

23-24 Montague Street
London
WC1B 5BH

Design & Access Statement

In support of a Planning Application
and a Listed Building Consent
Application



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Front Cover: Existing Front Elevation

Opposite: Existing Back Elevation (Taken from the rear terrace)



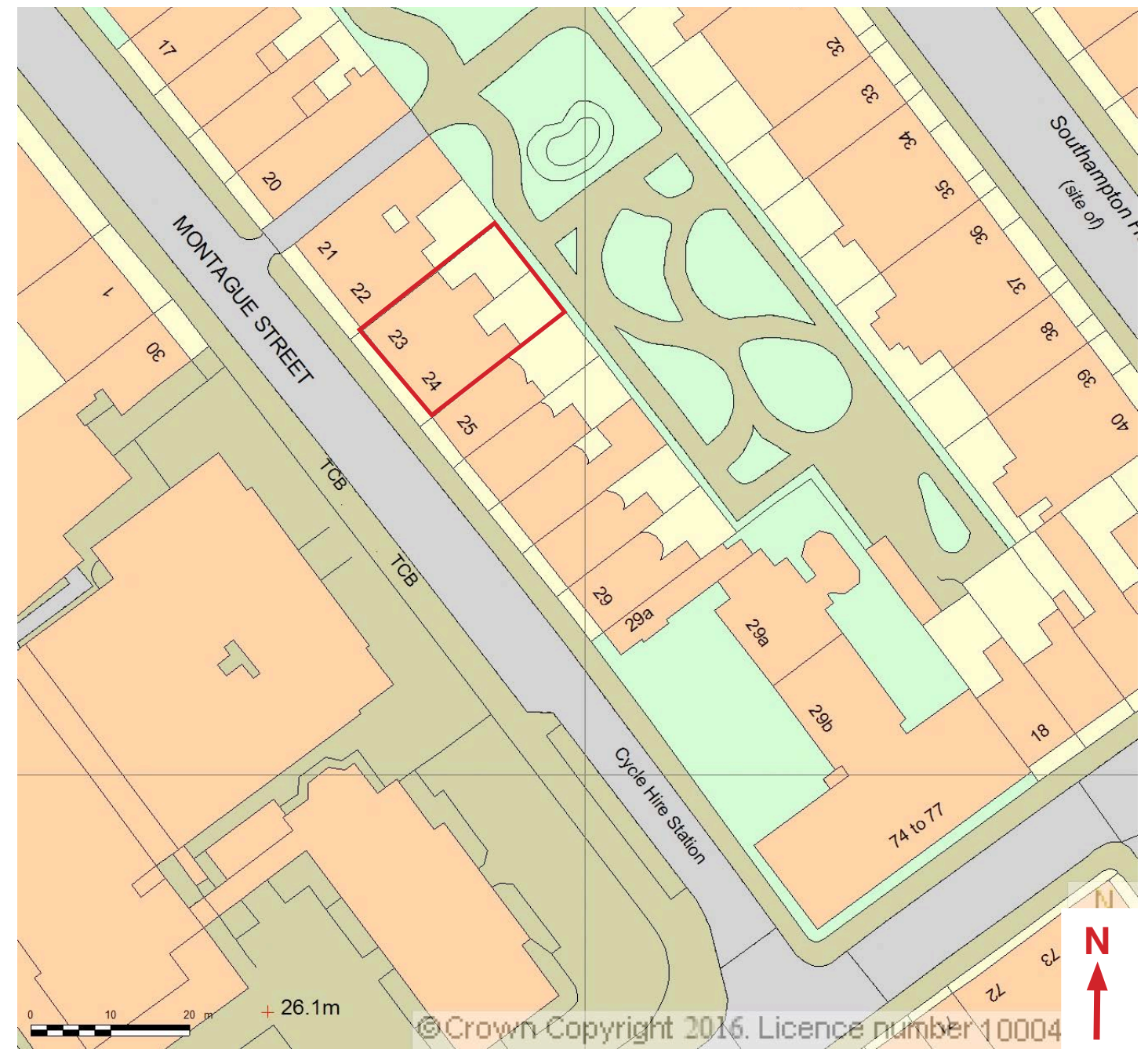
1.0 Introduction

This design and access statement is submitted in support of planning and listed building consent applications for works at 23-24 Montague Street.

