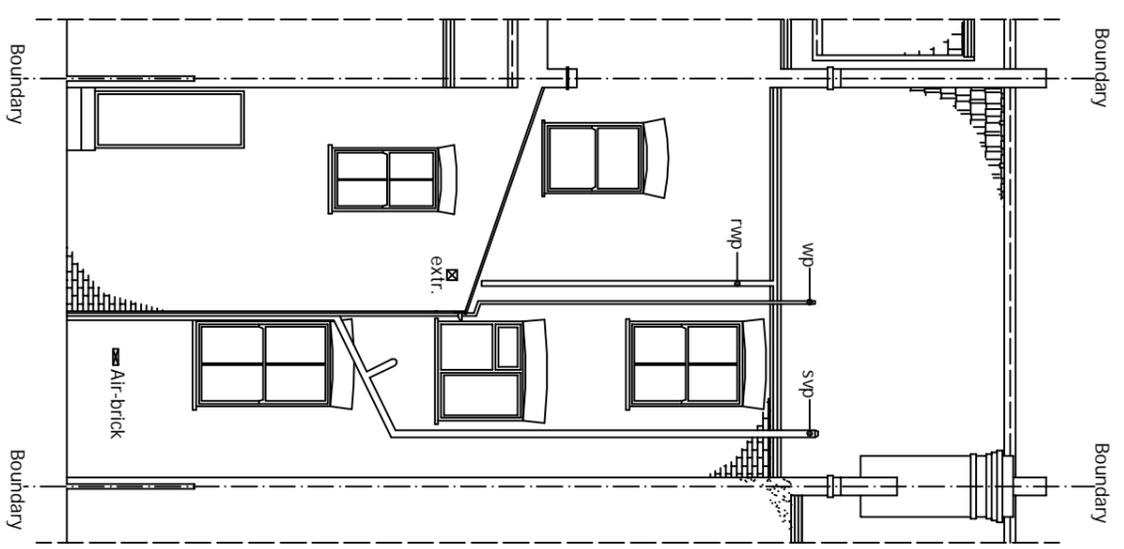
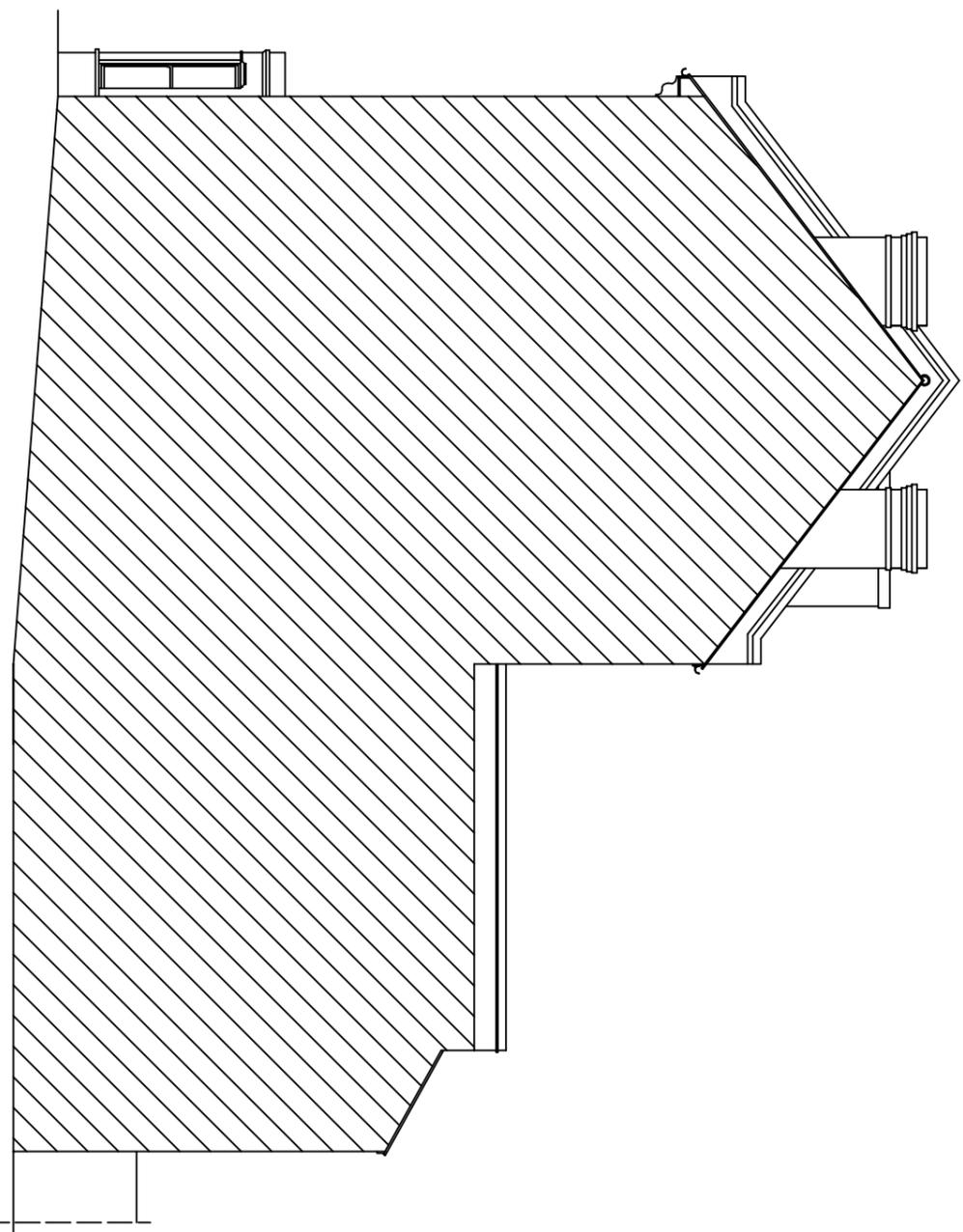


