIRICNA ARCHITECTS LIMITED.</b> <small>THIRD FLOOR          38 WARREN STREET          LONDON W1T 6AE          Tel: 020 7554 2400          Fax: 020 7368 8022          e-mail: eva@ejal.com</small>	<b>PROJECT</b> FLAT No 2 5, ROSECROFT AVENUE LONDON NW3 7QA	<b>DATE</b> NOVEMBER 2016
			<b>DRAWING TITLE</b> PROPOSED ELEVATIONS CONTEXT & No 5 ROSECROFT AVENUE	<b>SCALE</b> 1: 200 & 1: 50 @ A3
			<b>DRAWING No</b> 803 / PP 08	<b>REV</b>



1 PROPOSED SECTION : No 1



- 1.0 Proposed Low Level Garden Balcony / Landing & staircase to Flat No 2
- 2.0 Existing High Level Roof Terrace to Flat No 3
- 3.0 Existing High Level Roof Terrace to Flat No 5



2 PROPOSED SECTION : No 2

- 1.0 Proposed Low Level Garden Balcony & Staircase to Flat No 2
- 2.0 Existing High Level Roof Terrace to Flat No 3
- 3.0 High Level Roof Terrace to Flat No 5

- WINDOW REFERENCES / PROPOSED:**
- W 1 & 3: SASH WINDOWS TO BE REPLACED (TIMBER / METAL).
  - W 2 : 2No PANEL DOOR UNIT / 1No SLIDING, (METAL TO REPLACE EXISTING).
  - W 4 & 5: METAL SEMI TILT WINDOWS TO BE REPLACED / SECURITY GRILLES OMITTE D.

- DOOR REFERENCES:**
- D 1 & 2 : OPENING & FIXED DOORS TO BE REPACED WITH FIXED METAL WINDOWS.
  - D 3 & 4 : METAL OPENING DOOR, TO BE REPLACED / SECURITY GRILLES OMITTED.

**PROPOSED CONSTRUCTION:**

**WINDOWS & DOORS:**  
ALL GROUND LEVEL BAY UNITS TO BE OF METAL PAINTED CONSTRUCTION WITH CLEAR LOW IRON DOUBLE GLAZED UNITS, CONSTRUCTION TYPE TO MATCH THAT OF THE EXISTING LOWER GROUND ASSEMBLIES.

**LANDING & STAIRCASE:**  
LANDING TO BE CANTILEVERED STRUCTURAL GLASS DECKING, TOP LAYER TO BE GLASS ANTI-SLIP. OUTER EDGES TO BE METAL FRAMED. BALUSTRADE TO BE CLEAR LOW IRON LAMINATED SAFETY GLASS.  
STAIRCASE TO HAVE METAL STRINGERS / TREAD TRAYS WITH EITHER TIMBER / STONE INSERTS WITH ANTI-SLIP SURFACE TREATMENT, BALUSTRADE TO BE AS PER THE LANDING.

DIMENSIONS NOT TO BE SCALED FROM THIS DRAWING. CONTRACTORS TO NOTIFY ARCHITECTS OF SITE VARIATIONS AFFECTING INFORMATION ON THIS DRAWING.

REVISIONS	NOTES	<p><b>EVA JIRICNA ARCHITECTS LIMITED.</b></p> <p>THIRD FLOOR 38 WARREN STREET LONDON W1T 5AE Tel 020 7554 2400 Fax 020 7388 8022 e-mail: mail@ejl.com</p>	<p><b>PROJECT</b> FLAT No 2 5, ROSECROFT AVENUE LONDON NW3 7QA</p>	<p><b>DATE</b> NOVEMBER 2016</p>
			<p><b>DRAWING TITLE</b> PROPOSED SECTIONS SECTION No 1 &amp; 2</p>	<p><b>SCALE</b> 1: 50 @ A1</p>
			<p><b>DRAWING No</b> 803 / PP 09</p>	<p><b>REV</b></p>