

APPENDIX 2

Mr Alan Bear
Sepia Design
20 St Dunstan's Road
Feltham
Middlesex
TW13 4JU

Application Ref: **2015/5564/P**
Please ask for: **Tessa Craig**
Telephone: 020 7974 **6750**

26 November 2015

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Full Planning Permission Granted

Address:
45 Goldhurst Terrace
London
NW6 3HB

Proposal:

Erection of single storey rear extension at lower ground floor. Erection of side and rear roof dormers. Installation of Juliette balcony at first floor rear elevation, installation of 2 conservation style rooflights to front roofslope and installation of windows in side elevation at lower ground, ground, first and second floors.

Drawing Nos: Planning & Access Considerations Statement, A9743PA/001, A9743PA/002, A9743PA/003, A9743PA/004, A9743PA/005 revision A, A9743PA/006 revision A, A9743PA/007 revision A, A9743PA/008 revision A and A9743PA/009.

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and



Country Planning Act 1990 (as amended).

- 2 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policies DP24 and DP25 of the London Borough of Camden Local Development Framework Development Policies.

- 3 The development hereby permitted shall be carried out in accordance with the following approved plans

Planning & Access Considerations Statement, A9743PA/001, A9743PA/002, A9743PA/003, A9743PA/004, A9743PA/005 revision A, A9743PA/006 revision A, A9743PA/007 revision A, A9743PA/008 revision A and A9743PA/009.

Reason:

For the avoidance of doubt and in the interest of proper planning.

- 4 The proposed side elevation windows at lower ground, ground, first and second floor shall be obscure glazed and maintained in in perpetuity.

Reason: To safeguard neighbours amenity in accordance with the requirements of policy CS5 of the London Borough of Camden Local Development Framework Core Strategy and policy DP26 of the London Borough of Camden Local Development Framework Development Policies.

- 5 The proposed rooflights to the front roofslope of 45 Goldhurst Terrace shall be conservation style.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policy DP24 and DP25 of the London Borough of Camden Local Development Framework Development Policies.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts which cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Argyle Street WC1H 8EQ, (tel: 020-7974 6941).
- 2 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to

Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Compliance and Enforcement team [Regulatory Services], Camden Town Hall, Argyle Street, WC1H 8EQ (Tel. No. 020 7974 4444 or on the website <http://www.camden.gov.uk/ccm/content/contacts/council-contacts/environment/contact-the-environmental-health-team.en> or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully



Ed Watson
Director of Culture & Environment

Email: planning@camden.gov.uk
 Phone: 020 7974 4444
 Fax: 020 7974 1680

Development Management
 Regeneration and Planning
 London Borough of Camden
 Judd Street
 London WC1H 8ND

Application for Planning Permission. Town and Country Planning Act 1990

Publication of applications on planning authority websites.

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

1. Applicant Name, Address and Contact Details

Title: First name: Surname:

Company name:

Street address:

Town/City:
 County:
 Country:
 Postcode:

Telephone number:
 Mobile number:
 Fax number:

Country Code:
 National Number:
 Extension Number:

Email address:

Are you an agent acting on behalf of the applicant? Yes No

2. Agent Name, Address and Contact Details

Title: First Name: Surname:

Company name:

Street address:

Town/City:
 County:
 Country:
 Postcode:

Telephone number:
 Mobile number:
 Fax number:

Country Code:
 National Number:
 Extension Number:

Email address:

3. Description of the Proposal

Please describe the proposed development including any change of use:

Has the building, work or change of use already started? Yes No

4. Site Address Details

Full postal address of the site (including full postcode where available)

Description:

House: Suffix:

House name:

Street address:

Town/City:

County:

Postcode:

Description of location or a grid reference
(must be completed if postcode is not known):

Easting:

Northing:

5. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

Yes No

6. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway?

Yes No

Is a new or altered pedestrian access proposed to or from the public highway?

Yes No

Are there any new public roads to be provided within the site?

Yes No

Are there any new public rights of way to be provided within or adjacent to the site?

Yes No

Do the proposals require any diversions/extinguishments and/or creation of rights of way?

