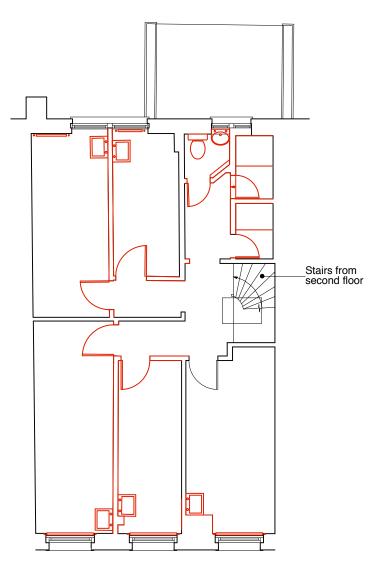


SECOND FLOOR PLAN THIRD FLOOR PLAN



GENERAL NOTES:

DO NOT SCALE FROM THIS DRAWING.

ALL DIMENSIONS MUST BE CHECKED ON SITE AND ANY DISCREPANCIES VERIFIED WITH THE ARCHITECT.

20.12.16 - Planning Issue

CLIENT

THE BEDFORD **ESTATES**

JOB TITLE

27 MONTAGUE STREET LONDON WC1B 5BH

DRAWING TITLE

DEMOLITION PLANS 2 OF 2

SCALE 1:100@A3

DATE 12.16

FT ARCHITECTS LTD

Hamilton House Mabledon Place Bloomsbury WC1H 9BB

020 7953 0388

www.ftarchitects.co.uk

DRAWING No. 319_00_02 REVISION **P1**

SCALE

PROPOSED STRIP OUT KEY:

Maintain to all areas:

SERVICES:

0 (metres) N

Items to be demolished/stripped out

BUILDING TO REMAIN WIND AND WATERTIGHT:

Rainwater pipes External glazing and doors unless otherwise noted

Services to be capped off and electrics disconnected + stripped out throughout

Timber framed stud partitions to be taken down where indicated; allow for temporary props to Structural Engineer's details

REMOVAL OF INTERNAL PARTITIONS: