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DESIGN AND ACCESS STATEMENT

17 EDIS STREET, CAMDEN, LONDON, NW1 8LE



Introduction

This design and access statement has been prepared to accompany the application for Householder planning consent for the improvement of the property at 17 Edis Street.

The application is for the top floor mansard roof extension and a small extension to the lower ground floor at the rear. The proposals have been measured and tested against relevant planning policy and the Conservation Area Statement for the Primrose Hill Conservation Area.

The existing building

The property is a flat fronted three storey terraced house typical of both Edis Street and the Conservation Area as a whole. The house is a single family dwelling having been renovated within the last 15 years and is in generally good condition.

The property is part of the terrace of houses that run along the South-Eastern side of Edis Street. Designed as single family houses, many of the properties are now split into flats. The properties are masonry construction with rendered parapet walls above top floor window and a rendered rustic ground floor level. Timber front doors sit beneath a detailed entrance canopy with the ground floor raised slightly off the street by three steps.

The original timber sliding sash windows and front door still exist and some minor alterations to the rear projecting wing include a double height tall window over looking the rear yard. Internally, the rooms are relatively intact albeit without many of the original features such as coving, door frames and skirting boards. A roof terrace exists on the roof of the rear wing with access directly off the half landing between the first and second floors. The original sliding sash window has been replaced with a pair of timber French doors. The windows to the rear of the property do appear to be of the original design as the central vertical glazing bar has been replaced with a single glazed panel in all windows.

The house is one of the few in the street which do not have roof extensions above the original roof line. The roof construction is an original butterfly type construction with valley gutter running along the centre of the roof from front to back. Many of the timbers to this roof do not appear to be original and the structure appears to have been altered within the last 40 years. To the front elevation is a high masonry parapet wall which continues along the roof line of the majority of the houses on both sides of Edis Street.

View to the South-West, away from the proposal site, showing Edis Street.





Site plan showing the property.

The local context & heritage statement

Edis Street sits within the middle of Sub Area 2 of the conservation area. The street is a short road stretching between Gloucester Avenue and Chalcot Road and is one of the less grand streets within the Conservation Area. The houses are generally smaller and overall the street is less impressive.

The Conservation Area statement says that Edis Street is secondary to the more important streets at either end but that it does have a distinctly urban character with a high degree of enclosure. The street's steep sides and views terminated by other tall industrial and residential buildings add to this sense of enclosure.

Each terrace is constructed in London stock brick with decorative stucco features to the front elevation, usually painted white or cream, which serves to unify the terrace. These stucco features often include a rusticated ground floor, projecting window cills and hoods (usually to ground and first floors), moulded window surrounds, parapets and balustrades. A number of properties have projecting door hoods or porch features supported by columns.

These urban qualities are somewhat softened in Edis Street by a number of trees. The quality of the streetscape is such, that while non of the buildings along both side of Edis Street are listed, they are considered to make a 'positive contribution' to the Conservation Area.

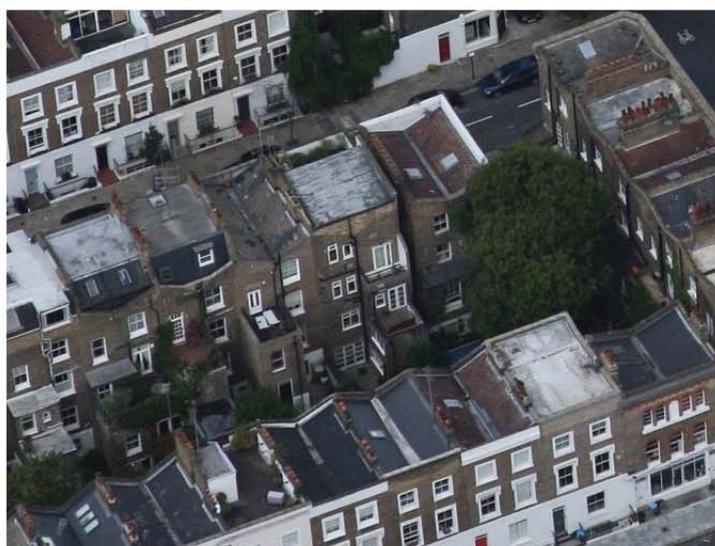
While the terraces are relatively intact on both sides of the street, subtle differences exist where windows have been altered or replaced over time. Above the parapet wall, the roof scape does however, vary considerably. Many of the roof extensions are of traditional mansard design but with both dormer and Velux windows being visible. Some roof extensions have terraces and rooms with large areas of glazing. Despite this variation in the roof scape design and detailing, the terraces do read as consistent and whole pieces of urban fabric.



