

Glass Light and Special Structures Limited

Structural Engineers Façade engineers Glass engineers

CONSTRUCTION METHOD STATEMENT FOR

Proposed development of Nos 4-10 and 1-3 Ferdinand Place

August 2015

CMS 304

Registration Number SC 307028
Office Address 19 Britton Street London EC1M 5NQ
Tel +44 207 490 3446

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1.0 Introduction

Glass Light and special Structures have been appointed by Messrs Leverton and Sons Limited to act as structural engineers for the proposed development of their existing properties in Ferdinand place

The proposed development includes the creation of a single storey basement and LBH Wembley have been commissioned to carry out a site investigation and produce a Basement Impact Study to submit with the planning application. This report will describe the proposed method of construction for creating the basement and constructing the in-situ four and five storey structures to create residential accommodation and a new facility for Leverton's undertaking business.

2.0 Existing Site

Leverton's undertaking business occupies two sites in Ferdinand place – Nos 4-10 (site A) and on the opposite side of the street Nos 1-3 (site B)

Site A is constructed as a single storey garage / storage building with solid stock brick enclosing walls with a pitched roof over 50 percent of the site and flat roofs over the remainder. The pitched roof is clad with asbestos cement corrugated sheeting supported on steel purlins and steel trusses. The flat felt covered roofs are supported on timber joists and steel beams. The enclosure walls are bounded by gardens on all sides with the exception of sections of the West and East boundaries where the site abuts the 3 storey brick built structure of 1A Harwood Street to the East and the four storey brick structure of No 2 Ferdinand Place to the West. There is also a single storey structure abutting the West boundary between No 2 Ferdinand Place and the South West corner of the site.

There are four trees between 1 and 6 meters away from the East boundary wall- two ash trees one pine and one corkscrew willow

Historical records suggest that the garage structure was the first building to be constructed on the site. There is a record drawing from the archives which gives the position of a buried oil tank and provides sections through the East boundary wall. The section shows a brick culvert running along the base of the boundary wall indicating that it has been plugged with concrete along some of its length. Thames Water Authority has no record of the culvert and we have assumed it is no longer in use. The brick stepped foundations to the East

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Boundary wall were shown on the sections extending to around 1.5 below ground floor level. It was not possible at this stage to excavate trial holes to confirm the section on the drawings as it would have been too disruptive to the business however judging from the similarity in construction of the boundary walls we have assumed that the foundations to them all will be similar

The geological map indicates London clay close to the surface which has been confirmed by the soil investigation. Boreholes across both sites confirmed London clay at 0.5m below ground level overlain with made ground. Images 1-8 have been taken at various points on the boundary walls

Site B is a two storey office /embalming building with timber floors and pitched roof with some single storey block / brick additions at the rear.

There is a young oak tree within 4 metres of the North boundary and a wild cherry tree within 3 metres.

There is a recent four storey residential block on the east boundary of the site (10 Ferdinand Street)

As for Site A no trial holes were possible as it would have disrupted the business. Given the age of the property and the size of the walls it is probably reasonable to assume that the external walls are founded on brick step or mass concrete strip foundations.

There was no record of prior use of the site and ground conditions are as for site A.

Images 9-11 show three of the four boundary conditions- access to the East boundary was not possible.

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Image 1 site A

East Boundary wall with Ash tree 3 Storey Building in background abuts wall

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Image 2 site A

East boundary wall at Junction with North wall showing corkscrew willow with pine tree in the background

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Image 3

East Boundary wall at junction with 3 storey building (1A Harwood Street)

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Image 4

South Boundary Wall (ivy covered) backing on to rear yards of Chalk Farm Road buildings

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Image 5
West wall Boundary at junction with South wall (obscured by planting)
adjacent to single storey structure

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Image 6

West wall boundary - external wall of four storey brick building (2 Ferdinand Place)

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Image 7

View along East boundary with four storey building (2 Ferdinand Place) and with Ferdinand Place



Image 8
View over North Boundary wall into gardens of Collard Place

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Image 9

North Wall to Site B at junction with No 10 Ferdinand Street

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Image 10
East elevation Wall site B

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Image 11

North elevation wall site B- Oak tree and Wild Cherry tree in foreground

3. Proposed Construction

Site A

None of the boundary walls with the exception of possibly a short section of the Eastern boundary wall at its Southern corner are serving as external envelopes to the neighbouring properties. Therefore when the roof is removed the walls will not need to be provided with weather protection except perhaps for the short length of the East Wall mentioned above. The boundary walls are up to 4m high and it is anticipated that these walls will be demolished and rebuilt in similar London stock facing bricks to provide the boundary/party walls to the new development.