It is proposed to convert the property from an existing hotel (Class C1) into 2 separate residential blocks, each containing 3 flats (Class C3). The proposals will create 2 no. Maisonettes over the lower/raised ground floors and the 2nd/3rd floors of both properties, plus 1 no. self contained flat on the 1st floors.

It is also proposed to replace the existing windows to the front facade, and to carry out the sensitive restoration of missing or damaged historic fabric. The mechanical and electrical services will be renewed throughout.

The work will restore the building fabric and help ensure the long-term preservation of the property by returning the buildings to their original residential use.



Site Plan

2.0 Existing Building and Site Context

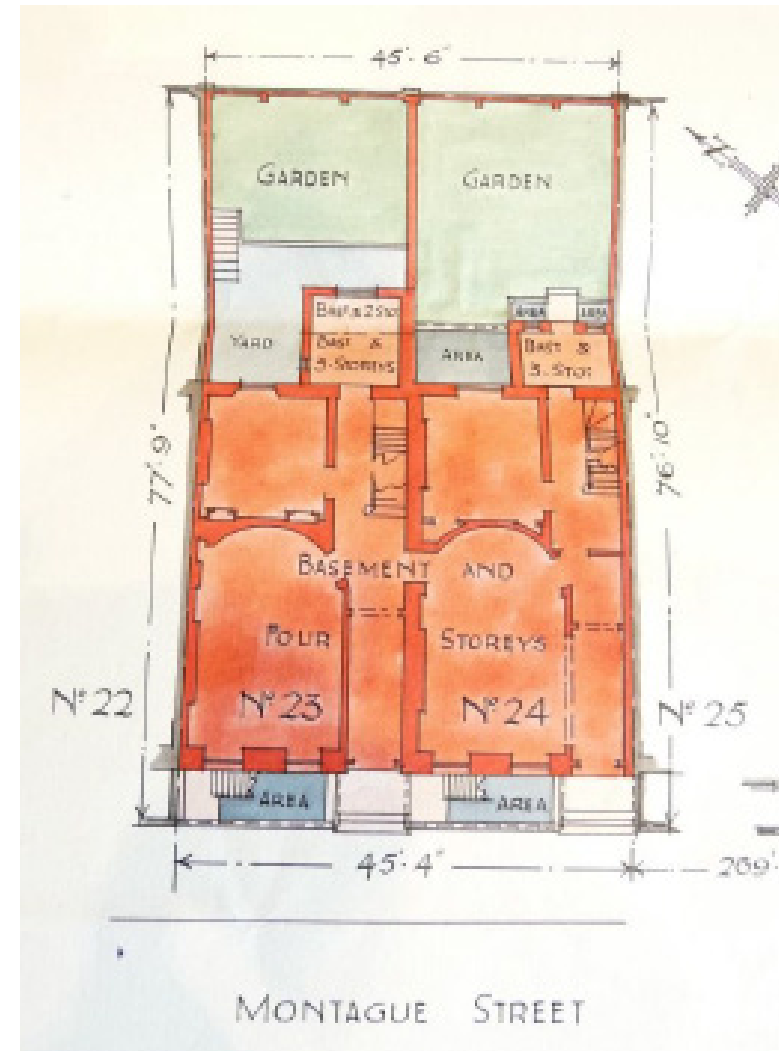
The properties are Grade II Listed, and lie within the Bloomsbury Conservation Area. They form part of a terrace of 18 houses, built c 1803-6 by James Burton.

In 1907, a licence was agreed for alterations to the properties and an opening was created through the Party Wall between 23 and 24 at the basement, ground and second floor level.

Alterations carried out in the 1970s introduced partitions that cut across the historic decorative plaster work and skirtings. In 1976, 23 Montague Street was modified to incorporate a lift which encroaches into the rear room arrangement.

The list entry details of 17-29 Montague Street describe a patterned fanlight above the door frames. This feature has been lost from the elevation of 23 Montague Street and has been replaced with a fascia signboard for Ruskin Hotel.

