

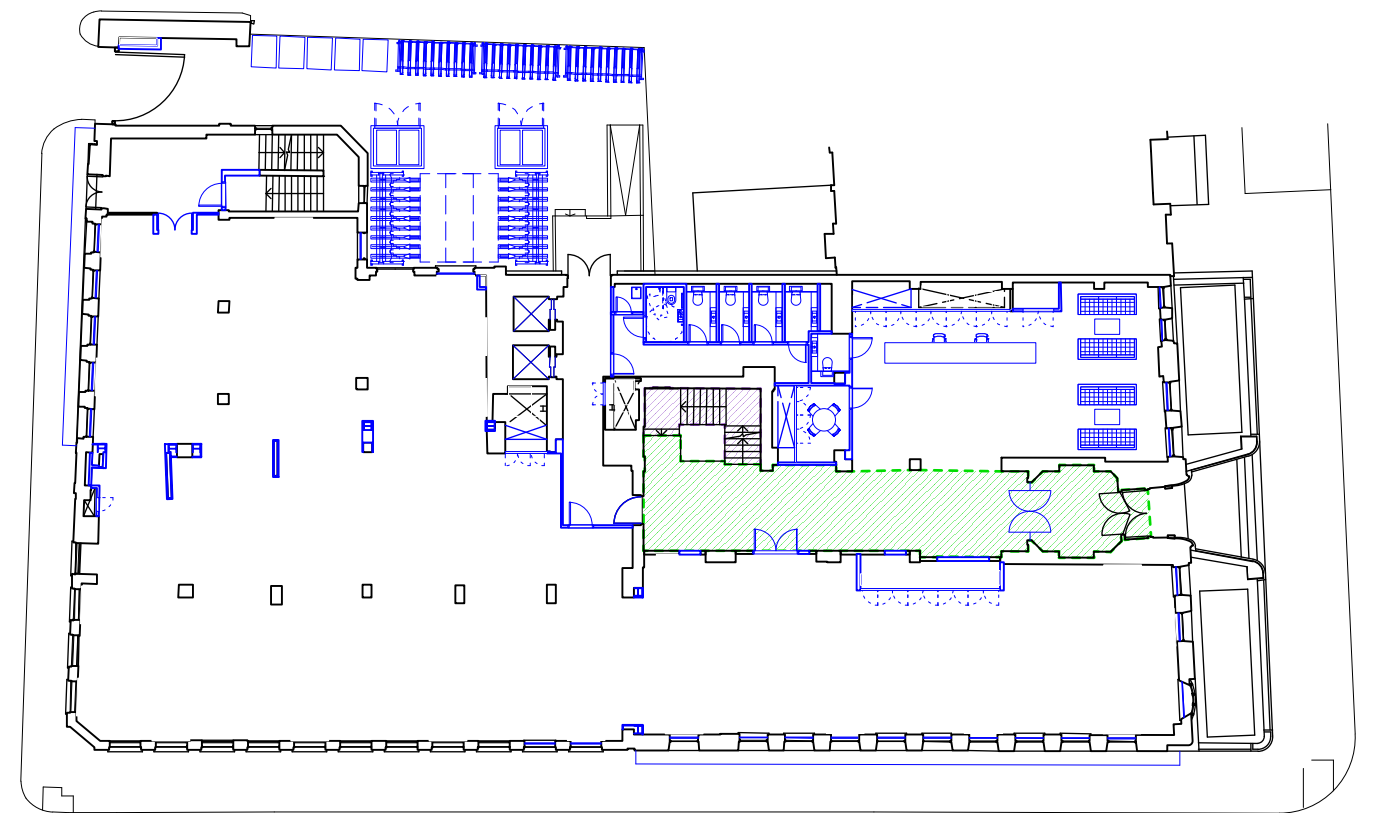
### GROUND FLOOR DEMOLITION PLAN

#### AREAS OF HISTORIC SIGNIFICANCE

- 0.1 Ground Floor Corridor: All floor finishes, cornice mouldings, skirtings, dado rails, architraves, light fittings to be retained and protected for duration of works.
- 0.2 Stair 1: Structure of stair to be retained and protected during the works. Handrail to be altered as set out on 893 ST Series drawings.

#### GENERAL DEMOLITION NOTES

- 1.1 Remove all loose fittings, loose furniture, fitted furniture (including cupboards, shelves, kitchen units, sinks, worktops, kitchen worktops and other built in furniture), and equipment from site.
- 1.2 Strip-out all non load-bearing, internal glazed and plasterboard partitioning, column and spandrel linings and internal doors and frames as indicated.
- 1.3 Remove all suspended ceiling tiles, grids and plasterboard margins throughout.
- 1.4 Existing internal floor finishes, skirtings, raised floor tiles or boards, pedestals and screeds to be carefully stripped out throughout.
- 1.5 All WCs and sanitaryware to be fully stripped-out, wall finishes and cubicle partitions/IPS panelling systems to be removed and services capped/made safe.
- 1.6 Rooftop Plant to be removed.
- 1.7 Any roof penetrations exposed as a result of plant removal to be sealed and waterproofed.
- 1.8 All existing electrics, services and redundant pipes stripped-out and services capped/ made safe.
- 1.9 Wall and floor mounted radiators including casings and all pipework to be removed.
- 1.10 All floor penetrations exposed as a result of plant removal to have trip and/or fall-protection provided..
- 1.11 All lift cars and associated machinery to be removed. Resulting dangerous openings on each level to have edge protection provided.
- 1.12 Remove all light fittings and signage, including wall mounted and recessed, to all office floors and staircases. Care taken when removing items from internal faces of external walls in order to ensure masonry fabric of external skin is not damaged.
- 1.13 All facade mounted CCTV cameras and lighting to be removed from existing facade. NOTE: SUMMIT HOUSE Signage to Red Lion Square elevation to be retained and protected. Care to be taken when removing items to ensure masonry/stone fabric of external skin is not damaged. Facade to be made good as required.
- 1.14 All pavement lights to Dane Street and Eagle Street to be removed.
- 1.15 Existing rendered outbuilding at roof level to be demolished.



### GROUND FLOOR ALTERATIONS PLAN

#### AREAS OF HISTORIC SIGNIFICANCE





- 2.3 All infill construction to new corridor to have skirtings, picture rails installed to match existing.
- 2.4 Stair structure to be left in situ. Minor local alterations as set out on 893 ST Series drawings.