Yes No

7. Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste?

Yes No

Have arrangements been made for the separate storage and collection of recyclable waste?

Yes No

8. Authority Employee/Member

With respect to the Authority, I am:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff
- (d) related to an elected member

Do any of these statements apply to you?

Yes No

9. Materials

Please state what materials (including type, colour and name) are to be used externally (if applicable):

Walls - description:

Description of *existing* materials and finishes:

FACING BRICKWORK

Description of *proposed* materials and finishes:

RENDERED BLOCK TO GROUND FLOOR EXTENSION

Roof - description:

Description of *existing* materials and finishes:

SLATE

Description of *proposed* materials and finishes:

SLATE TO MATCH EXISTING TO MAIN ROOF WITH ASPHALT FOR SINGLE STOREY FLAT ROOF

Windows - description:

Description of *existing* materials and finishes:

WHITE TIMBER

Description of *proposed* materials and finishes:

WHITE TIMBER TO MATCH EXISTING TO LEVELS ABOVE LOWER GROUND FLOOR BUT STEEL COLOURED WHITE TO GROUND FLOOR EXTENSION

9. (Materials continued)

Doors - description:

Description of *existing* materials and finishes:

TIMBER

Description of *proposed* materials and finishes:

COLOURED STEEL DOORS TO GROUND FLOOR

Are you supplying additional information on submitted plan(s)/drawing(s)/design and access statement? Yes No

If Yes, please state references for the plan(s)/drawing(s)/design and access statement:

A9743PA-000-009

10. Vehicle Parking

Please provide information on the existing and proposed number of on-site parking spaces:

Type of vehicle	Existing number of spaces	Total proposed (including spaces retained)	Difference in spaces
Cars	0	0	0
Light goods vehicles/public carrier vehicles	0	0	0
Motorcycles	0	0	0
Disability spaces	0	0	0
Cycle spaces	0	0	0
Other (e.g. Bus)	0	0	0
Short description of Other			

11. Foul Sewage

Please state how foul sewage is to be disposed of:

Mains sewer

Package treatment plant

Unknown

Septic tank

Cess pit

Other

Are you proposing to connect to the existing drainage system? Yes No Unknown

12. Assessment of Flood Risk

Is the site within an area at risk of flooding? (Refer to the Environment Agency's Flood Map showing flood zones 2 and 3 and consult Environment Agency standing advice and your local planning authority requirements for information as necessary.) Yes No

If Yes, you will need to submit an appropriate flood risk assessment to consider the risk to the proposed site.

Is your proposal within 20 metres of a watercourse (e.g. river, stream or beck)? Yes No

Will the proposal increase the flood risk elsewhere? Yes No

How will surface water be disposed of?

Sustainable drainage system

Main sewer

Pond/lake

Soakaway

Existing watercourse

13. Biodiversity and Geological Conservation

To assist in answering the following questions refer to the guidance notes for further information on when there is a reasonable likelihood that any important biodiversity or geological conservation features may be present or nearby and whether they are likely to be affected by your proposals.

Having referred to the guidance notes, is there a reasonable likelihood of the following being affected adversely or conserved and enhanced within the application site, OR on land adjacent to or near the application site:

a) Protected and priority species

Yes, on the development site

Yes, on land adjacent to or near the proposed development

No

b) Designated sites, important habitats or other biodiversity features

Yes, on the development site

Yes, on land adjacent to or near the proposed development

No

c) Features of geological conservation importance

Yes, on the development site

Yes, on land adjacent to or near the proposed development

No

14. Existing Use

Please describe the current use of the site:

VACANT RESIDENTIAL FLATS

Is the site currently vacant? Yes No

If Yes, please describe the last use of the site:

RESIDENTIAL FLATS

When did this use end (if known) (DD/MM/YYYY)?

01/10/2015

Does the proposal involve any of the following?

If yes, you will need to submit an appropriate contamination assessment with your application.