Please refer to the Heritage Statement by DLG Architects for full details of the extent and condition of original fabric.



Lease Plan, 1927



Lease Plan, 1976

3.0 Existing External Photographs (Overview)



Existing Passage Through Gardens



Existing Front Entrance of 23 Montague Street



View from Rear Terrace of Rear Elevation



Rear elevation of 24 Montague Street



Street Scene of Montague Street



Lightwell of 23 Montague Street

4.0 Existing Internal Photographs (Overview)



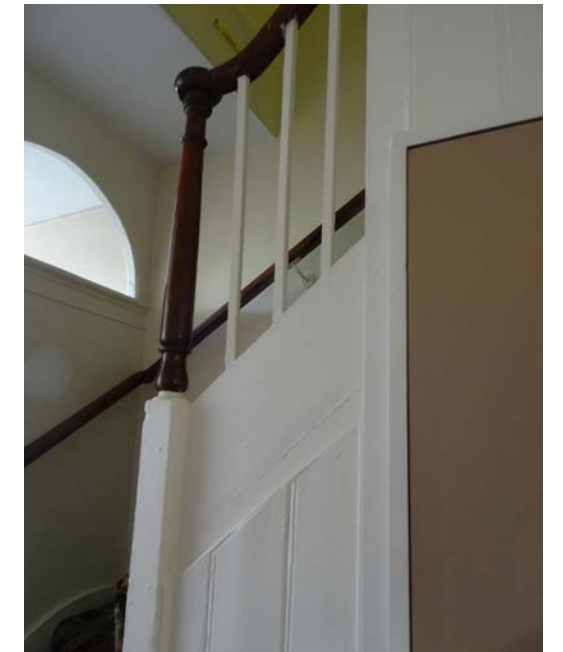
Original Architraves and Skirting



Architrave and Panelling to Door at Half-Landing



View Along Second Floor Corridor



Original Wainscoting at 3rd Floor Level



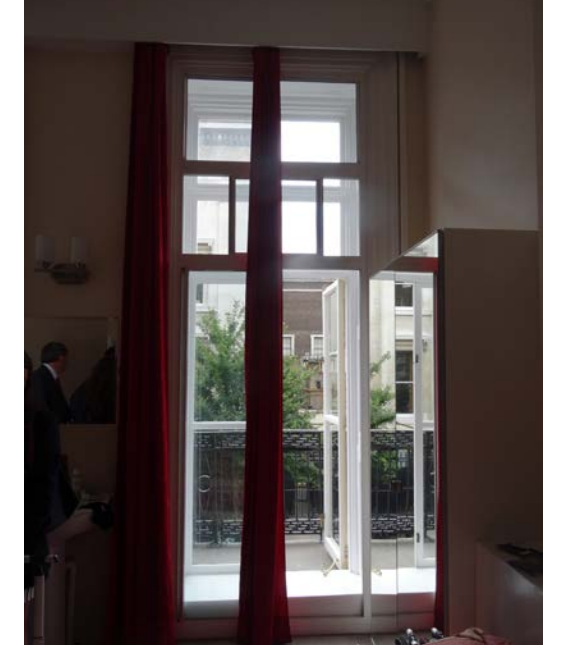
Remains of Original Cornice



View into Restaurant in Lower Ground of 24 Montague Street



View of Entrance Door and Fanlight



Doors and Secondary Glazing

5.0 Planning Status

The application site is located within sub-area 6 of the Bloomsbury Conservation Area, Russell Square and Tavistock Square. The building is clearly of significance both as part of a surviving early 19th century terrace and for its role as part of the Burton master plan and the historical background which led to its production.

