

Design and Access Statement

29a Montague Street



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1. INTRODUCTION

The proposal detailed in this design and access statement is for proposed changes to the interior of 29a Montague Street, which is the London office for The Bedford Estate and is grade II listed. The building was purpose built in 1842 to house The Estate's offices when they relocated from the west side of Montague Street.

In recent years The Estate has taken on additional staff to cover their expanding workload, and this has resulted in the building becoming increasingly crowded.

The proposed works seek to remedy this congestion by rationalising the ground floor space to provide better facilities and improve the efficiency and permeability of the first floor office space enabling it to function better with their increased staff numbers.

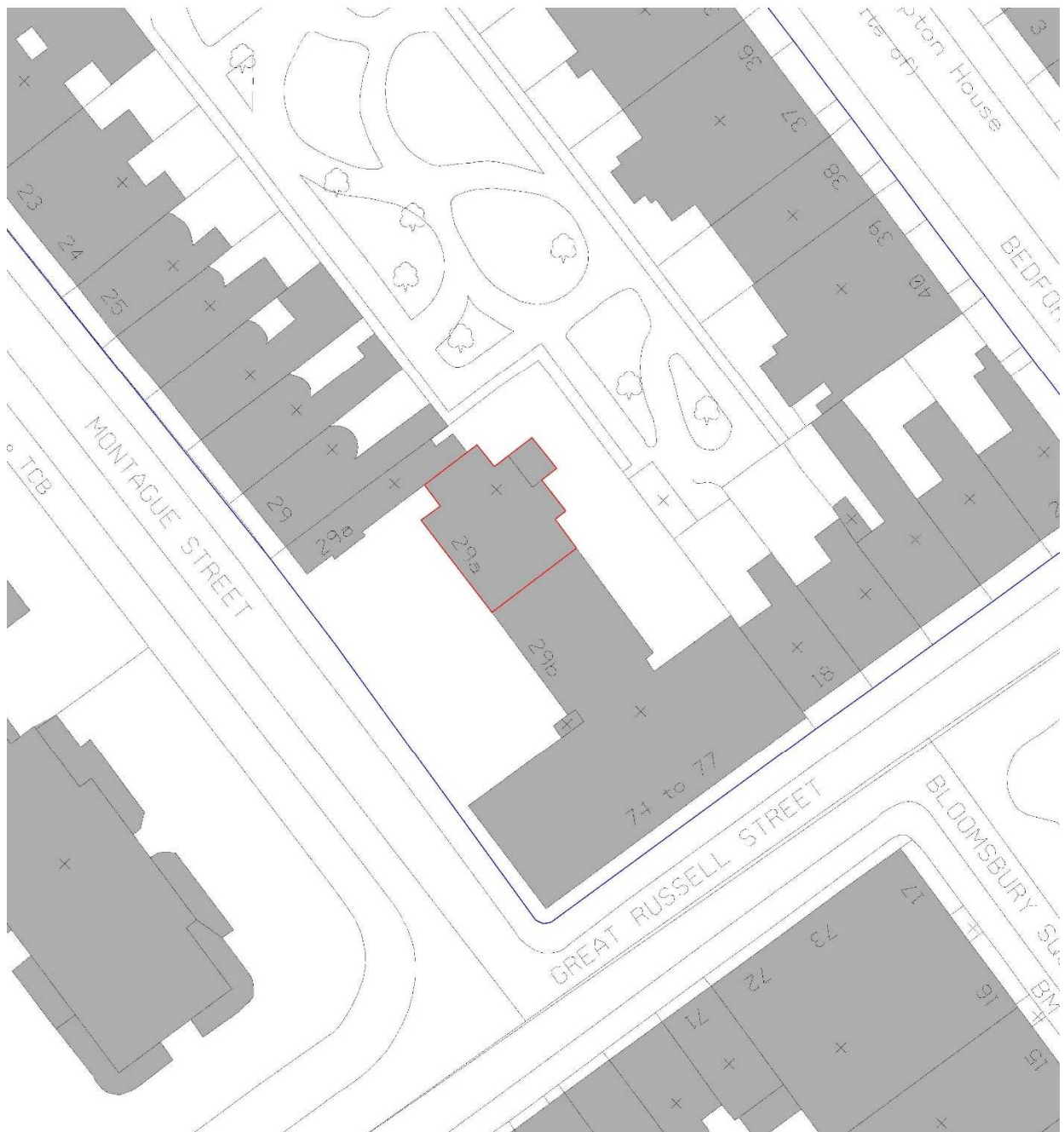
These proposals will sustain the viability of the buildings use as the Estate Office for the benefit of the many residents and tenants with whom The Estate have dealings.

