

Miss Kate Falconer Hall
Montagu Evans
5 Bolton Street
London
W1J 8BA

Application Ref: **2016/5936/L**
Please ask for: **Rachael Parry**
Telephone: 020 7974 **1443**

5 January 2017

Dear Sir/Madam

DECISION

Planning (Listed Building and Conservation Areas) Act 1990

Listed Building Consent Granted

Address:
Bay House
Kidderpore Avenue
London
NW3 7SU

Proposal:

Internal alterations to plan form at all levels, alterations to openings at lower ground level, removal of floor covering and insertion of replacement concrete slab at the lower ground and mezzanine levels, introduction of damp proofing and insulation works and underpinning and associated structural works.

Drawing Nos:

Mount Anvil Cover Letter Dated 28.10.16,
Mount Anvil Heritage Statement July 2015 with Oct 2016 addendum Statement (Parts 1-6),
A&Q Design & Access Statement dated August 2016

15778-LB BH EX 100 Rev 2 Existing Layouts: Lower Ground & Upper Ground
15778-LB BH EX 101 Rev 2 Existing Layouts: Mezzanine & First
15778-LB BH EX 102 Rev 2 Existing Layouts: Second & Roof
15778-LB BH EX 200 Rev 2 Existing Elevations

9000-DRG-02BH-EL903 Existing and proposed East Elevation



9000-DRG-02BH-EL903 Proposed Elevation to walkway
9000-DRG-02BH-EL901 South Elevation As Proposed

9000-DRG-03BH-LG910 Proposed Lowe Ground Plan
9000-DRG-03BH-UG910 Proposed Upper Ground Plan
9000-DRG-03BH-MZ910 Proposed Mezzanine Plan
9000-DRG-03BH-01910 Level 01 Proposed Plan
9000-DRG-03BH-02910 Level 02 Proposed Plan

Work Methodology for Underpinning by Mount Anvil dated 05.08.16
Bay House Structural Appraisal 9100-REP-102 by Tully De'Ath dated 24th May 2016
9100-DRG-00YY-DE001 Rev B Generic Builderswork Details
9100-DRG-00YY-DE002-Generic Details for Timber Floor Penetrations
9100-DRG-00YY-DE003-Generic Details For Concrete Floor Penetrations
9100-DRG-00YY-DE004 Rev B Timber Joists Subject to Decay
9100-DRG-00YY-DE005 Rev A-Generic Details for Bressummer Floor Beam Repairs
9100-DRG-00YY-DE006 Rev A-Generic Details for Larger Openings in Walls
9100-DRG-00YY-DE007-Site Wide Generic Ground Bearing Slab Reinforcement
9100-DRG-00YY-DE008-Details for Non-Composite Metal Deck Floor
9100-DRG-00YY-DE009 Rev A New Timber Floors and Steelwork
9100-DRG-00YY-DE010- New and Existing Structural Timber Stud Walls
9100-DRG-00YY-DE011 Rev A Generic Roof Repair Details
9100-DRG-99YY-GN002-General Notes-Refurbishment of Existing Structures
9100-DRG-99YY-GN010 Rev D-Site Wide Existing Buildings Key and Member Schedule
9100-DRG-03BH-LG900-Existing Floor Plans Sheet 1 of 3
9100-DRG-03BH-01900-Existing Floor Plans Sheet 2 of 3
9100-DRG-03BH-RF900-Existing Floor P

The Council has considered your application and decided to grant Listed Building Consent subject to the following condition(s):

Conditions And Reasons:

- 1 The works hereby permitted shall be begun not later than the end of three years from the date of this consent.

Reason: In order to comply with the provisions of Section 18 of the Planning (Listed Buildings and Conservation Areas) Act 1990.

- 2 All new work and work of making good shall be carried out to match the original work as closely as possible in materials and detailed execution.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policy DP25 of the London Borough of Camden Local Development Framework Development Policies.

- 3 The works hereby approved are only those specifically indicated on the drawing(s) referred to above.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policy DP25 of the London Borough of Camden Local Development Framework Development Policies.

- 4 Detailed drawings, sample of materials and method statements as appropriate, in respect of the following, shall be submitted to and approved in writing by the local planning authority prior to the commencement of the relevant part of works on Bay House:
- a) New internal lighting including scale drawings showing design and fixing methods.
 - b) New external lighting including scale drawings showing design and fixing methods.
 - c) The enlarged dormer to the rear at second floor where it is proposed to create a door to the external terrace. Drawings shall be submitted at a scale of 1:10.
 - d) Roof repairs demonstrating materials and techniques to be used, including the upgrading of insulation.
 - e) Any upgrading works to satisfy Building Control including noise insulation and fire separation.
 - f) Internal joinery and plasterwork detailing, including how and where new and existing will be reinstated following the insertion of insulation
 - g) Suspended ceilings including fixing method to existing.
 - h) All new balustrading or proposed modifications to existing balustrading.
 - i) Flooring, including the upgrading of insulation; lowering and build up detailing - and details of retained and replacement flooring

The relevant part of the works shall be carried out in accordance with the details thus approved.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policy DP25 of the London Borough of Camden Local Development Framework Development Policies.

- 5 Details of all new internal and external service runs, rainwater goods, vents, flues, extracts, cabling, heating equipment, and demonstrating their relationship with historic fabric shall be submitted to and approved in writing by the local planning authority prior to commencement of the relevant part of works. The submission

shall include plans, elevations and section drawings at a minimum scale of 1:10 with detailed drawings at 1:5 also showing where applicable: new service cupboards, bulkheads and boxing in for all new bathrooms and kitchens including risers and pipework and radiators.

The relevant part of the works shall be carried out in accordance with the details thus approved.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policy DP25 of the London Borough of Camden Local Development Framework Development Policies.

- 6 Details of any proposed re-pointing, including the proposed materials and pointing style shall be submitted to and approved in writing by the Council as local planning authority prior to the commencement of the relevant part of the work. The relevant part of the works shall be carried out in accordance with the details thus approved.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policy DP25 of the London Borough of Camden Local Development Framework Development Policies.

- 7 Details of any brick cleaning, including the cleaning method and undertaking of trials shall be submitted to and approved in writing by the Council as local planning authority, prior to the commencement of the relevant part of works. The work shall be carried out in accordance with such approved trials.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policy DP25 of the London Borough of Camden Local Development Framework Development Policies.

- 8 Details of all new windows and refurbishment works including a window schedule, drawings for all new and repaired windows, justification for proposals and method statements as appropriate shall be submitted to and approved in writing by the Council as local planning authority prior to the commencement of the relevant works on Bay House. The submission for all new windows shall include a typical plan, elevation and section drawings at a scale of 1:10 with typical glazing bar details at 1:1 for each window type. Details of window repair shall include works to associated joinery such as internal and external cills and sash boxes where appropriate. The works shall be carried out in accordance with the details thus approved.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policy DP25 of the London Borough of Camden Local Development Framework

Development Policies.

- 9 Details of all new internal and external doors and refurbishment works to existing doors including a door schedule, drawings for all new doors, justification for proposals and method statements for all new and repaired doors as appropriate shall be submitted to and approved in writing by the Council as local planning authority prior to the commencement of the relevant works on Bay House. The submission for all new doors shall include a typical plan, elevation and section drawings at a scale of 1:10 with moulding profiles at 1:1 for each door type. The relevant part of the works shall be carried out in accordance with the details thus approved.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policy DP25 of the London Borough of Camden Local Development Framework Development Policies.

- 10 Prior to commencement of the relevant works a damp proofing method statement shall be submitted to and approved in writing by the local planning authority.

The damp proofing works shall not be carried out other than in accordance with the approved method statement.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policy DP25 of the London Borough of Camden Local Development Framework Development Policies.

Informative(s):

- 1 Reason for granting Listed Building Consent:
Bay House dates to 1921 and is of three storeys which sits between and attached to three Grade II listed buildings; Kidderpore Hall, Maynard Wing and Skeel House. It is of red brick with stone corbel detailing under clay tiled roofs. Bay House was in use as part of the wider Kings College site which has received approval and is currently under development to convert existing into and construct new residential units. This application seeks amendments to that previously approved (2015/4120/L) and includes its conversion into 16 self-contained units; internal alterations to planform at all floor levels, removal of floor covering and insertion of replacement concrete slab at lower ground and ground floor levels, alteration to the lower ground floor openings to the south and east elevations, introduction of damp proofing and insulation works throughout and associated underpinning and structural works.

The proposed works have been sensitively designed to complement the existing fabric, character and materials of the building. Harm will be caused by some elements of the proposal; however this is outweighed by the enhancement and

upgrading of historic fabric and ensuring a sustainable viable use for the building. The proposed development is therefore considered to preserve the appearance, and hence the special interest of the grade-II listed building.

The site's planning history has been taken into account when coming to this decision. Public consultation was undertaken by placement of a press notice and site notice. No objections have been received.

Special regard has been attached to the desirability of preserving the listed building and its features of special architectural or historic interest, under s.16 of the Listed Buildings and Conservation Areas Act 1990 as amended by the Enterprise and Regulatory Reform Act (ERR) 2013.

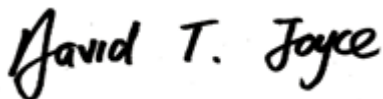
As such, the proposal is in general accordance with policy CS14 of the London Borough of Camden Local Development Framework Core Strategy, and policy DP25 of the London Borough of Camden Local Development Framework Development Policies. The proposed development also accords with policy 7.8 of the London Plan 2016, and paragraphs 14, 17, 56-68 and 126-141 of the National Planning Policy Framework.

- 2 You are advised that any works of alterations or upgrading not included on the approved drawings which are required to satisfy Building Regulations or Fire Certification may require a further application for listed building consent.
- 3 Prior to the commencement of any soft strip works you are advised to contact the Council to agree that the works would constitute soft strip.
- 4 You are advised that in respect of condition 10 the presumption is that damp proofing should be achieved by a dry lining membrane system

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully



David Joyce
Executive Director Supporting Communities