#### GENERAL ALTERATION NOTES

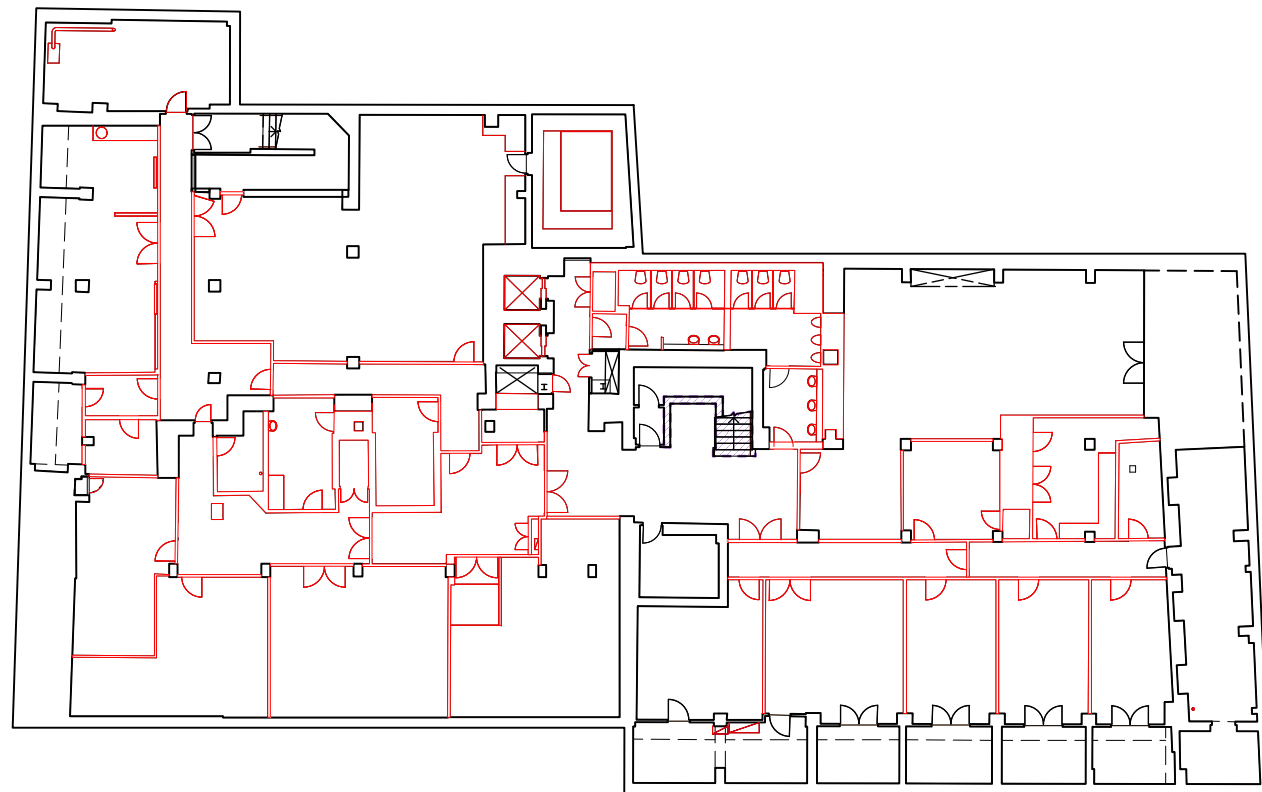
- 3.1 New partitions, doors, frame and sanitary installations to be provided as drawn.
- 3.2 New raised floors to be provided.
- 3.3 New lift installation within existing shaft.
- 3.4 New services installations throughout building.
- 3.5 Local alterations to stair handrails to suit revised floor levels. (refer ST Series drawings)
- 3.6 Secondary glazing to be provided to all existing windows.
- 3.7 Pavement Lights to be replaced with new to match existing.
- 3.8 New composite terrace decking to be provided at 4th floor.
- 3.9 New terrace handrail due to change in FFL.
- 3.10 New roof insulation and weathering finishes throughout roof and all 4th floor terraces.
- 3.11 New rooftop plant to be installed.
- 3.12 Rooftop Plant Decks to be introduced or reconfigured as required to suit new plant arrangement.
- 3.13 New acoustic plant screen provided to new chiller.



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**DRAWING NOTES:**  
**KEY**  
 Areas of particular historic interest - Plan form and finishes, fixtures and fittings of entrance corridor.  
 Areas of secondary historic interest - Plan form of stair. Note: Finishes and handrail are modern and have no historic significance.  
 Proposed Demolition  
 Proposed New Insertions

P1	Issued for Planning	05.01.17	DRAWING		Buckley Gray Yeoman Studio 4.04 The Tea Building 56 Shoreditch High Street London E1 6JJ T: 020 7033 9913 F: 020 7033 9914	
			Ground Floor Alterations			
			SCALE	DRAWING FILE REF		
			DATE	DRAWN BY		
DWG No.		REVISION	CLIENT		ESAS Holdings A.S	
893_AL-00		P1	PROJECT			
DRAWING STATUS		PLANNING		Summit House		
STATUS		REVISION	DATE		Information contained on this drawing is the sole copyright of Buckley Gray Yeoman and is not to be reproduced without their permission.	



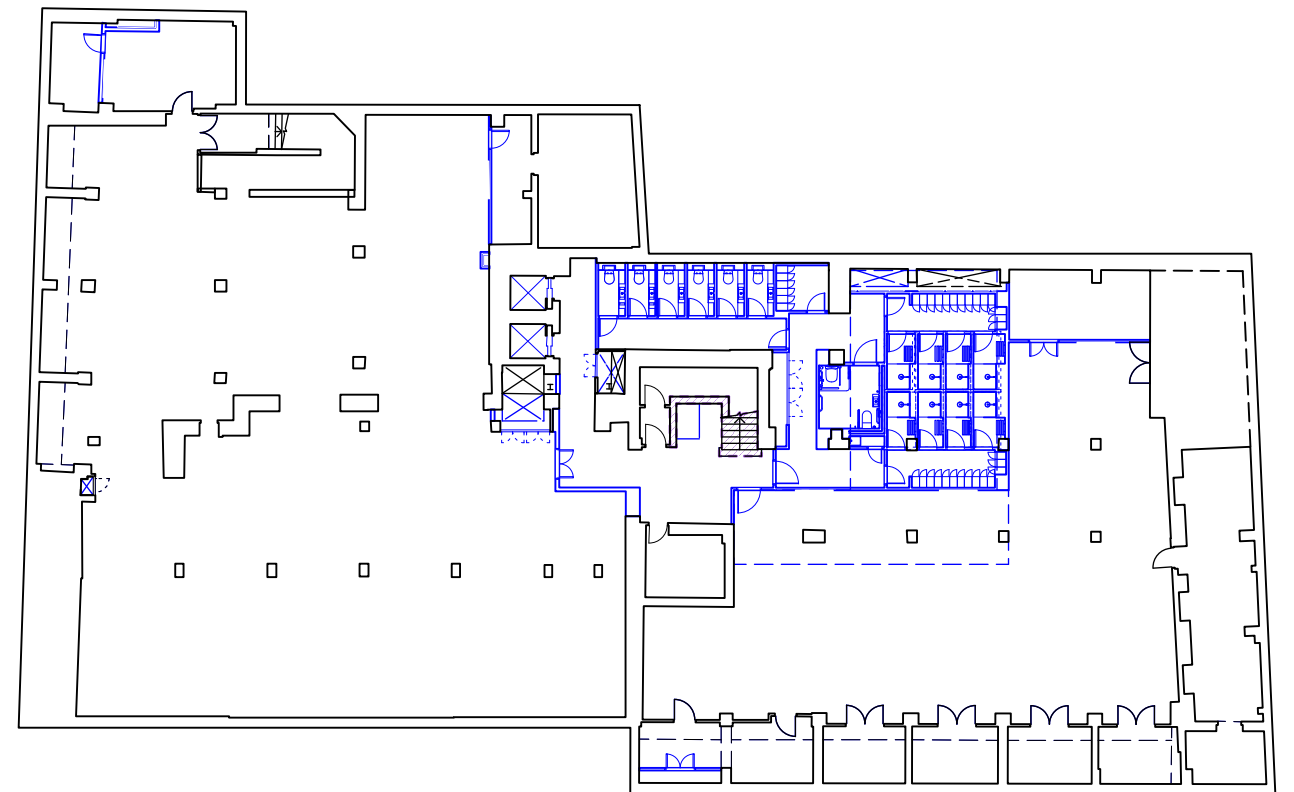
### BASEMENT DEMOLITION PLAN

#### AREAS OF HISTORIC SIGNIFICANCE

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#### GENERAL DEMOLITION NOTES