View to the North-East showing the enclosure of the street and the Victorian stock typical of the Primrose Hill Conservation Area



Various aerial views showing the rear of no. 17 and roof development to adjacent homes.



Roof Top Extension

Policy PH19 within the Conservation Area Statement clearly sets out which properties are not suitable for roof top extensions. Number 17 Edis Street is not on this list and sits between two properties that already have roof top extensions. The development at number 18 is of a traditional style mansard roof with the dormer windows set back behind the high parapet wall at both the front and rear of the building. The original parapet walls have been kept in both cases.

The roof extension to the property directly opposite at number 12 is modern and set well back to allow the creation of a large roof terrace and large glass windows opening on to it. The rear elevation has been built up in brick directly off the brick wall elevation and contains no windows.



View to the South-West showing the nature typical of the rear of the property.



View directly across the street showing the roof-top development typical to these properties (the mansard to the right on number 13), and the atypical as seen on number 12.

Policy is clear about the preferred design of new dormer windows and it is this policy that we are following in presenting a traditional mansard roof extension set back behind the original parapet wall at both front and rear with lead clad dormer windows of traditional design. While many of the properties along the opposite terrace have various types of Velux windows in the mansard roof, the proposed new windows for number 17 will be of timber sliding sash's to traditional design and detailing. This is the more traditional and appropriate window design.

The party walls will remain as they are except in the front elevation, the party wall shared with number 16, which will be raised and set back from the street elevation and graduated in order to minimize views. In the front elevation we propose 2 dormer windows to traditional design and detailing. To the rear elevation, the butterfly parapet will be retained and not raised or altered. The rear slope of the roof extension will rise from behind the parapet wall, and will be separated from the wall by a substantial gutter. We propose a single dormer window of traditional design similar to that of the adjacent property and a small conservation-style roof-lights to the rear roof slope above the staircase.

The conservation Area statement recommends Conservation Roof light windows to the rear but we do not feel that this is the correct or appropriate approach to the design of the mansard roof along the rear. The traditional dormer window is a much better looking and sympathetic to design for the house than the Velux style window.

The proposed lower ground floor extension

In line with Conservation area policy and guidance, the proposed rear elevation will be only one storey high at the lower ground floor. This is to fill the gap between the rear wing of the property and the wall to the adjacent property at number 16.

This small new elevation will be glazed with two sliding doors giving access to the rear garden. The new walls will be in yellow stock brick to match the existing. The small size and simple form of this extension mean that these alterations will be minimal and have no effect on the neighbouring properties.

The roof of the extension will be made of glass. Privacy will be maintained from the adjacent property by the inclusion of screens or louvres which will prevent light pollution as well. This will prevent over looking to the windows and amenity space of the adjacent property.

Privacy and overlooking

There will be no loss of privacy or over looking between the application site and the adjacent properties due to the screens/louvres in the glass roof.

Access

The access to the building will be altered from the existing situation. The front door is two steps above the general pavement level and the threshold is a step up above the internal floor level. This is typical of all properties along the street and for this style of house.

To the rear, the new access to the rear yard at the lower ground floor level will be flush and level with the external yard level being the same as that as the internal floor level. The access to the new rear terrace at the ground floor level will also be flush and level.

Cycle storage & Transport

There is no provision for cycle storage within the existing house. The site is in central London and as such is within the Cycle Hire zone. The nearest bike station is on Grosvenor Crescent or at London Zoo Car Park both within a 5 minute walk from the application site.

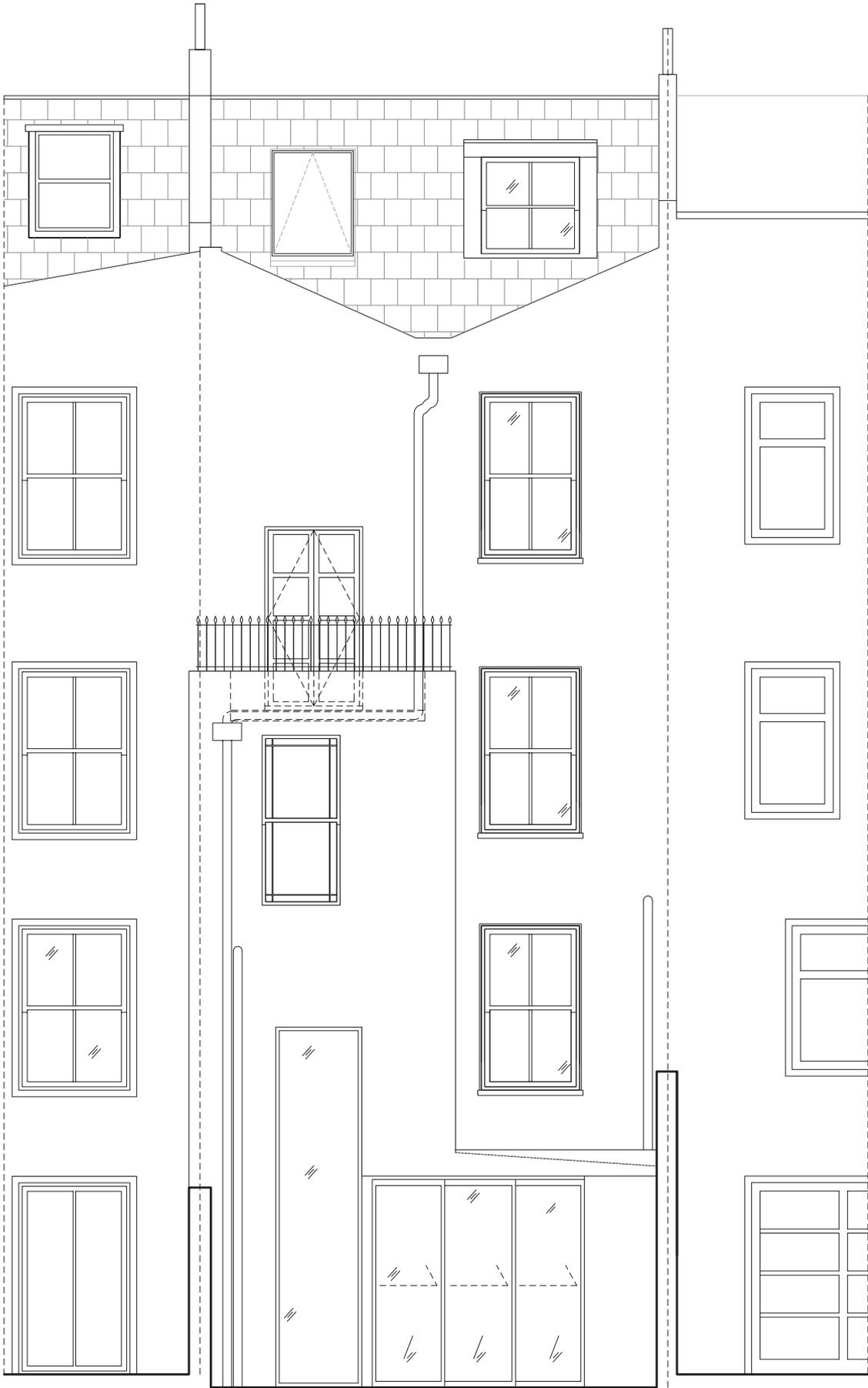
The area is also well served by public transport with the Northern Line stations at Camden Town and Chalk Farm approximately 10 walk away. Several bus routes also run near by to the site the closest being 2 minute walk away.

Parking

There is no provision for car parking on the site and the occupants currently enjoy the use of resident parking permits for parking within the local CPZ.

Refuse and recycling provision

Storage space for waste and recycling is made available within the kitchen area of the existing house. This will comprise of at least 60 litres of split storage bins for all elements of recycling and waste in accordance with the requirement of the environmental policies set by the Borough. There are also numerous recycling facilities within the local area. The nearest is at the top of Chalcot Road a 2 minute walk away.



Drawing showing the rear of no. 17 and the minimal proposals