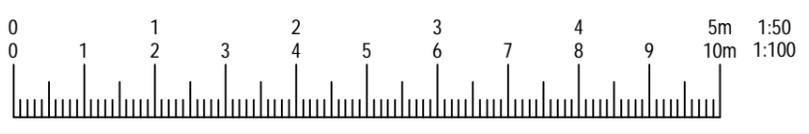
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EXISTING REAR ELEVATION
Scale 1:100



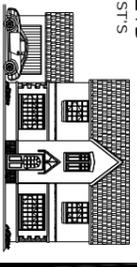
EXISTING Adj. SIDE ELEVATION
Scale 1:100



PLANNING

DISCOUNT PLANS LTD

PLANNING AND DESIGN SPECIALISTS
 HEAD OFFICE
 68 RAGLAN AVENUE
 WALTHAM CROSS
 HERTFORDSHIRE
 EN8 8DD
 07838135957



GENERAL NOTES:
 Do not scale from this drawing, any dimensions shown are indicative only and are subject to verification on site. The contractor to set out, check and co-ordinate all dimensions on site during the course of construction. The contractor is responsible for the accuracy of all dimensions and for the accuracy of the Architect's and Engineer's drawings. Structural Engineer's calculations and any specialist supplier's drawings. Prior to commencement of building works the contractor/owner should:-
 1. Ensure that all working drawings and calculations are approved by Building Control and Planning Departments & that they are the current revised drawings before any works start on site.
 2. Inform the Building Control Department that the works are about to commence on site after reaching an approved decision from building control in writing.
 3. Verify boundary lines & ground conditions including checking positions of all gas, electrical, water & other services drainage etc. within the site prior to the commencement of excavations. Owner is responsible for the accuracy of all dimensions shown on drawings do not match the actual site conditions. If a discrepancy is found, the contractor/owner should be notified immediately. If necessary, a land search should be carried out by the homeowner/contractor.
 4. DPL are not responsible for builders changing design methods from proposed works. The client is responsible for works being carried out on a building notice.
 5. Owner is responsible for purchasing additional materials and covering extra engineering design costs for any additional structural design change on site from the start to end of building works requested by building control or any other third party's instruction during building works.

6. Request a copy of the Party Wall Award where works affect party wall or involve excavations within 3 meters of adjoining buildings - elements of the building and foundations are affected. The contractor is responsible for the accuracy of all dimensions and for the accuracy of the temporary supports are in place.
 7. Works carried out under a building notice or prior to approval of drawings are at the contractor's/owner's risk. (All DPL drawings must be approved before building control departments are fully responsible for the likelihood of condemned works.
 8. Any discrepancies, either between written dimensions and site dimensions or between this drawing and other consultant's or supplier drawings, should be brought to the attention of the contractor/owner immediately. The contractor/owner is responsible for the accuracy of all dimensions which is on site then this will need to be brought to DPL attention straight away before works commence so an alternative design can be reached and approved by Building Control.
 9. All drawings are subject to a 1m deep, if however the existing foundation is different from that shown on the drawing, the contractor will need to advise on a different method of construction.

PLANNING NOTES:
 1. All new proposed roof and wall finishes on this drawing to match existing materials.
 2. All new proposed windows shown on this drawing to match existing windows.
 3. All new proposed windows shown on this drawing which are to be replaced, designed to be non opening and of obscure glazing.
 4. For a permitted development, left hand side, the design of this drawing is set back from the existing roof profile.
 5. All works to be carried out in accordance with the latest appropriate codes of practice and to comply with current building regulations.

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SITE ADDRESS
 162B MAYGROVE ROAD,
 LONDON, NW6 2EP

DRAWING TITLE
 EXISTING DRAWINGS

DRAWN AT HEAD OFFICE
 DRAWN BY

SCALE AS SHOWN @ A3
 DATE 06. JANUARY 2017

DRAWING NO.
 DPL.04.
REVISION
 -

PRINT @ A3 SHEET SIZE