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- 1.2 Strip-out all non load-bearing, internal glazed and plasterboard partitioning, column and spandrel linings and internal doors and frames as indicated.
- 1.3 Remove all suspended ceiling tiles, grids and plasterboard margins throughout.
- 1.4 Existing internal floor finishes, skirtings, raised floor tiles or boards, pedestals and screeds to be carefully stripped out throughout.
- 1.5 All WCs and sanitaryware to be fully stripped-out, wall finishes and cubicle partitions/IPS panelling systems to be removed and services capped/made safe.
- 1.6 Rooftop Plant to be removed.
- 1.7 Any roof penetrations exposed as a result of plant removal to be sealed and waterproofed.
- 1.8 All existing electrics, services and redundant pipes stripped-out and services capped/ made safe.
- 1.9 Wall and floor mounted radiators including casings and all pipework to be removed.
- 1.10 All floor penetrations exposed as a result of plant removal to have trip and/or fall-protection provided..
- 1.11 All lift cars and associated machinery to be removed. Resulting dangerous openings on each level to have edge protection provided.
- 1.12 Remove all light fittings and signage, including wall mounted and recessed, to all office floors and staircases. Care taken when removing items from internal faces of external walls in order to ensure masonry fabric of external skin is not damaged.
- 1.13 All facade mounted CCTV cameras and lighting to be removed from existing facade. NOTE: SUMMIT HOUSE Signage to Red Lion Square elevation to be retained and protected. Care to be taken when removing items to ensure masonry/stone fabric of external skin is not damaged. Facade to be made good as required.
- 1.14 All pavement lights to Dane Street and Eagle Street to be removed.
- 1.15 Existing rendered outbuilding at roof level to be demolished.



### BASEMENT ALTERATIONS PLAN

#### AREAS OF HISTORIC SIGNIFICANCE

- 2.3 All infill construction to new corridor to have skirtings, picture rails installed to match existing.
- 2.4 Stair structure to be left in situ. Minor local alterations as set out on 893 ST Series drawings.

#### GENERAL ALTERATION NOTES

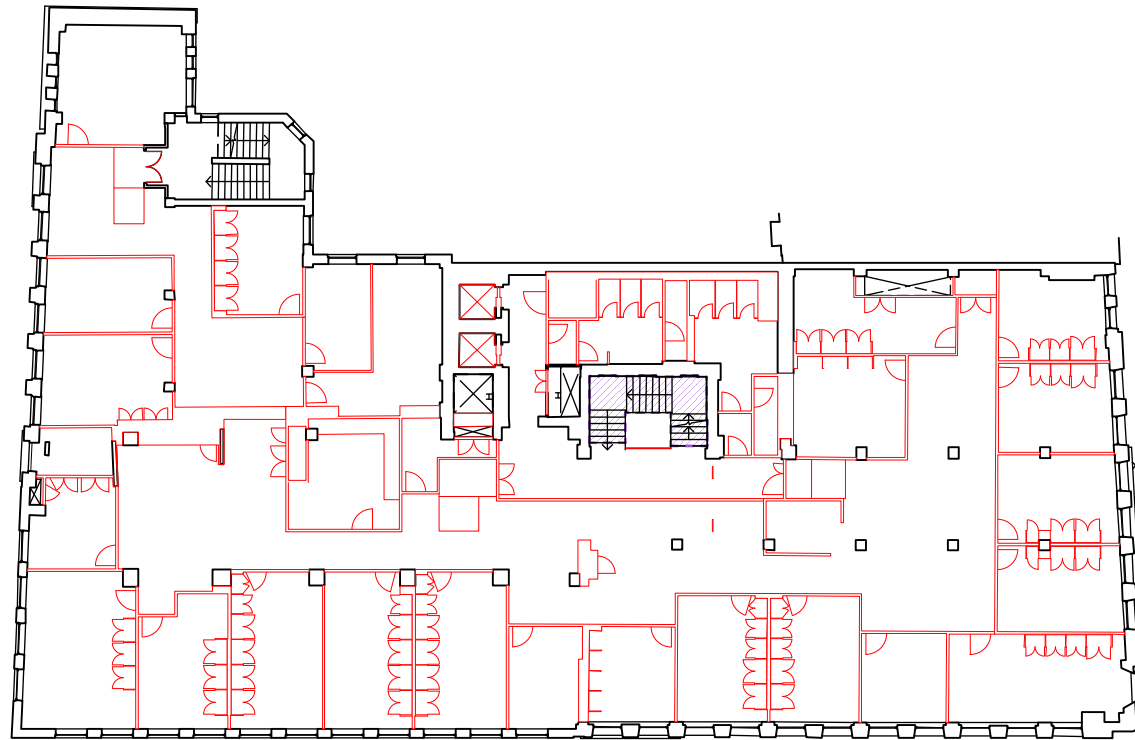
- 3.1 New partitions, doors, frame and sanitary installations to be provided as drawn.
- 3.2 New raised floors to be provided.
- 3.3 New lift installation within existing shaft.
- 3.4 New services installations throughout building.
- 3.5 Local alterations to stair handrails to suit revised floor levels. (refer ST Series drawings)
- 3.6 Secondary glazing to be provided to all existing windows.
- 3.7 Pavement Lights to be replaced with new to match existing.
- 3.8 New composite terrace decking to be provided at 4th floor.
- 3.9 New terrace handrail due to change in FFL.
- 3.10 New roof insulation and weathering finishes throughout roof and all 4th floor terraces.
- 3.11 New rooftop plant to be installed.
- 3.12 Rooftop Plant Decks to be introduced or reconfigured as required to suit new plant arrangement.
- 3.13 New acoustic plant screen provided to new chiller.



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 Proposed Demolition  
 Proposed New Insertions

DRAWING		Basement Alterations		Buckley Gray Yeoman	
SCALE	NTS	DRAWING FILE REF	893_A-x-P-xx-Building		
DATE	Dec 2016	DRAWN BY	NJ		
DWG No.	893_AL-B1	REVISION	P1		
DRAWING STATUS	PLANNING		CLIENT	ESAS Holdings A.S	
PROJECT	Summit House				
STATUS	P1 Issued for Planning	DATE	05.01.17	Information contained on this drawing is the sole copyright of Buckley Gray Yeoman and is not to be reproduced without their permission.	



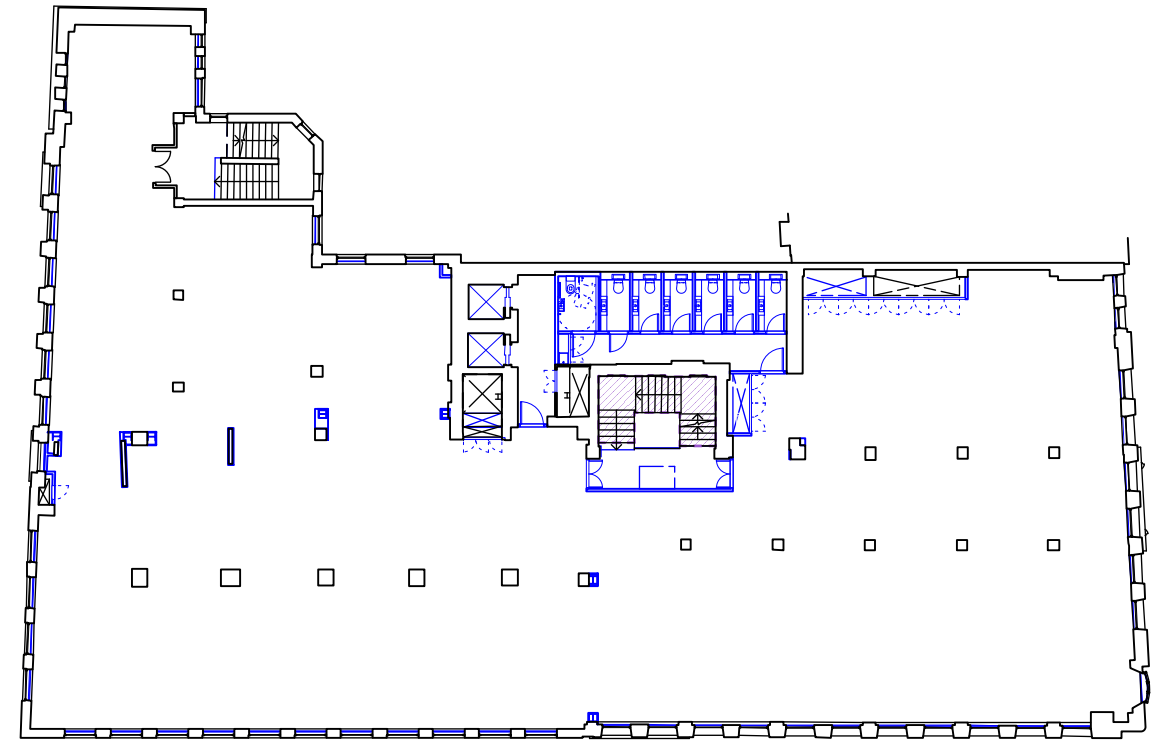
### FIRST FLOOR DEMOLITION PLAN

#### AREAS OF HISTORIC SIGNIFICANCE

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- 0.2 Stair 1: Structure of stair to be retained and protected during the works. Handrail to be altered as set out on 893 ST Series drawings.