The conservation assessment for Bedford Estate of a similar property at 27 Montague Street goes on to state that:

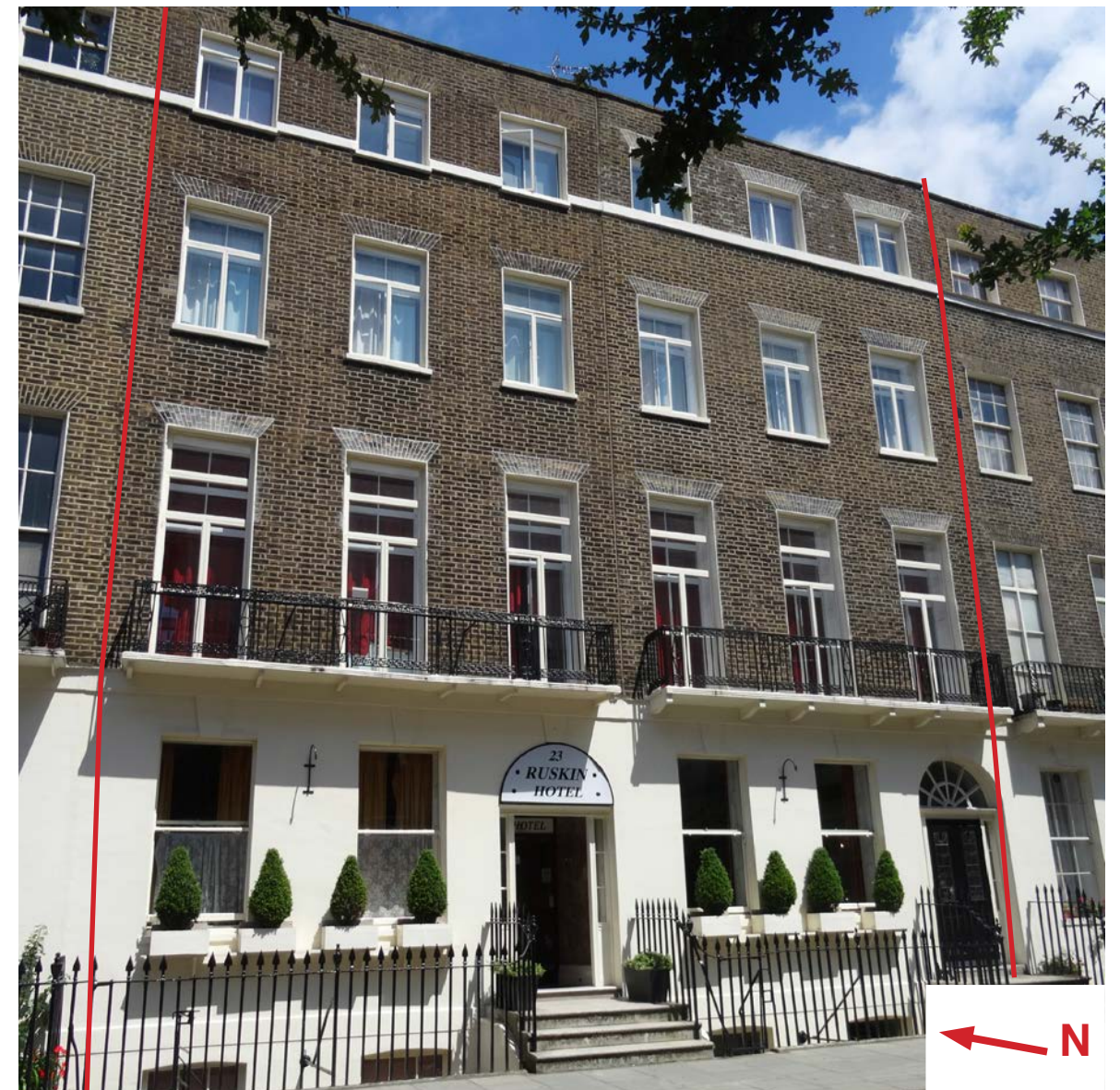
'The building has retained its original layout to a large degree and is of interest on that account although there is nothing of particular significance in that the layout follows that of many houses from this period and location.'

Nos. 23-24 Montague Street were Listed in 1969, together with nos. 21-22, 25-27 and 28-29 Montague Street. The list description mentions the round-arched entrance doors with reeded door frames or sidelights with patterned fanlights (No.24), cast iron railings and cast iron balconies to first floor windows.

Within the terrace, each house is 3-windows wide, with a strong rhythm of window and door openings, which create a sense of homogeneity despite slight variations in detailing. The existing casement windows to the front elevation are not original.

