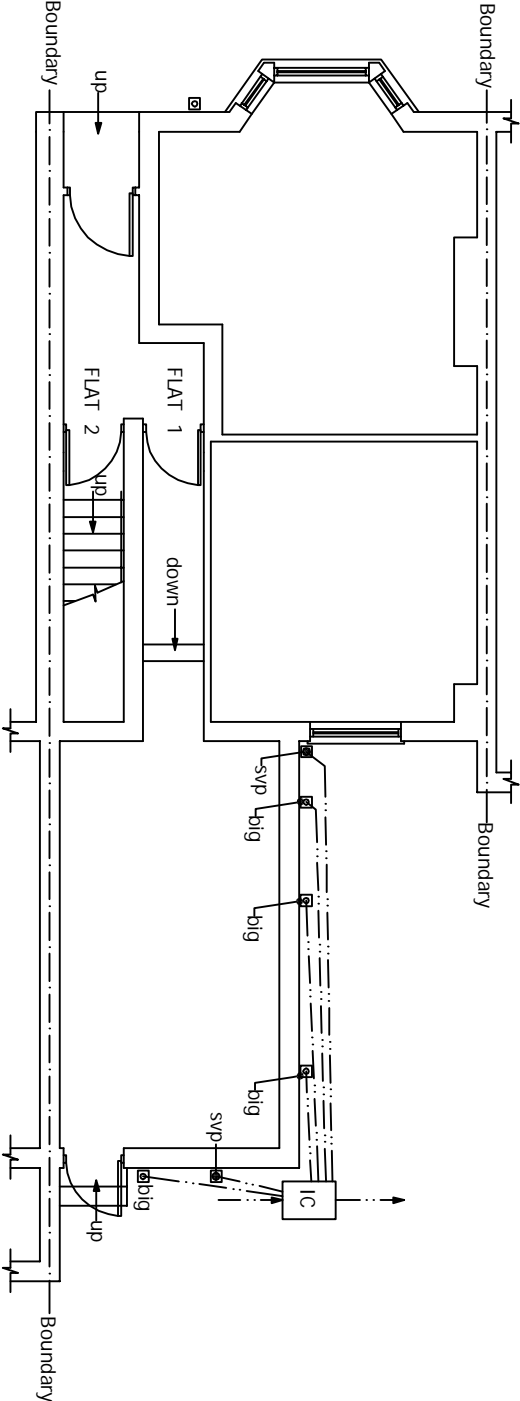


EXISTING and PROPOSED FIRST FLOOR PLAN

Scale 1:100



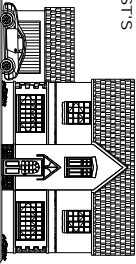
EXISTING and PROPOSED GROUND FLOOR PLAN

Scale 1:100

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DRAWING STATUS		PLANNING	
REV.	DATE	NAME	DESCRIPTION

DISCOUNT PLANS LTD  
PLANNING AND DESIGN SPECIALISTS  
HEAD OFFICE  
68 RAGLAN AVENUE  
WALTHAM CROSS  
HERTFORDSHIRE  
EN8 8DD  
07838135957



- GENERAL NOTES:**
- Do not scale from this drawing, any dimensions shown are indicative only and are subject to verification on site. The contractor to set out, check and co-ordinate all dimensions on site during the course of the works. The contractor to ensure that all dimensions are correct and that the works are carried out in accordance with the drawings and specifications. The contractor to ensure that all dimensions are correct and that the works are carried out in accordance with the drawings and specifications.
1. Ensure that all working drawings and calculations are approved by Building Control and Planning Departments & that they are the current revised drawings before any works start on site.
2. Inform the Building Control Department that the works are about to commence on site after receiving an approved decision from building control in writing.
3. Verify boundary lines & ground conditions including checking positions of all gas, electrical, water & other services drainage etc. within the site prior to the commencement of excavations. Owner is responsible for the accuracy of the drawings and specifications. The contractor to ensure that the works are carried out in accordance with the drawings and specifications. The contractor to ensure that the works are carried out in accordance with the drawings and specifications.
4. DPL are not responsible for builders changing design methods from proposed works. The client is responsible for works being carried out on a building notice.
5. Owner is responsible for purchasing additional materials and covering extra engineering design costs for any additional structural design change on site from the start to end of building works requested by building control or any other third party's instruction during building works.

6. Request a copy of the Party Wall Award where works affect party wall or involve excavations within 3 meters of adjoining buildings. Elements of the building and adjoining structures are shown in place.
7. Works carried out under a building notice or prior to approval of drawings are at the contractor's/owner's risk. (All DPL drawings must be approved before works commence) Builders building without plans being approved by planning & building control departments are fully responsible for the likelihood of condemned works.
8. Any discrepancies, either between written dimensions and site dimensions or between this drawing and other consultant's or supplier drawings, should be brought to the attention of the architect or engineer immediately. The contractor to ensure that the works are carried out in accordance with the drawings and specifications. The contractor to ensure that the works are carried out in accordance with the drawings and specifications.
9. All of the drawings shown on this drawing are at the contractor's/owner's risk. The contractor to ensure that the works are carried out in accordance with the drawings and specifications. The contractor to ensure that the works are carried out in accordance with the drawings and specifications.
10. All of the drawings shown on this drawing are at the contractor's/owner's risk. The contractor to ensure that the works are carried out in accordance with the drawings and specifications. The contractor to ensure that the works are carried out in accordance with the drawings and specifications.

PLANNING NOTES:

1. All new proposed roof and wall finishes on this drawing to match existing materials.
2. All new proposed skylights shown on this drawing to be set back from the existing roof profile.
3. All new proposed windows shown on this drawing to be set back from the existing roof profile.
4. For a permitted development LPA decide the design of the proposed windows and doors. The design of the proposed windows and doors is set back from the existing roof profile.
5. All works to be carried out in accordance with the latest appropriate codes of practice and to comply with current building regulations.

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CONTACT NUMBER: 07838 135 957

SITE ADDRESS

162B MAYGROVE ROAD,  
LONDON, NW6 2EP

DRAWING TITLE

EXISTING DRAWINGS

DRAWN AT HEAD OFFICE

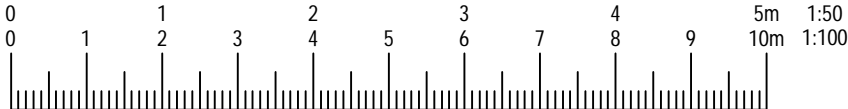
DRAWN BY

SCALE AS SHOWN @ A3 DATE 06. JANUARY. 2017

DRAWING NO. DPL.01.

REVISION

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PRINT @ A3 SHEET SIZE