#### GENERAL DEMOLITION NOTES

- 1.1 Remove all loose fittings, loose furniture, fitted furniture (including cupboards, shelves, kitchen units, sinks, worktops, kitchen worktops and other built in furniture), and equipment from site.
- 1.2 Strip-out all **non load-bearing**, internal glazed and plasterboard partitioning, column and spandrel linings and internal doors and frames as indicated.
- 1.3 Remove all suspended ceiling tiles, grids and plasterboard margins throughout.
- 1.4 Existing internal floor finishes, skirtings, raised floor tiles or boards, pedestals and screeds to be carefully stripped out throughout.
- 1.5 All WCs and sanitaryware to be fully stripped-out, wall finishes and cubicle partitions/IPS panelling systems to be removed and services capped/made safe.
- 1.6 Rooftop Plant to be removed.
- 1.7 Any roof penetrations exposed as a result of plant removal to be sealed and waterproofed.
- 1.8 All existing electrics, services and redundant pipes stripped-out and services capped/ made safe.
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- 1.14 All pavement lights to Dane Street and Eagle Street to be removed.
- 1.15 Existing rendered outbuilding at roof level to be demolished.



### FIRST FLOOR ALTERATIONS PLAN

#### AREAS OF HISTORIC SIGNIFICANCE

- 2.3 All infill construction to new corridor to have skirtings, picture rails installed to match existing.
- 2.4 Stair structure to be left in situ. Minor local alterations as set out on 893 ST Series drawings.

#### GENERAL ALTERATION NOTES

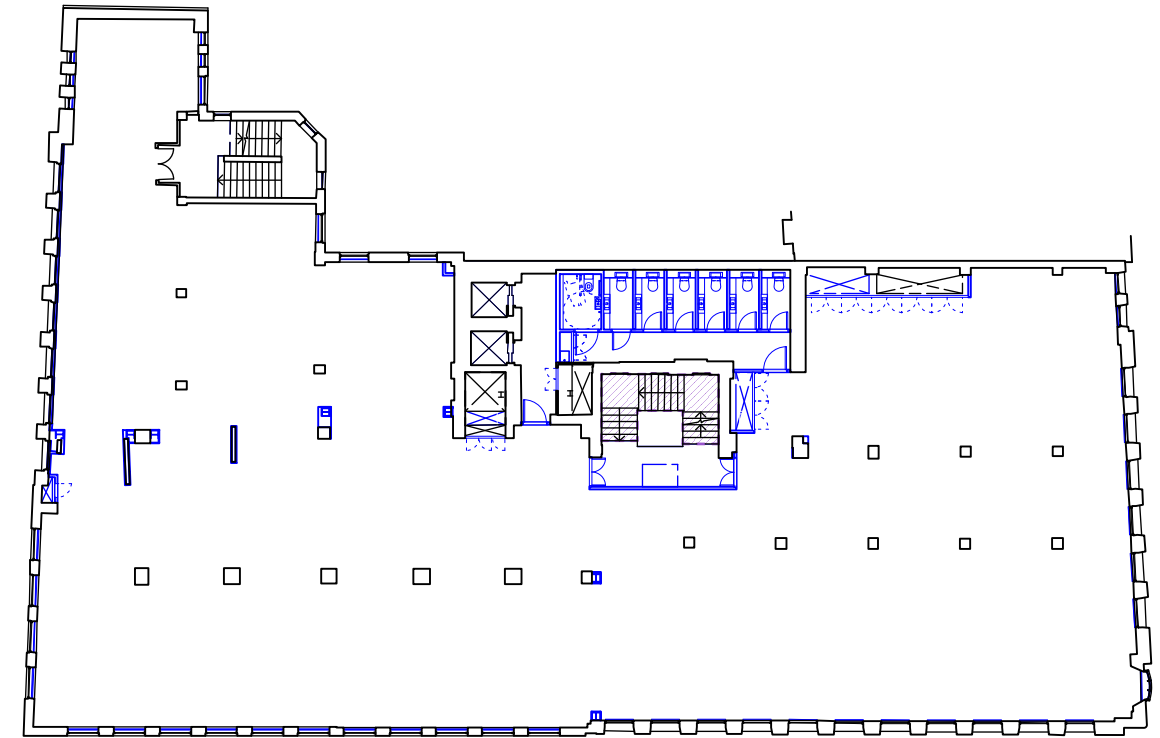
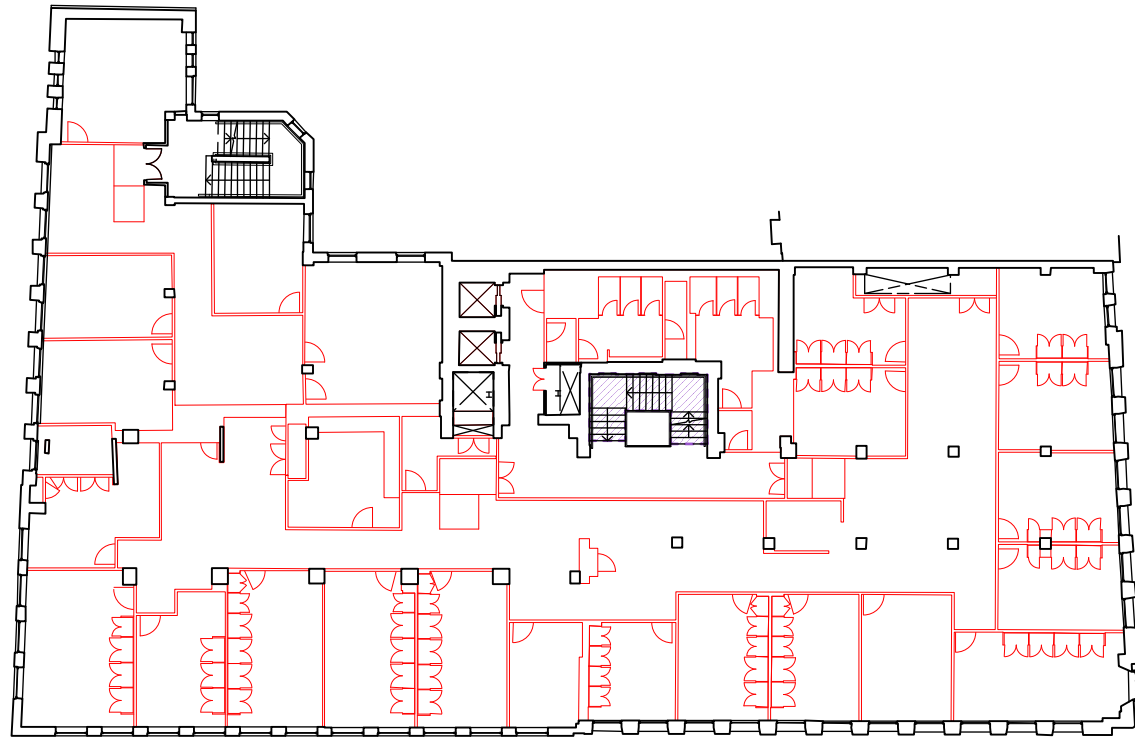
- 3.1 New partitions, doors, frame and sanitary installations to be provided as drawn.
- 3.2 New raised floors to be provided.
- 3.3 New lift installation within existing shaft.
- 3.4 New services installations throughout building.
- 3.5 Local alterations to stair handrails to suit revised floor levels. (refer ST Series drawings)
- 3.6 Secondary glazing to be provided to all existing windows.
- 3.7 Pavement Lights to be replaced with new to match existing.
- 3.8 New composite terrace decking to be provided at 4th floor.
- 3.9 New terrace handrail due to change in FFL.
- 3.10 New roof insulation and weathering finishes throughout roof and all 4th floor terraces.
- 3.11 New rooftop plant to be installed.
- 3.12 Rooftop Plant Decks to be introduced or reconfigured as required to suit new plant arrangement.
- 3.13 New acoustic plant screen provided to new chiller.



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 Areas of secondary historic interest - Plan form of stair. Note: Finishes and handrail are modern and have no historic significance.  
 Proposed Demolition  
 Proposed New Insertions

P1	Issued for Planning	05.01.17	DRAWING		Buckley Gray Yeoman Studio 4.04 The Tea Building 56 Shoreditch High Street London E1 6JJ T: 020 7033 9913 F: 020 7033 9914		
			First Floor Alterations				
			SCALE	NTS		DRAWING FILE REF	893_A-x-P-xx-Building
			DATE	Dec 2016		DRAWN BY	NJ
			DWG No.	893_AL-01		REVISION	P1
DRAWING STATUS			PLANNING		CLIENT	ESAS Holdings A.S	
STATUS			REVISION		DATE	PROJECT	Summit House



## SECOND FLOOR DEMOLITION PLAN

### AREAS OF HISTORIC SIGNIFICANCE

- 0.1 Ground Floor Corridor: All floor finishes, cornice mouldings, skirtings, dado rails, architraves, light fittings to be retained and protected for duration of works.
- 0.2 Stair 1: Structure of stair to be retained and protected during the works. Handrail to be altered as set out on 893 ST Series drawings.

### GENERAL DEMOLITION NOTES

- 1.1 Remove all loose fittings, loose furniture, fitted furniture (including cupboards, shelves, kitchen units, sinks, worktops, kitchen worktops and other built in furniture), and equipment from site.
- 1.2 Strip-out all **non load-bearing**, internal glazed and plasterboard partitioning, column and spandrel linings and internal doors and frames as indicated.
- 1.3 Remove all suspended ceiling tiles, grids and plasterboard margins throughout.
- 1.4 Existing internal floor finishes, skirtings, raised floor tiles or boards, pedestals and screeds to be carefully stripped out throughout.
- 1.5 All WCs and sanitaryware to be fully stripped-out, wall finishes and cubicle partitions/IPS panelling systems to be removed and services capped/made safe.
- 1.6 Rooftop Plant to be removed.
- 1.7 Any roof penetrations exposed as a result of plant removal to be sealed and waterproofed.
- 1.8 All existing electrics, services and redundant pipes stripped-out and services capped/ made safe.
- 1.9 Wall and floor mounted radiators including casings and all pipework to be removed.
- 1.10 All floor penetrations exposed as a result of plant removal to have trip and/or fall-protection provided..
- 1.11 All lift cars and associated machinery to be removed. Resulting dangerous openings on each level to have edge protection provided.
- 1.12 Remove all light fittings and signage, including wall mounted and recessed, to all office floors and staircases. Care taken when removing items from internal faces of external walls in order to ensure masonry fabric of external skin is not damaged.
- 1.13 All facade mounted CCTV cameras and lighting to be removed from existing facade. NOTE: SUMMIT HOUSE Signage to Red Lion Square elevation to be retained and protected. Care to be taken when removing items to ensure masonry/stone fabric of external skin is not damaged. Facade to be made good as required.
- 1.14 All pavement lights to Dane Street and Eagle Street to be removed.
- 1.15 Existing rendered outbuilding at roof level to be demolished.

## SECOND FLOOR ALTERATIONS PLAN

### AREAS OF HISTORIC SIGNIFICANCE





- 2.3 All infill construction to new corridor to have skirtings, picture rails installed to match existing.
- 2.4 Stair structure to be left in situ. Minor local alterations as set out on 893 ST Series drawings.

### GENERAL ALTERATION NOTES

- 3.1 New partitions, doors, frame and sanitary installations to be provided as drawn.
- 3.2 New raised floors to be provided.
- 3.3 New lift installation within existing shaft.
- 3.4 New services installations throughout building.
- 3.5 Local alterations to stair handrails to suit revised floor levels. (refer ST Series drawings)
- 3.6 Secondary glazing to be provided to all existing windows.
- 3.7 Pavement Lights to be replaced with new to match existing.
- 3.8 New composite terrace decking to be provided at 4th floor.
- 3.9 New terrace handrail due to change in FFL.
- 3.10 New roof insulation and weathering finishes throughout roof and all 4th floor terraces.
- 3.11 New rooftop plant to be installed.
- 3.12 Rooftop Plant Decks to be introduced or reconfigured as required to suit new plant arrangement.
- 3.13 New acoustic plant screen provided to new chiller.

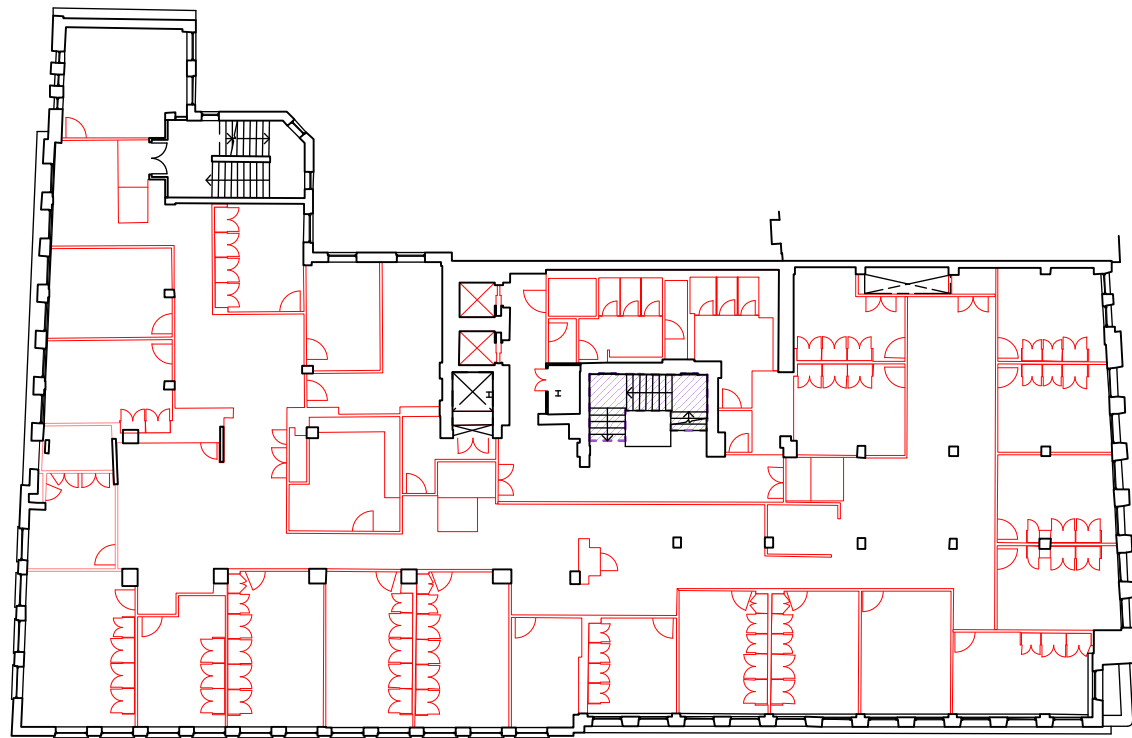


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 Proposed Demolition  
 Proposed New Insertions