The area was historically associated with the legal & publishing profession, but there is an increasing trend to revert the townhouses back to their original residential use.

Several properties on Montague Street and also Bedford Place have been converted in this way.



Montague Street, View of terrace with No. 23-24 outlined in red.

6.0 Development Proposals

Architectural Approach

The proposed works seek to minimise the disturbance of historic fabric, while creating high quality living spaces.

In summary, we propose to:

- Seal the openings between 23-24 Montague Street + split the rear terrace space between the two residential units created, at lower ground and ground floor level.
- Restore damaged or lost features to match surviving original details such as cornice and skirting details
- Replace the windows to the front elevation with multi-pane timber sash windows with high performance single glazing.
- Restore the proportions in the main house by removing C20th partitions
- Remove the lift to 23 Montague Street to restore the proportions of the original house
- Secondary glazing will be added to lower ground front and third floor bedroom windows

Use

The current lawful use of the property is as a hotel (class C1). It is proposed to return the building to its original residential use (Class C3).

Amount

The existing total GEA for both 23 and 24 Montague Street is 989 sqm, this will remain unaltered in the new proposals. The existing and proposed GIA and GEA areas for each floor are as follows:

23-24 Montague Street (GEA)

Existing Basement Floor	239 sq m
Existing Ground Floor	195 sq m
Existing First Floor	192 sq m
Existing Second Floor	189 sq m
Existing Third Floor	173 sq m

23 - 24 Montague Street (GIA)

Existing Basement Floor	173 sq m
Existing Ground Floor	158 sq m
Existing First Floor	159 sq m
Existing Second Floor	160 sq m
Existing Third Floor	146p sq m

23 Montague Street (GIA)

Proposed Basement Floor	89 sq m
Proposed Ground Floor	81 sq m
Proposed First Floor	81 sq m
Proposed Second Floor	81 sq m
Proposed Third Floor	73 sq m

24 Montague Street (GIA)

Proposed Basement Floor	84 sq m
Proposed Ground Floor	77 sq m
Proposed First Floor	78 sq m
Proposed Second Floor	79 sq m
Proposed Third Floor	73 sq m

Layout

The ground and 1st floors are distinguished by taller ceiling heights and more embellished plaster work and joinery. The front rooms of these floors will be used as living spaces. Bedrooms will be located on the top floor, lower ground floor, and back rooms on the 1st floors of both properties.

Existing pavement vaults and the wine cellar will accommodate storage space.

Landscaping

The existing courtyard to the rear will be divided and refurbished. Flat 1 of both of the properties will have exclusive access to the terrace spaces.

Access to the private garden in Bedford Square to be made available to residents of the flats, subject to the standard Estate terms.

The existing stone to the front vaults and lightwell will be cleaned and relaid.



Aerial Photograph

External Appearance

The only external changes to the properties will be the new windows which are characteristic of these properties and will enhance the significance of the listed building.

We propose to remove the existing casement windows and secondary glazing to the front elevation, and replace them with timber sash windows to match the fenestration to the neighbouring buildings.

The existing fascia to 23 Montague Street will be removed and replaced with a patterned fanlight to match the neighbouring properties.

New services (extract fans, boiler flues etc) will terminate through the rear elevation or roof.

Internal Appearance

Joinery, architraves, cornice and skirting details will be retained and restored where damaged. Missing features will be reinstated to match.

We propose the removal of all modern surface fixed conduit and cabling, removal of artex finishes and the removal of the wash handbasins in the bedrooms.

The existing shutters and sash windows will be overhauled and repaired where necessary, with a proposal to remove existing secondary glazing, which will greatly enhance the visual appearance of the building and the street scene.