Land which is known to be contaminated? Yes No

Land where contamination is suspected for all or part of the site? Yes No

A proposed use that would be particularly vulnerable to the presence of contamination? Yes No

15. Trees and Hedges

Are there trees or hedges on the proposed development site? Yes No

And/or: Are there trees or hedges on land adjacent to the proposed development site that could influence the development or might be important as part of the local landscape character? Yes No

If Yes to either or both of the above, you may need to provide a full Tree Survey, at the discretion of your local planning authority. If a Tree Survey is required, this and the accompanying plan should be submitted alongside your application. Your local planning authority should make clear on its website what the survey should contain, in accordance with the current 'BS5837: Trees in relation to design, demolition and construction - Recommendations'.

16. Trade Effluent

Does the proposal involve the need to dispose of trade effluents or waste? Yes No

17. Residential Units

Does your proposal include the gain or loss of residential units? Yes No

18. All Types of Development: Non-residential Floorspace

Does your proposal involve the loss, gain or change of use of non-residential floorspace? Yes No

19. Employment

If known, please complete the following information regarding employees:

	Full-time	Part-time	Equivalent number of full-time
Existing employees	0	0	0
Proposed employees	0	0	0

20. Hours of Opening

If known, please state the hours of opening (e.g. 15:30) for each non-residential use proposed:

Use	Monday to Friday		Saturday		Sunday and Bank Holidays		Not Known
	Start Time	End Time	Start Time	End Time	Start Time	End Time	

21. Site Area

What is the site area?

22. Industrial or Commercial Processes and Machinery

Please describe the activities and processes which would be carried out on the site and the end products including plant, ventilation or air conditioning. Please include the type of machinery which may be installed on site:

N/A

Is the proposal for a waste management development? Yes No

23. Hazardous Substances

Is any hazardous waste involved in the proposal? Yes No

24. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

Yes No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one)

The agent The applicant Other person

25. Certificates (Certificate A)

Certificate of Ownership - Certificate A

Town and Country Planning (Development Management Procedure) (England) Order 2015 Certificate under Article 14

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/the applicant was the owner (*owner is a person with a freehold interest or leasehold interest with at least 7 years left to run*) of any part of the land to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding (*"agricultural holding" has the meaning given by reference to the definition of "agricultural tenant" in section 65(8) of the Act*).

Title: First name: Surname:

Person role: Declaration date: Declaration made

26. Declaration

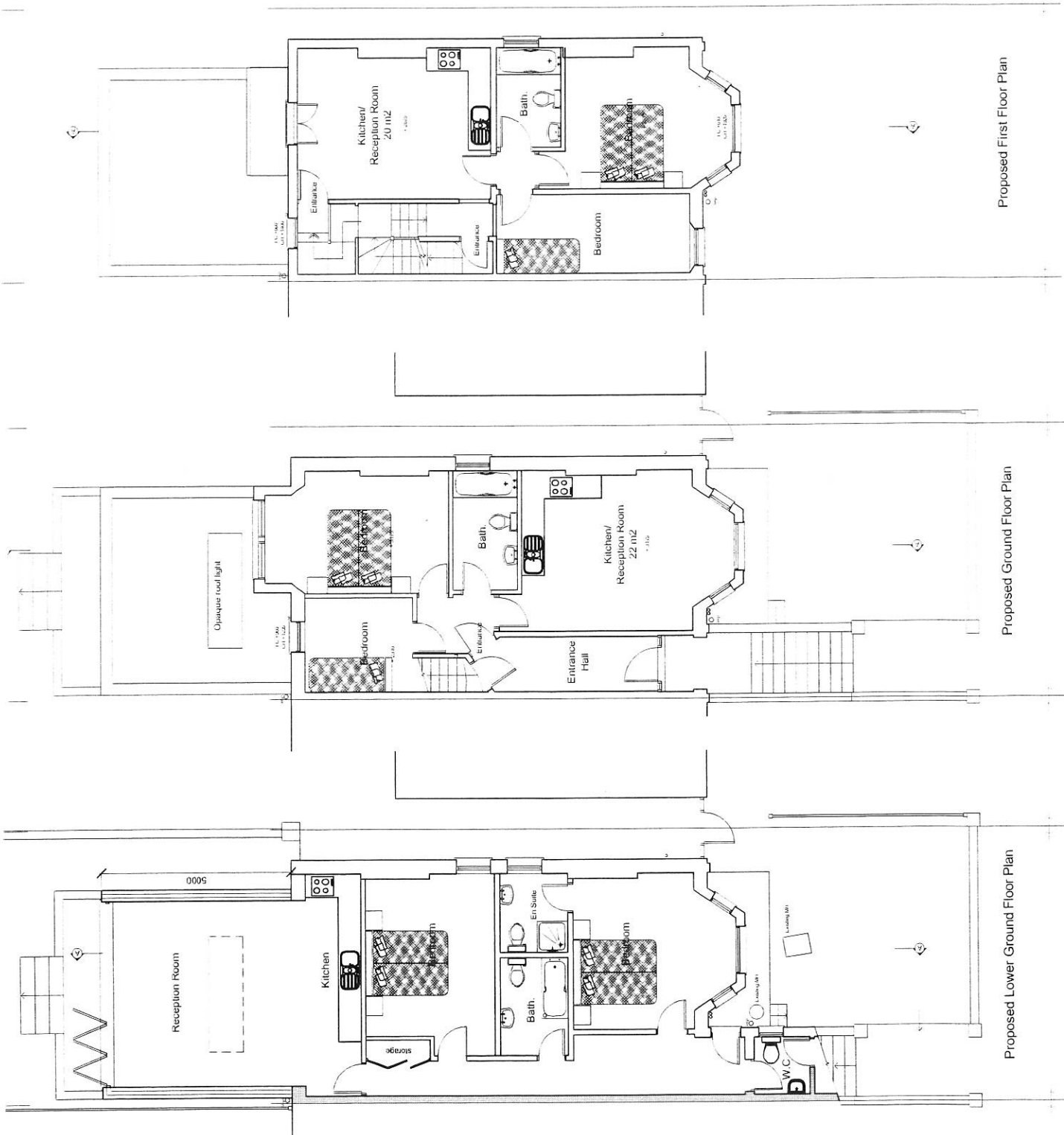
I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information. I/we confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) giving them.

Date

ALL DIMENSIONS TO BE CHECKED ON SITE



LINEAR SCALE 1:100



Proposed First Floor Plan

Proposed Ground Floor Plan

Proposed Lower Ground Floor Plan

reference: Revised by planning comments 10/11/15

Project: 45 Goldhurst Terrace
London
NW6

Client: Mr Ivan Forster

Drawing title: Proposed Plans

SEPIA DESIGN
London Architectural Technologists

20-22 St Dunstons Road
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W8 7NF
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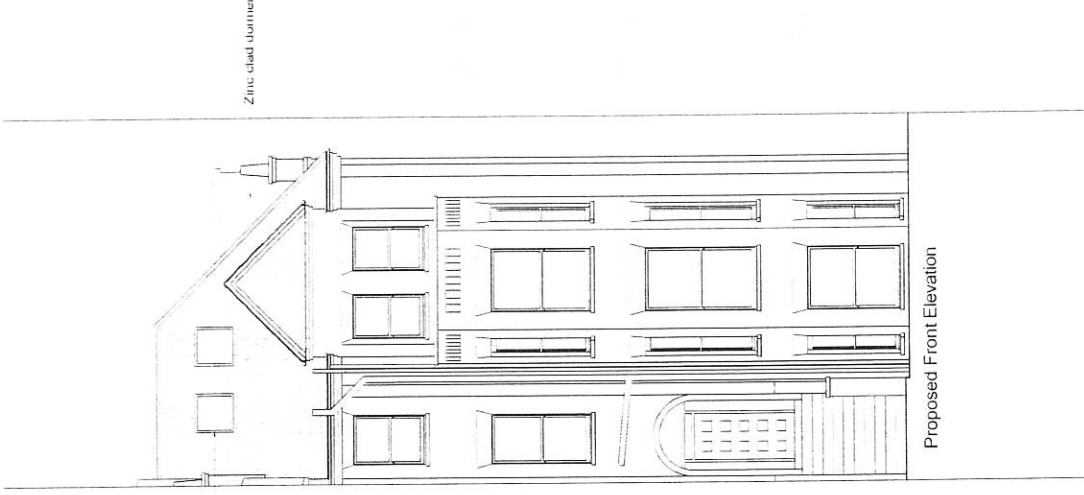
Date: Aug 15 Number: 2015-09/006
Scale: 1:100/0/03 Revision: A

