



Design and Access Statement
361-5001
Revision PL2
9th January 2017

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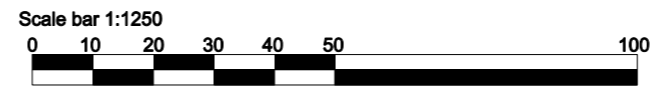
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The Property

The property is located in a residential square (Hornby Close) in Primrose Hill, London. It is a mid-terrace town house of 3 storeys. The property was built in 1988 and remains largely unaltered, although was been refurbished in the late 90s/ early 2000s. The original garage door remains, but a blockwork wall lines this internally and the garage has been used as a habitable room for over 20 years. The house is in need of upgrading and restoration.

Chalcots Estate Design Guide

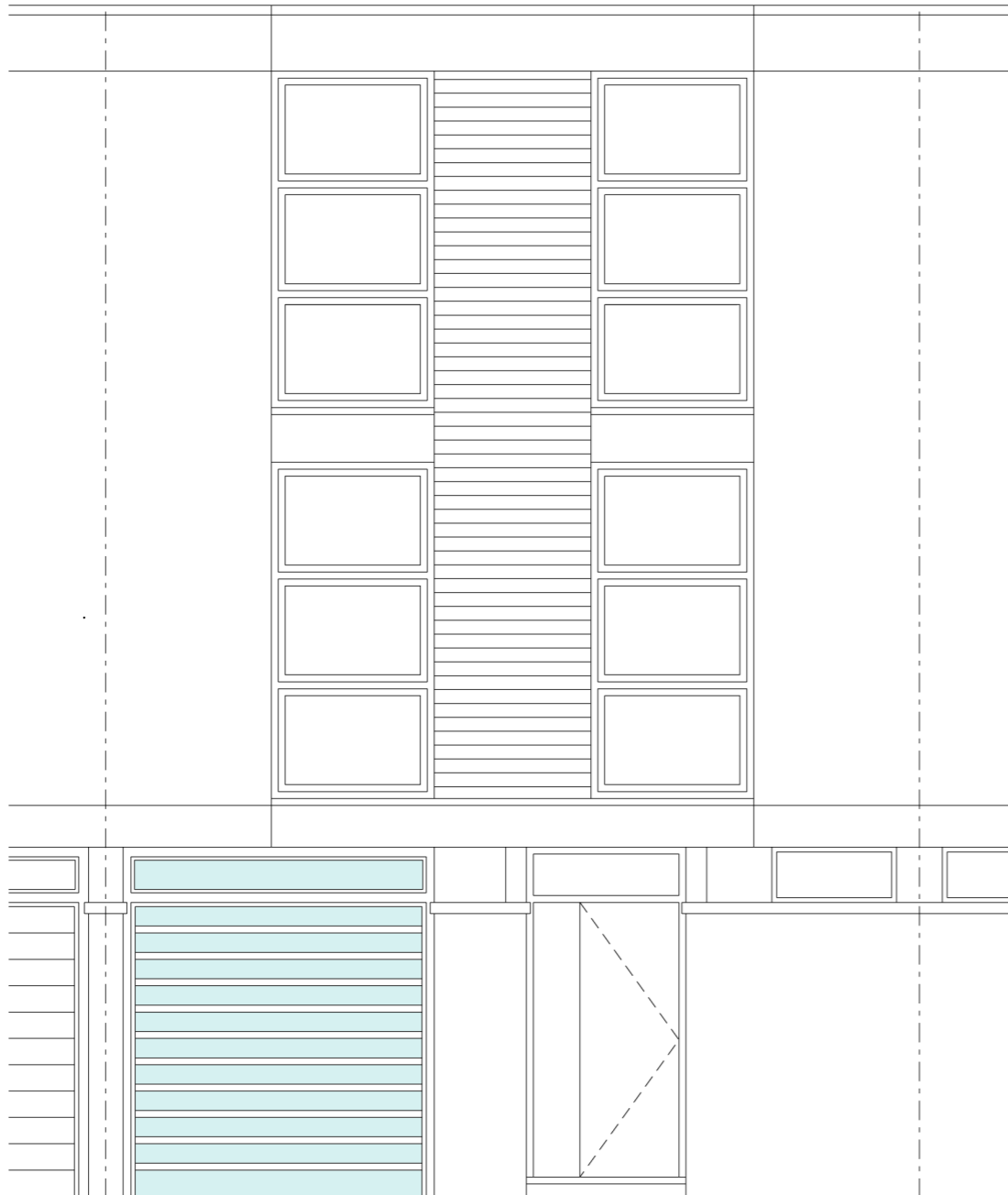
Prior to submitting this application, the proposals have been discussed with CEL (Chalcots Estate Ltd) who are responsible for estate management across the Chalcots Estate. They have confirmed that the proposals are fully in accordance with the estate-wide Design Guide and that they are happy for this application to be submitted. This was confirmed in an email to the homeowners from Jeremy Hayes of Robert Irving Burns, managing agents for CEL, dated 03 January 2017



Local Design Guide and Local Precedents

The local design guide gives a number of recommended options in the treatment of replacing a garage door. In this case the approach is to use metal louvres which is sympathetic to the original design of the buildings, whilst providing valuable daylight to the rooms within.