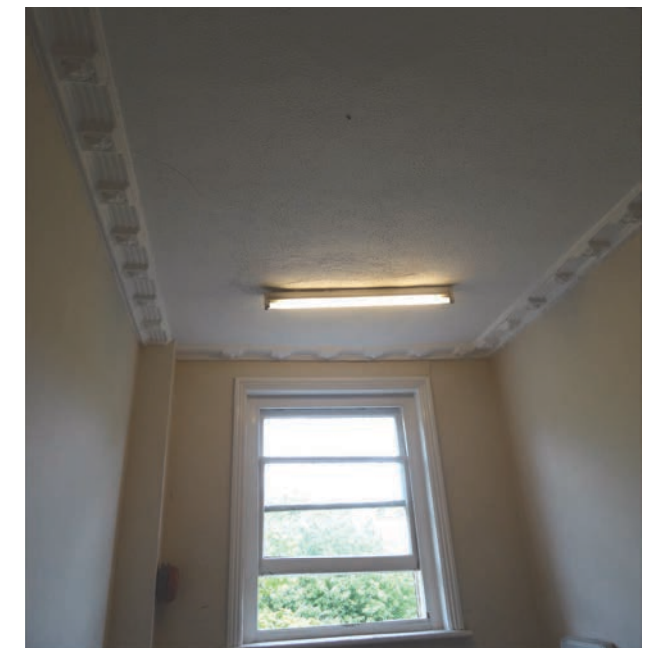
We also propose to open up the boarded fireplaces to enhance the internal spaces and replace the modern flush doors throughout the building with traditional 6 panel Georgian doors

Services

Services throughout will be entirely renewed and energy-efficient lights and boilers installed.

New traditional column radiators will be installed in place of the existing radiators.

Please refer to the indicative service drawings for details of service routes and terminals.



Original Features and Unsympathetic Modern Interventions

7.0 Sustainability Strategy

It is intended that the new dwellings will include sustainable and energy efficient measures, within the envelope of the Listed building. The 3 step energy hierarchy of 'Be Lean, Be Clean, Be Green' will be followed, as recommended in Camden's CPG3.

To ensure the hierarchy is followed, the following measures will be implemented:

1.0 Lighting:

Low energy lighting will be specified throughout.
All principal living rooms will be well lit by natural daylight.

2.0 Ventilation:

Rooms will generally be ventilated by means of opening windows. The kitchens and bathrooms will be provided with mechanical ventilation.

3.0 Heating and Hot Water:

A Green Tariff energy source will be selected, and boilers with min. NOx4 rating will be specified. Thermostats will be provided to each new radiator and towel rail.

4.0 Internal Water Usage:

The proposal has followed the government's national calculation methodology for assessing water efficiency for each individual Flat unit for 23 and 24 Montague St. The calculations in the following page are used to assess compliance against the water performance targets in the Code for Sustainable Homes Levels 3 and 4 to reach a maximum consumption of 105 (litres/person/day) of potable water.

White goods with 'A' ratings will be specified.
All sanitary fittings will be specified to minimise water consumption, including aerator taps and shower heads, and efficient dual flush toilets.

5.0 Recycling:

Household refuse and recycling storage will be accommodated within the utility rooms and kitchens.
Waste and recycling will be collected by the Local Authority's roadside refuse collection service.

6.0 Biodiversity:

The existing rear gardens will be provided with planted containers. The upper floors will benefit from views onto the mature landscape of Montague Street Garden.

7.0 Thermal Insulation

The roof void of the main house will be insulated, and the flat roofs to the rear will also be upgraded. It is not proposed to insulate the external walls or windows as to do so would detrimentally impact the character and features of the historic building.

8.0 Sound Insulation:

The intermediate floors will be upgraded to meet current Part E requirements. It will not be possible to upgrade the party walls without impacting or altering features such as the fireplaces, skirtings and cornices.

9.0 Construction:

The contractor will be required to comply with the Considerate Contractor's Scheme, and will be expected to demonstrate a commitment and strategy to monitor, sort and recycle construction waste.

10.0 Flooding

Environmental Agency maps indicate that the development is not located in a flood risk zone. Neither volume nor rate of surface runoff will increase beyond predevelopment conditions.

11.0 Pollution:

All measures will be taken to minimise local pollution during the building works.

12.0 Materials:

All new materials will be min. B-rated in accordance with BRE Green Guide to Specification. Where possible, any timber used in the scheme will be FSC, sourced from sustainable forests. Transportation distances will be considered when specifying materials.