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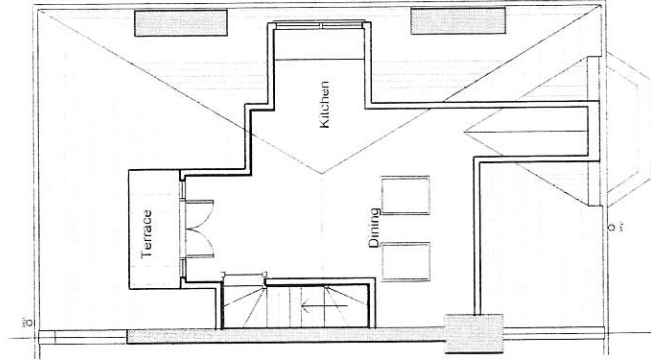
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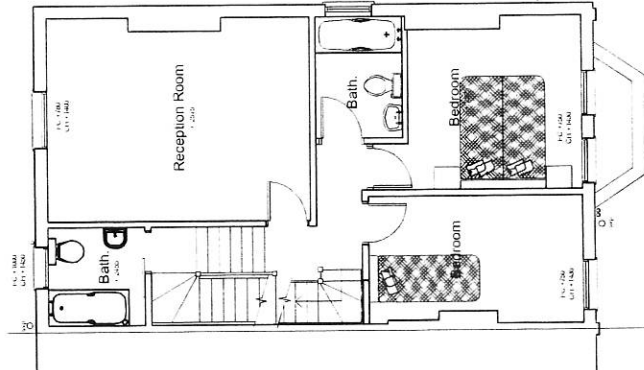
LINEAR SCALE 1:100



Grey coloured steel
Conservation roof
lights



Proposed Roof Plan



Proposed Second Floor Plan

remains. Revised by planning conditions 10/1/15.