This document is to be read in conjunction with the following accompanying drawings and reports:

- ❖ Heritage Assessment by Anthony Walker dated November 2016

Drawings and documents by DLG

2.0 LOCATION PLAN Refer to "4110_D_002 Existing Location plan"



3.0 DESCRIPTION OF PROPOSED WORKS

3.1 Ground floor:

At ground floor the proposed works remodel existing modern interventions. The proposals are fully reversible and do not result in the loss of any historic fabric. No new service routes will be required as existing service routes will be used.

The proposed works are as follows:

3.1.1 Changes to the existing full height glazed screens

Including removal of the glass screen opposite the reception area to create a larger waiting area which will include an area for archive display, by moving the door within the glass screen in existing office 2, removing the glass screen that projects into the central corridor space between existing offices 1 & 2 and replacing the glass screen between existing office 1 and 2 with a plasterboard partition that can be used for meeting room projection. The existing glass connection to front elevation will be retained.



Existing glazed screens, within ground floor reception area, the ceiling to the existing large wc can be seen in the foreground

3.1.2 Replacement of the existing large toilet & kitchen with two toilets & kitchenette

The proposal replaces the existing large single toilet with two smaller toilets in order to provide increased facilities for The Estate's growing staff numbers. The proposed height of the enclosing plasterboard box is 2.85m high, and stops short of the existing vaulted ceiling and down stands, so that the ceiling structure can be appreciated.



The photo shows the existing large single toilet enclosure.

3.1.3 Replacement of existing timber steps to rear boardroom with stone steps.

The existing timber steps and decking are constructed on a metal frame to allow airflow around an AC unit installed underneath.

The proposed stair will take the same form as the existing but will have cast stone treads and landing on a similar metal frame. The area directly above the AC unit will have a metal grille installed for maintenance access to the AC unit.

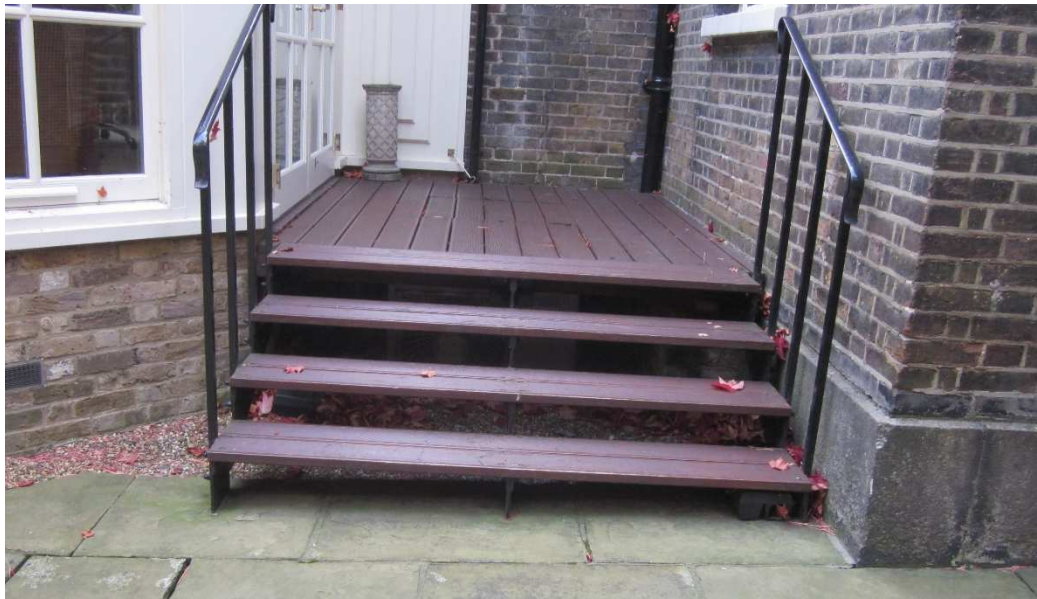


Photo of existing external timber stair.

3.2 First floor:

3.2.1 Enlarged opening between existing rooms RE.F02 & RE.F03

An enlarged opening is proposed between the front and rear offices on the north side of the building. The enlarged opening will retain the existing cornicing and any skirting that is removed will be reused to run around the returns where the opening is formed.