P1	Issued for Planning	05.01.17	DRAWING		Buckley Gray Yeoman Studio 4.04 The Tea Building 56 Shoreditch High Street London E1 6JJ T: 020 7033 9913 F: 020 7033 9914		
			Second Floor Alterations				
			SCALE	NTS		DRAWING FILE REF	893_A-x-P-xx-Building
			DATE	Dec 2016		DRAWN BY	NJ
			DWG No.	893_AL-02		REVISION	P1
DRAWING STATUS			PLANNING	CLIENT	ESAS Holdings A.S		
STATUS			REVISION	DATE	PROJECT	Summit House	

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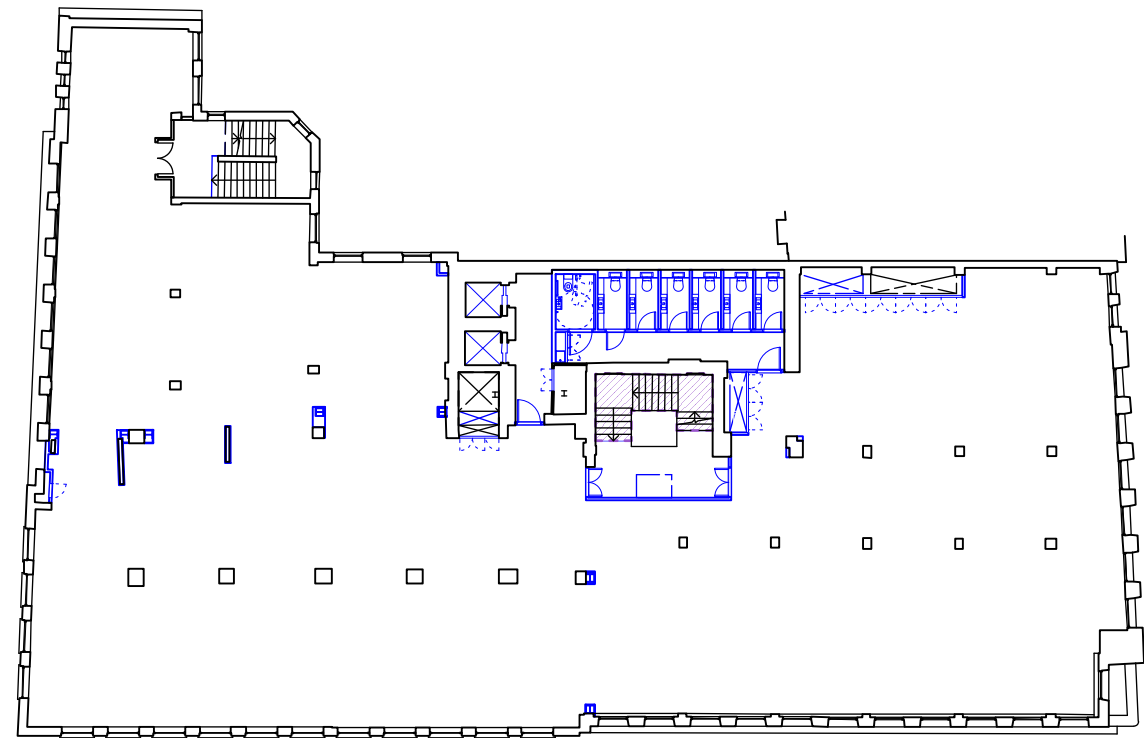
### THIRD FLOOR DEMOLITION PLAN

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#### GENERAL DEMOLITION NOTES

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- 1.14 All pavement lights to Dane Street and Eagle Street to be removed.
- 1.15 Existing rendered outbuilding at roof level to be demolished.



### THIRD FLOOR ALTERATIONS PLAN

#### AREAS OF HISTORIC SIGNIFICANCE

- 2.3 All infill construction to new corridor to have skirtings, picture rails installed to match existing.
- 2.4 Stair structure to be left in situ. Minor local alterations as set out on 893 ST Series drawings.

#### GENERAL ALTERATION NOTES

- 3.1 New partitions, doors, frame and sanitary installations to be provided as drawn.
- 3.2 New raised floors to be provided.
- 3.3 New lift installation within existing shaft.
- 3.4 New services installations throughout building.
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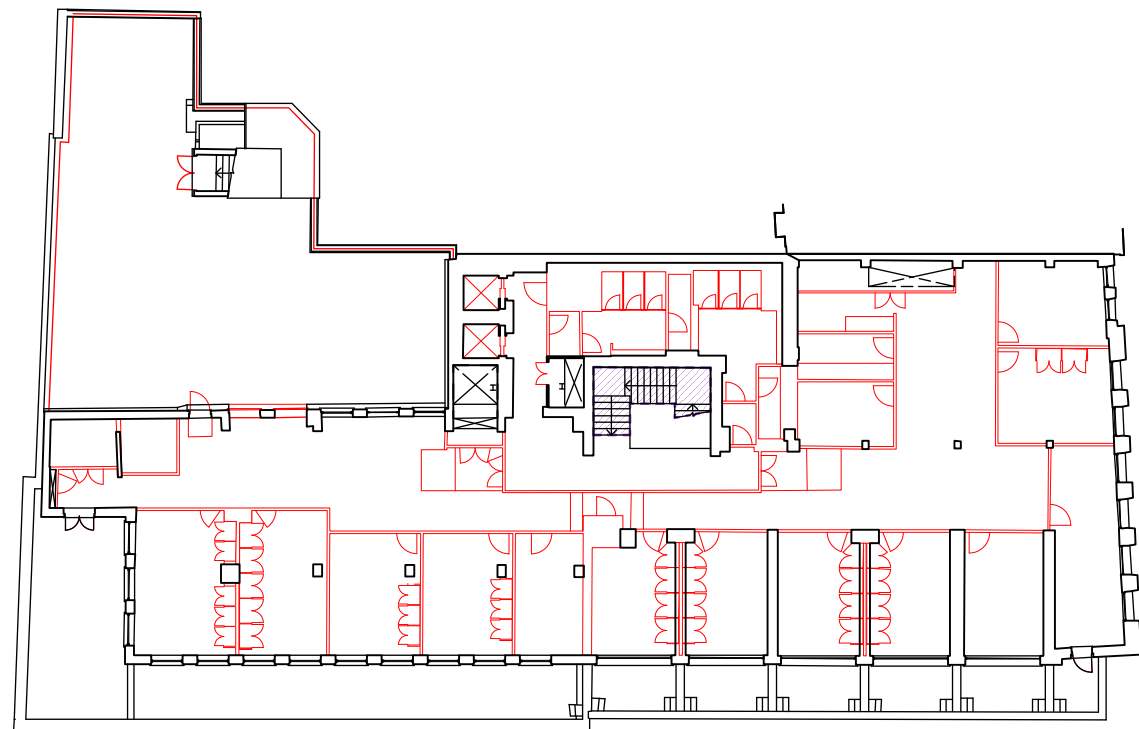
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**DRAWING NOTES:**

**KEY**

- Areas of particular historic interest - Plan form and finishes, fixtures and fittings of entrance corridor.
- Areas of secondary historic interest - Plan form of stair. Note: Finishes and handrail are modern and have no historic significance.
- Proposed Demolition
- Proposed New Insertions