project:
45 Goldhurst Terrace
Leicester
NN6

client:
Mr Neal Fuster

drawing title:
Proposed Plans & Front Elevation

SEPIA DESIGN
Chartered Architectural Technicians

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Fulbourn, Cambridge
CB9 9EJ
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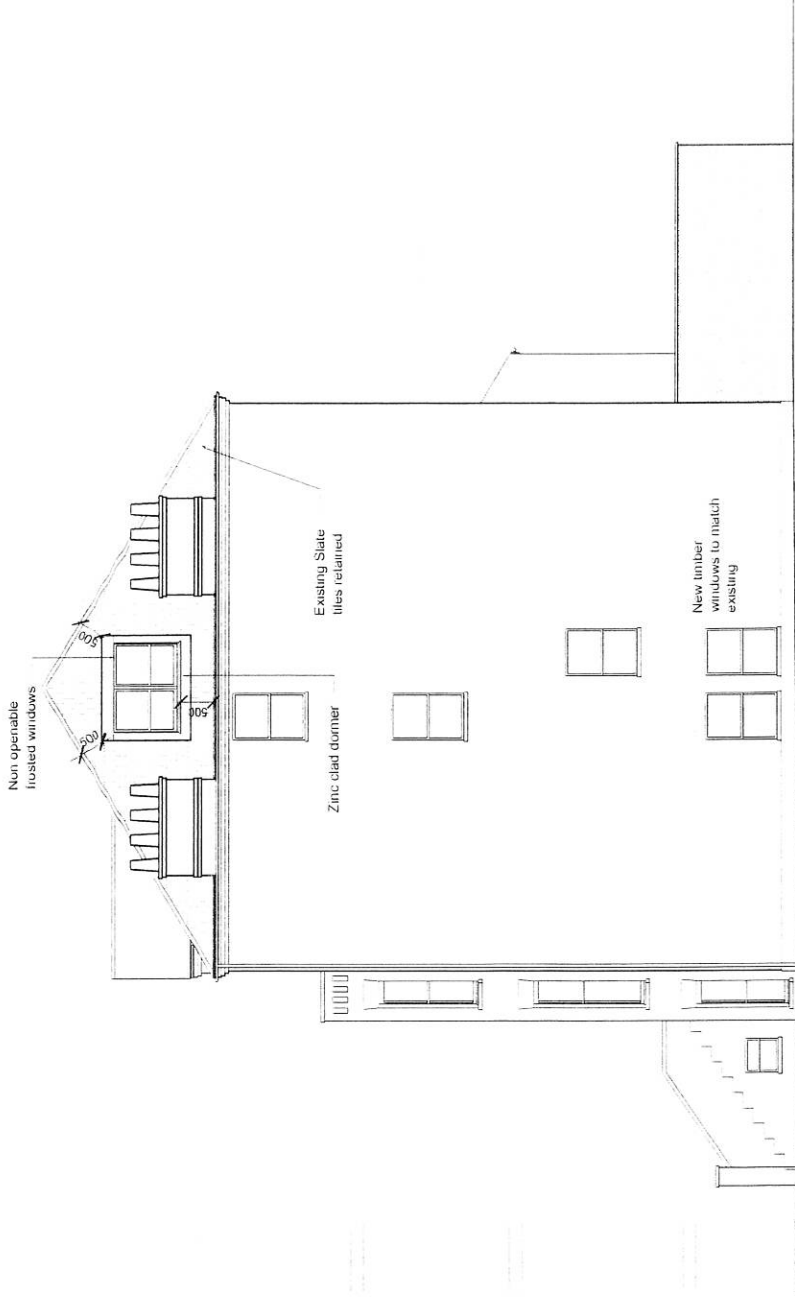


date: 09/15
scale: 1:100
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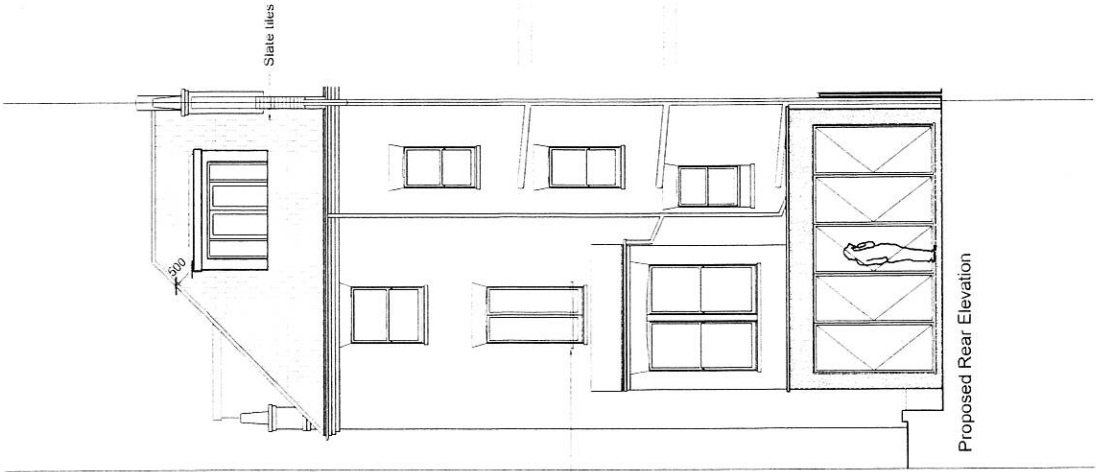
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LINEAR SCALE 1:100