Opening as existing



Opening as proposed

3.2.2 New doorway to connect existing rooms RE.F02 & RE.F01

In order to aid permeability & communication between offices, a new doorway is proposed within the recess to the side of the fireplace, this is limited to a doorway width in order to limit loss of historic fabric. The cornice will be retained and the pieces of removed skirting will be used on the returns of the new opening.



3.2.3 Removal of non-original wall between rooms RE.F01 & RE.F06

In order to open up existing office RE.F01 to its original proportions and improve communication on this floor, we are proposing to remove the two timber stud walls that divide rooms RE.F06, RE.F01 & RE.F07. These walls are non-original, see appendix C of the Heritage Statement which shows a 1939 plan by Christian Doll where there are no walls shown. Removing these walls will reinstate the original proportions of the room. The cornice and skirtings' in rooms RE.F06, & RE.F01 are matching & we anticipate that the non-original partitions were scribed around them leaving the original in place, however should this not be the case, cornice and skirting will be made good to match throughout the proposed room RP.F01.



Photograph taken from RE.F02 looking towards existing kitchenette (RE.F07) with non-original wall dividing rooms RE.F01 & RE.F06 behind the filing cabinet on the right hand side.

3.4 Roof:

The proposed photovoltaic panels will sit below parapet height and so will not be visible from any point on the surrounding streets or Montague Street Gardens.

Although the panels will be minimally visible from the top floor of 45-47 Great Russell Street, the parapet wall between this roof and the roof to 29b, conceals much of the existing roof, so likewise the panels will also be concealed, and will be coloured black to minimise their impact.

Proposed roof drawings 4110/D/203 & 204 show photographs of the existing roof and views onto it from the top floor and roof of 45-47 Montague Street.



View of 29a from Montague Street



Views from Montague Street gardens of the rear of 29a Montague Street



4.0 STRUCTURAL STATEMENT

- 4.1 There is a flat roof over 29a Montague Street, with minor falls to the front and rear of the property, and no chimney stacks.
- 4.2 The roof structure would not have been constructed in this manner, and was originally, most likely, a butterfly type pitched roof with central valley.
- 4.3 A small section of plaster was removed from the first floor ceiling joists adjacent to the chimney stack. The plaster appeared to be a white, lime based plaster over clay pots. It would therefore seem that the whole roof was removed in the past and replaced with a concrete beam and clay pot roof structure.
- 4.4 The proposed pv panels on the roof are therefore unlikely to require strengthening work, and it is also unlikely that historic timbers remain in any section of the roof. The depth of roof structure, or possible void will still have to be checked, but this can be undertaken when full access is available when the roof covering is replaced.
- 4.5 A small section of plaster was removed from the chimney breast and wall dividing the offices at the front of the building. The plaster was rather hard and appeared to be the same as the ceiling, ie lime based. The bricks appeared to be generally yellow London stocks, but there were some soft reds with damaged faces. The mortar was rather hard, and white with some aggregate, and the chimney was bonded to the dividing wall. The mortar in other properties on the estate is more often very weak, as is the plaster, so it is possible that more extensive alterations were undertaken to the internal walls when the roof was replaced and the chimney stacks were removed.
- 4.6 The remainder of the walls at first floor level are a combination of timber stud partitions and brickwork.
- 4.7 The proposed openings in the first floor walls are structurally minor, and relatively simple to achieve with lintels. The remaining structural fabric will not be affected by the works.
- 4.8 The ground floor has been remodelled in the recent past, but the original 'open plan', vaulted ceiling structure supported on cast iron columns remains intact.
- 4.9 There is a double beam below the line of the chimney stack at first floor level. The reason for this is unclear at this stage as there was a chimney stack on the ground floor in this area originally. Interestingly there is only a single beam between the brick vaults elsewhere.

5.0 ACCESS STATEMENT

Existing access arrangements to the building will remain unchanged

The Estate's Access Management Plan includes a foldable metal ramp, used for the main entrance steps (three steps), whenever the need arises to have a wheelchair user either visiting or working on their premises.

6.0 SUSTAINABILITY APPRAISAL

Environmental

- The photovoltaic cells proposed for the roof will help to make the building more efficient to run, thereby reducing the overall energy requirements.

Economic

- Reuse of the existing building
- Repair of the existing building fabric will lead to a prolonged life for the building.

7.0 PLANNING HISTORY

6.1 A pre-app submission was made for the offices on the 8th June 2016

6.2 DLG met with the Conservation Officer on site on the 14th July 2016, after which revised plans were submitted.

6.3 A pre-app response reference 2016/3377/PRE dated 18/06/16 was received from Rachael Parry.