DRAWING		Third Floor Alterations		Buckley Gray Yeoman	
SCALE	NTS	DRAWING FILE REF	893_A-x-P-xx-Building		
DATE	Dec 2016	DRAWN BY	NJ		
DWG No.	893_AL-03	REVISION	P1		
DRAWING STATUS	PLANNING		CLIENT	ESAS Holdings A.S	
PROJECT	Summit House				
STATUS	REVISION	DATE	<small>Information contained on this drawing is the sole copyright of Buckley Gray Yeoman and is not to be reproduced without their permission.</small>		



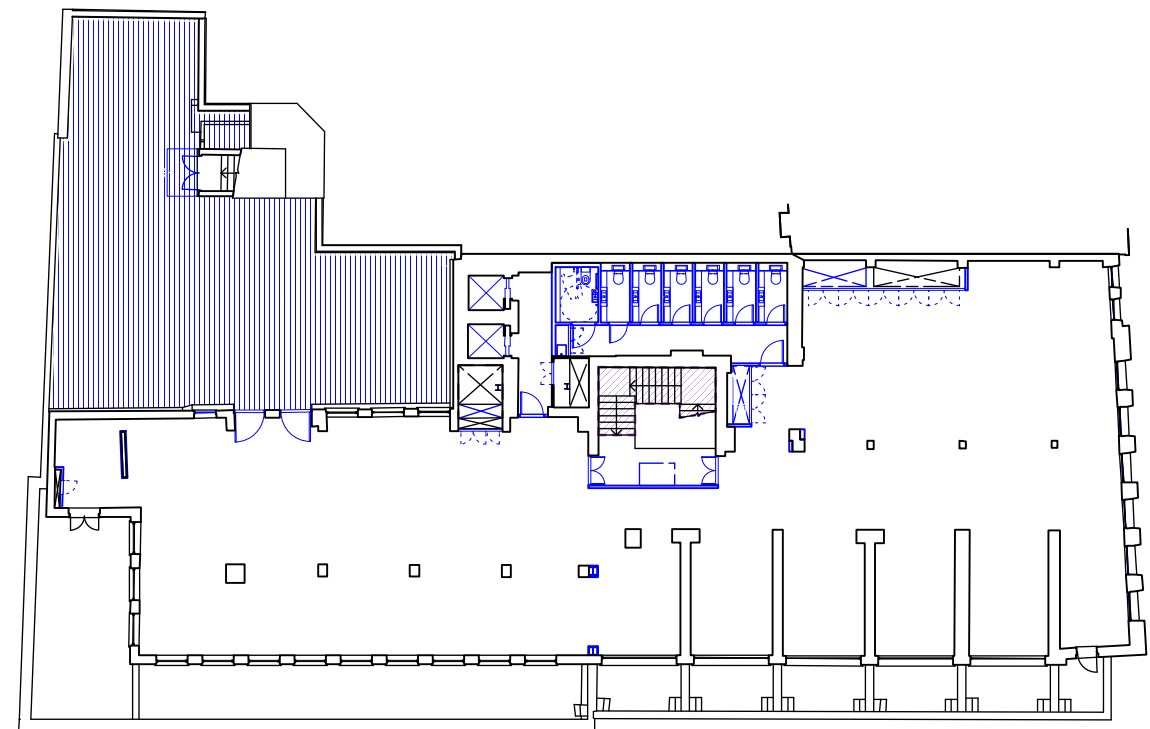
### FOURTH FLOOR DEMOLITION PLAN

#### AREAS OF HISTORIC SIGNIFICANCE

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- 0.2 Stair 1: Structure of stair to be retained and protected during the works. Handrail to be altered as set out on 893 ST Series drawings.

#### GENERAL DEMOLITION NOTES

- 1.1 Remove all loose fittings, loose furniture, fitted furniture (including cupboards, shelves, kitchen units, sinks, worktops, kitchen worktops and other built in furniture), and equipment from site.
- 1.2 Strip-out all non load-bearing, internal glazed and plasterboard partitioning, column and spandrel linings and internal doors and frames as indicated.
- 1.3 Remove all suspended ceiling tiles, grids and plasterboard margins throughout.
- 1.4 Existing internal floor finishes, skirtings, raised floor tiles or boards, pedestals and screeds to be carefully stripped out throughout.
- 1.5 All WCs and sanitaryware to be fully stripped-out, wall finishes and cubicle partitions/IPS panelling systems to be removed and services capped/made safe.
- 1.6 Rooftop Plant to be removed.
- 1.7 Any roof penetrations exposed as a result of plant removal to be sealed and waterproofed.
- 1.8 All existing electrics, services and redundant pipes stripped-out and services capped/ made safe.
- 1.9 Wall and floor mounted radiators including casings and all pipework to be removed.
- 1.10 All floor penetrations exposed as a result of plant removal to have trip and/or fall-protection provided..
- 1.11 All lift cars and associated machinery to be removed. Resulting dangerous openings on each level to have edge protection provided.
- 1.12 Remove all light fittings and signage, including wall mounted and recessed, to all office floors and staircases. Care taken when removing items from internal faces of external walls in order to ensure masonry fabric of external skin is not damaged.
- 1.13 All facade mounted CCTV cameras and lighting to be removed from existing facade. NOTE: SUMMIT HOUSE Signage to Red Lion Square elevation to be retained and protected. Care to be taken when removing items to ensure masonry/stone fabric of external skin is not damaged. Facade to be made good as required.
- 1.14 All pavement lights to Dane Street and Eagle Street to be removed.
- 1.15 Existing rendered outbuilding at roof level to be demolished.



### FOURTH FLOOR ALTERATIONS PLAN

#### AREAS OF HISTORIC SIGNIFICANCE

- 2.3 All infill construction to new corridor to have skirtings, picture rails installed to match existing.
- 2.4 Stair structure to be left in situ. Minor local alterations as set out on 893 ST Series drawings.

#### GENERAL ALTERATION NOTES

- 3.1 New partitions, doors, frame and sanitary installations to be provided as drawn.
- 3.2 New raised floors to be provided.
- 3.3 New lift installation within existing shaft.
- 3.4 New services installations throughout building.
- 3.5 Local alterations to stair handrails to suit revised floor levels. (refer ST Series drawings)
- 3.6 Secondary glazing to be provided to all existing windows.
- 3.7 Pavement Lights to be replaced with new to match existing.
- 3.8 New composite terrace decking to be provided at 4th floor.
- 3.9 New terrace handrail due to change in FFL.
- 3.10 New roof insulation and weathering finishes throughout roof and all 4th floor terraces.
- 3.11 New rooftop plant to be installed.
- 3.12 Rooftop Plant Decks to be introduced or reconfigured as required to suit new plant arrangement.
- 3.13 New acoustic plant screen provided to new chiller.