There are many local precedents that have successfully opted for metal louvres to replace the garage door, a few of which are shown adjacent.



119 Fellows Road



11 Elliott Square

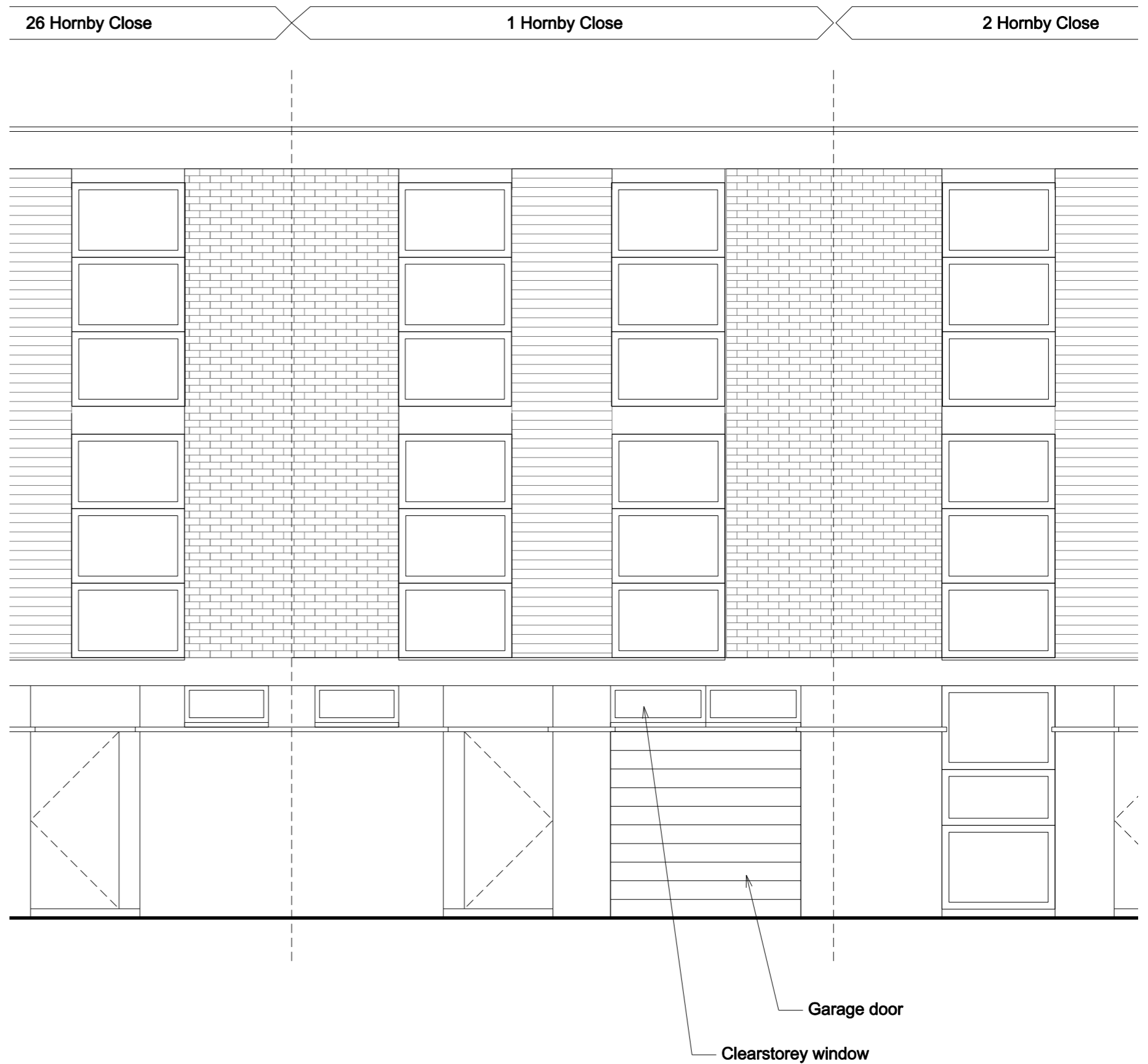


13 Elliott Square

Existing Street Elevation

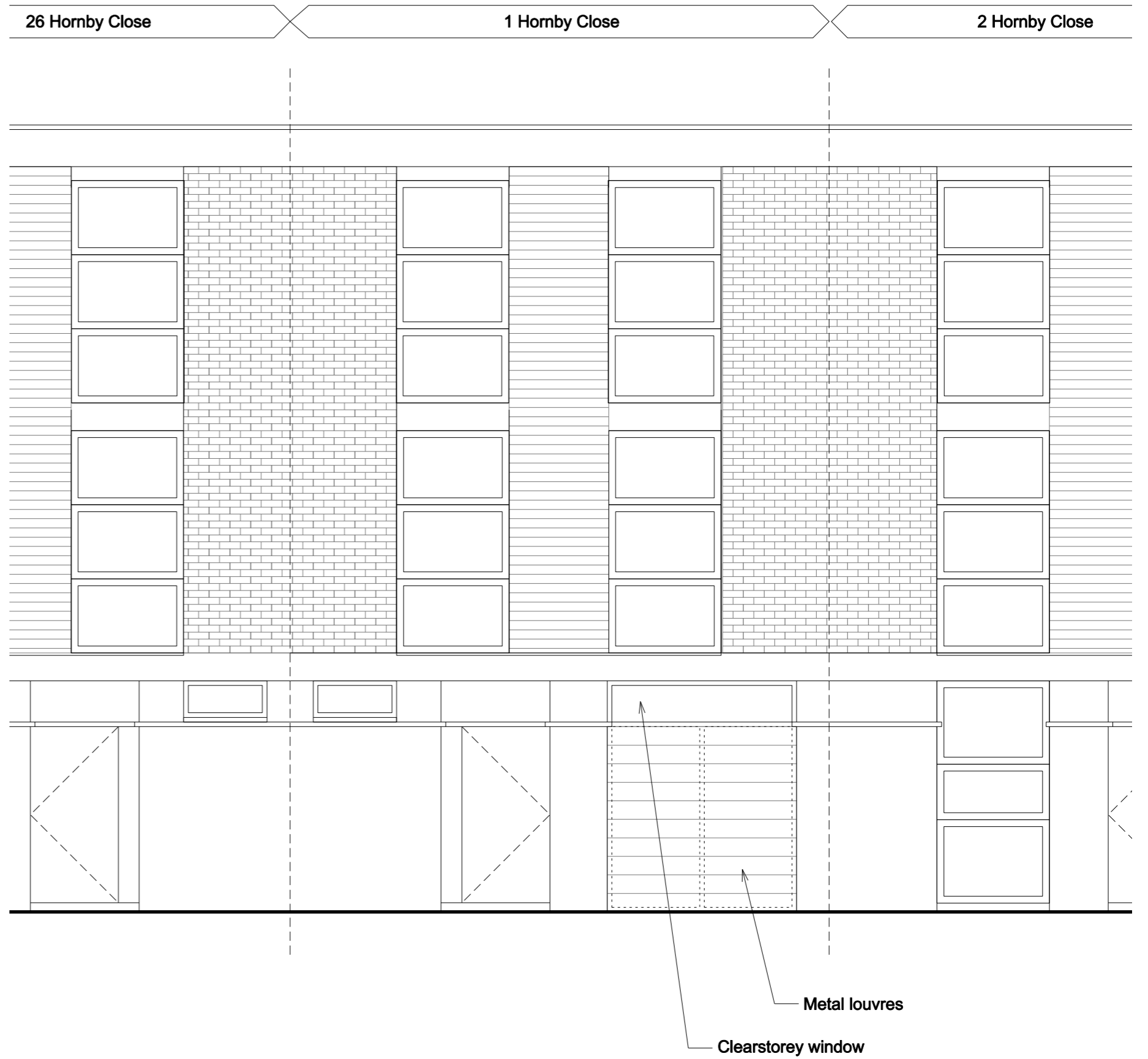
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Proposed Street Elevation

The proposed street elevation replaced the existing garage door with metal louvres, in a similar approach to the precedents and design guidelines listed above.



Rear Elevation

The proposed rear elevation includes the upgrading of the existing glazing and patio doors on the ground floor, which are single glazed and are in need of replacement. The proposed new glazed doors will be double glazed, thermally efficient sliding doors.



Summary

The property is in good condition but is in need of modernisation. The owners are proposing to carry out sympathetic alterations and upgrades. The alterations to the front and rear will create a brighter more usable ground floor, increasing the amount of natural daylight, and meeting the needs of their family.