7.1 The Water Calculator Tables

Installation Type	Capacity/flow rate (1)	Use Factor (2)	Fixed Use (litres/Person/day) (3)	Litres/Person/day = [(1) x (2)] + (3) (4)
23 Montague Flats				
WC (single flush)	-	4.42	0.00	-
WC (dual flush)	-	1.46	0.00	-
WC (dual flush)	-	2.96	0.00	-
WCs (multiple fittings)	5	4.42	0.00	22.10
Taps (excluding kitchen/utility room taps)	5	1.58	1.58	9.480
Bath (where shower also present)	5	0.11	0.00	0.55
Shower (where bath also present)	-	4.37	0.00	-
Bath only	-	0.50	0.00	-
Shower only	5	5.60	0.00	28
Kitchen/utility room sink taps	5	0.44	10.36	12.56
Washing Machine	5.5	2.1	0.00	11.55
Dishwasher	6.5	3.6	0.00	23.40
Waste disposal unit	-	3.08	0	-
Water Softener	-	1.00	0.00	-
(5)	Total calculated use (litres/person/day) = (Sum column 4)			107.09
(6)	Contribution from grey water (litres/person/day)			-
(7)	Contribution from rainwater (litres/person/day)			-
(8)	Normalisation factor			0.910
(9)	Total water consumption (Code for Sustainable Homes) = [(5) – (6) – (7)] x (8) (Litres/person/day)			97.95

Installation Type	Capacity/flow rate (1)	Use Factor (2)	Fixed Use (litres/Person/day) (3)	Litres/Person/day = [(1) x (2)] + (3) (4)
24 Montague Flats				
WC (single flush)	-	4.42	0.00	-
WC (dual flush)	-	1.46	0.00	-
WC (dual flush)	-	2.96	0.00	-
WCs (multiple fittings)	5	4.42	0.00	22.10
Taps (excluding kitchen/utility room taps)	5	1.58	1.58	9.480
Bath (where shower also present)	5	0.11	0.00	0.55
Shower (where bath also present)	-	4.37	0.00	-
Bath only	-	0.50	0.00	-
Shower only	5	5.60	0.00	28
Kitchen/utility room sink taps	5	0.44	10.36	12.56
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8.0 Transport and Access

1.0 Public Transport:

The site is within a short walk of Holborn and Russell Square tube stations (7 and 6 minutes walk respectively). It is also well connected in terms of local bus routes, with several bus stops within 5 minute walking distance.

The PTAL rating for the site is 6b (highest possible rating).

2.0 Parking:

There is no provision for private parking on site.

Cycles may be stored on the street or storage can be provided in the basement vaults.

3.0 Pedestrian Access:

The historic nature of the house with it's front entrance steps and many internal steps make inclusive access problematic.

Making the property entirely wheelchair accessible will be difficult to achieve due to its listed nature, and is not required under Building Regulations in this context, or proposed in this application.



Local Road Map

9.0 Conclusion

This application seeks permission for the conversion of 23-24 Montague Street, from hotel use into 6 new and much needed residential units. We believe that the proposed scheme will be positive and upgrade the property significantly.

The demolition works are limited and include the removal of many later inappropriate subdivisions and the lift shaft to 23 Montague Street, seeking to restore the heritage significance of the building.

The proposed works will restore the historic plan form of the buildings. In addition, existing historic decorative details will be restored or, where appropriate, reinstated with more elaborate detailing on the main floors and simpler sections on the upper floors of both properties, consistent with their historic significance.

The existing windows to the front elevation are not original and we propose to replace these with sash windows, to match the fenestration of the street, which we believe to be historic, and will unify the street scene.

Returning the buildings to their original residential use and plan form, will help to ensure the long-term preservation of the buildings, while providing 6 new residential units across the two properties, which is the priority use within the Borough.

The new flats will provide high standard, well designed and secure living spaces within the borough. The flat will achieve an appropriate mix of units including the provision of two family sized units with private amenity space. The units to the upper floors will have access to Bedford Square which is approx. 500m from the site and is owned by The Bedford Estates.

We therefore consider that the application proposals comply with the aims and objectives of the relevant LDF, National Planning Policy Framework and national planning guidance.



Opposite: Existing Elevation showing windows and Ground Floor Entrances