**DRAWING NOTES:**  
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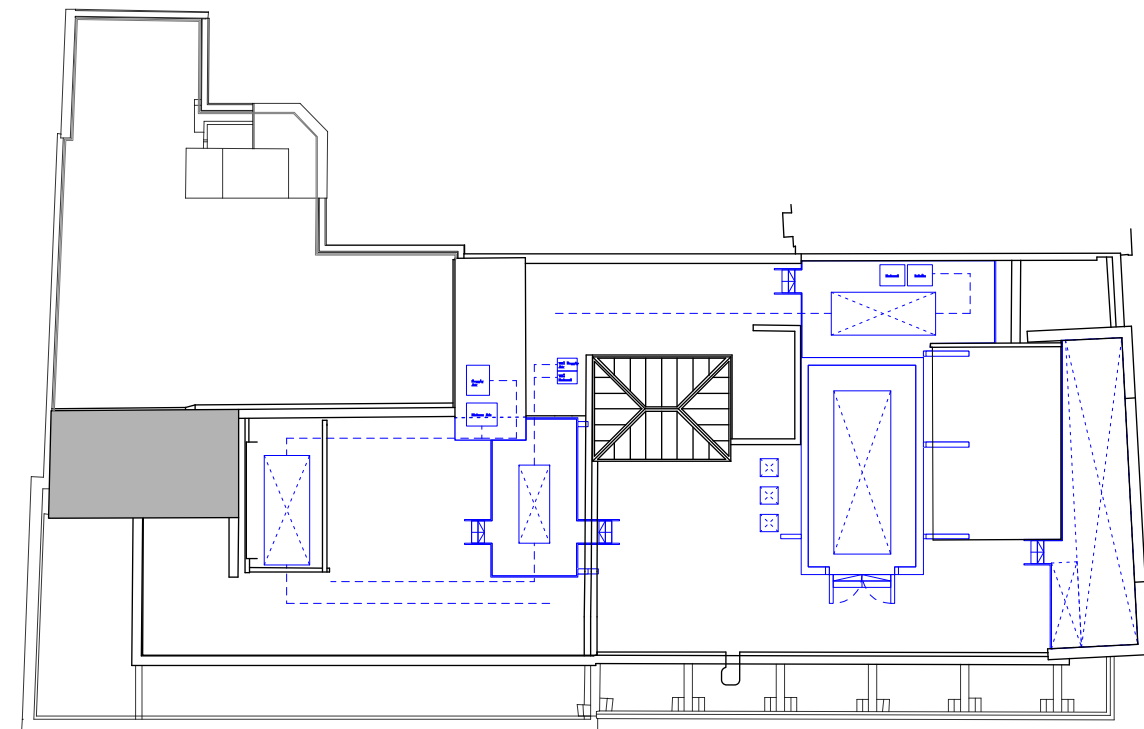
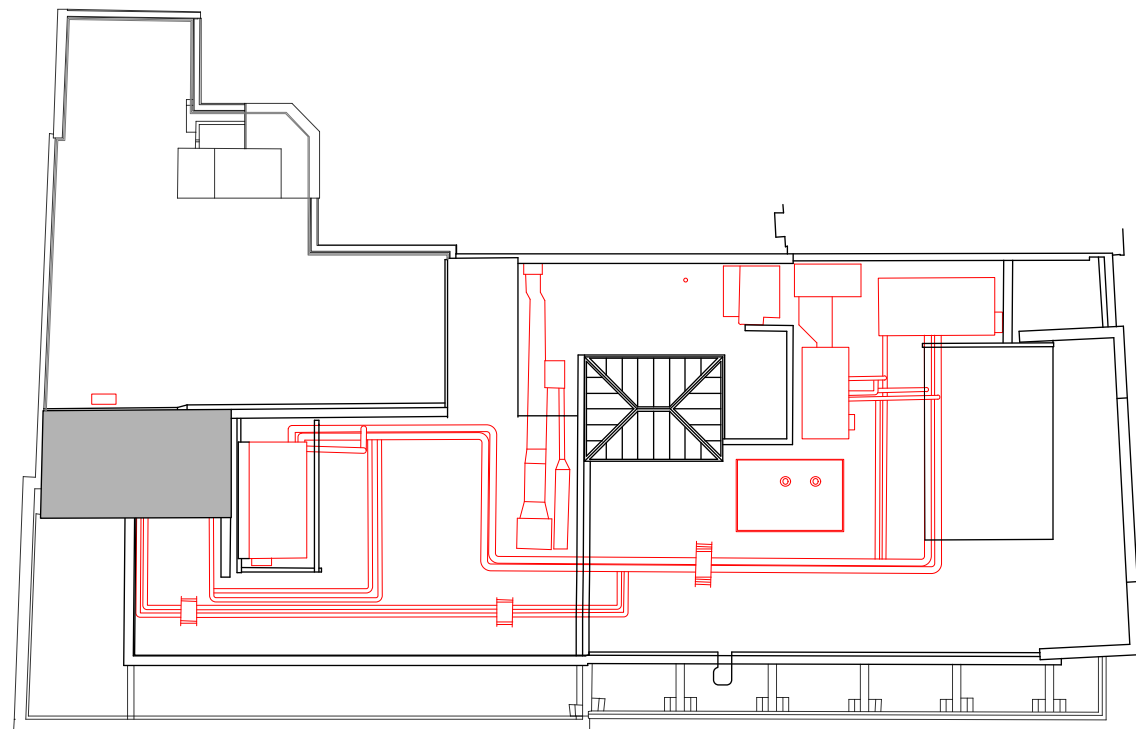
**DRAWING NOTES:**

**KEY**

- Areas of particular historic interest - Plan form and finishes, fixtures and fittings of entrance corridor.
- Areas of secondary historic interest - Plan form of stair. Note: Finishes and handrail are modern and have no historic significance.
- Proposed Demolition
- Proposed New Insertions

P1	Issued for Planning	05.01.17	DRAWING		Buckley Gray Yeoman Studio 4.04 The Tea Building 56 Shoreditch High Street London E1 6JJ T: 020 7033 9913 F: 020 7033 9914		
			Fourth Floor Alterations				
			SCALE	NTS		DRAWING FILE REF	893_A-x-P-xx-Building
			DATE	Dec 2016		DRAWN BY	NJ
DWG No.	893_AL-04	REVISION	P1	CLIENT	ESAS Holdings A.S		
DRAWING STATUS			PLANNING		PROJECT	Summit House	
STATUS			REVISION		DATE		

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### ROOF DEMOLITION PLAN

#### AREAS OF HISTORIC SIGNIFICANCE

- 0.1 Ground Floor Corridor: All floor finishes, cornice mouldings, skirtings, dado rails, architraves, light fittings to be retained and protected for duration of works.
- 0.2 Stair 1: Structure of stair to be retained and protected during the works. Handrail to be altered as set out on 893 ST Series drawings.

#### GENERAL DEMOLITION NOTES

- 1.1 Remove all loose fittings, loose furniture, fitted furniture (including cupboards, shelves, kitchen units, sinks, worktops, kitchen worktops and other built in furniture), and equipment from site.
- 1.2 Strip-out all **non load-bearing**, internal glazed and plasterboard partitioning, column and spandrel linings and internal doors and frames as indicated.
- 1.3 Remove all suspended ceiling tiles, grids and plasterboard margins throughout.
- 1.4 Existing internal floor finishes, skirtings, raised floor tiles or boards, pedestals and screeds to be carefully stripped out throughout.
- 1.5 All WCs and sanitaryware to be fully stripped-out, wall finishes and cubicle partitions/IPS panelling systems to be removed and services capped/made safe.
- 1.6 Rooftop Plant to be removed.
- 1.7 Any roof penetrations exposed as a result of plant removal to be sealed and waterproofed.
- 1.8 All existing electrics, services and redundant pipes stripped-out and services capped/ made safe.
- 1.9 Wall and floor mounted radiators including casings and all pipework to be removed.
- 1.10 All floor penetrations exposed as a result of plant removal to have trip and/or fall-protection provided..
- 1.11 All lift cars and associated machinery to be removed. Resulting dangerous openings on each level to have edge protection provided.
- 1.12 Remove all light fittings and signage, including wall mounted and recessed, to all office floors and staircases. Care taken when removing items from internal faces of external walls in order to ensure masonry fabric of external skin is not damaged.
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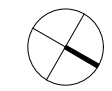
### ROOF ALTERATIONS PLAN

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			Roof Alterations				
			SCALE	NTS		DRAWING FILE REF	893_A-x-P-xx-Building
			DATE	Dec 2016		DRAWN BY	NJ
			DWG No.	893_AL-RF		REVISION	P1
DRAWING STATUS			PLANNING	CLIENT	ESAS Holdings A.S		
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