Proposed Side Elevation



Proposed Rear Elevation

Reference: Approved planning consent ref: 16/115/0148

Project: 45 Colindale Avenue, London, NW9 1NR

Client: Mr Ivan Fuster

Drawing title: Existing Rear & Side Elevation

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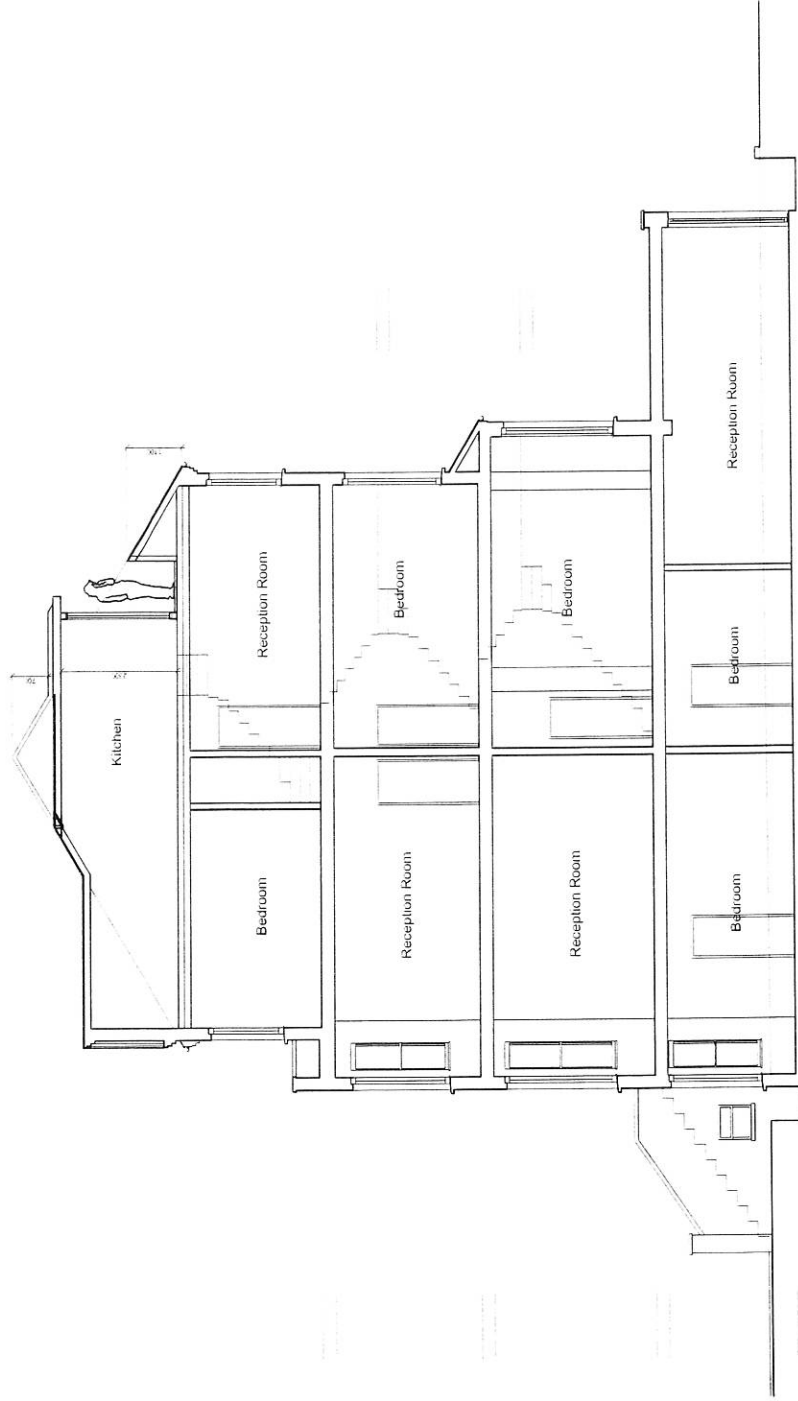
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 Author: M/S/PS/MS
 Scale: 1:100/A3
 Revision: A

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LINEAR SCALE 1:100



Proposed Section A-A

prepared by (drawing) submitted: 10/1/15
 project: 45 Goldhurst Terrace
 Leighton
 NW6
 client: Mr Ivan Fursler
 drawing title: Proposed Section A-A

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 Number: A2/14/056/00
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