There is a concrete ground slab 300mm thick over the whole area of the garage and external car park area. This slab will be broken out and removed from site. The asbestos roof panels to the pitched roof will need to be removed by a specialist contractor as will any contaminated ground found during the excavation of the top 500mm of made ground.

There is a buried oil tank below the existing external parking area which should be removed. The retaining wall to the proposed basement will be formed with sheet piles and the intention is to use the Zero pile machine as it can carry the work out with minimal noise and disruption. See figure 1 and Figure 2 for details. A mechanical digger will explore the ground directly ahead of the sheet pile machine to remove any obstructions and to confirm the projection of the boundary wall foundation.

The piles will be anchored in the clay to a suitable depth to allow the sheet piles to be un-propped during the excavation for all boundary conditions with the exception of the short lengths of wall on the east and West boundaries adjacent to the three and four storey structures (2 Ferdinand Place and 1A Harmood Street) The foundations to these buildings have not yet been established but it has been assumed that they would exert an active pressure on the sheet piling which would in turn need to be propped until such time that the ground floor slab is installed. Excavation of the clay would then proceed down to formation level – approximately 3.5m below ground floor level. No Ground water was recorded during the site investigation and any surface water that accumulates during the excavation would be pumped to

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surface water drains.

A 300mm reinforced concrete raft slab will be installed with local thickening below the heavier loaded columns. The sheet piles will form the external walls to the basement and a drained cavity, delta drain or similar, will be installed against the sheet piles together with insulation and an internal block lining wall. Columns and internal loadbearing walls will be cast to ground floor level and the ground floor flat slab will be supported on the columns and a reinforced concrete capping beam to the sheet piling.

A lightweight steel frame building with Metsec floors and metal stud framed walls will be constructed up to fourth floor level.

Site B

The buildings on site B will be entirely demolished to ground floor level and any existing foundations dug up.

Sheet piling will be installed to create the new basement structure and following excavation of the clay a 300mm thick RC raft will be cast. A capping beam will be cast on the top of the sheet piling and pad foundations or piled foundations will be cast to support the remaining RC columns. The RC frame for the new four storey structure will then be completed. There are two trees close to the North boundary of the site. If we can manage to get permission to take down the trees we will use pad foundations for the new columns otherwise we will use augured concrete piles

Conclusions

Both sites for this development have very good access for construction activities and the ground conditions are favourable for the structural solution proposed. From a study of the site history there is unlikely to be any major surprises in the ground.. The Method of piling chosen is quiet as the piles are pushed into the ground rather than driven or vibrated into place.

JZ100 Silent Piler System



Description:

The “Zero” Piler is a non-polluting method with the effective use of the total land area being achieved by driving adjacent to structures.

Considering the increase in speed and safety associated with this method, using high quality steel piles allows the user to complete the task in a shorter time span and thus reduce costs

Benefits:

The benefits of the JZ100 are numerous. As well as the reduction in noise and vibration due to the piler’s ability to *push* piles into the ground, working close to the ground without the need of trestles and wallings and working adjacent to an existing building, greatly reduces the risk of injury. Additionally the piler’s capacity to move itself along the top of the first piles installed reduces the need for heavy craneage and brings the total cost of construction down.



Sheet Piling, Construction
& Professional Design
Services

Unit 7,
The Oaks Business Village
Revenge Road,
Lordswood,
Kent,
ME5 8LF

TEL: 01622 794460
FAX: 01634 863016
Enquiries@berryrange.com
www.berryrange.com



Fig 1 Sheet piling equipment

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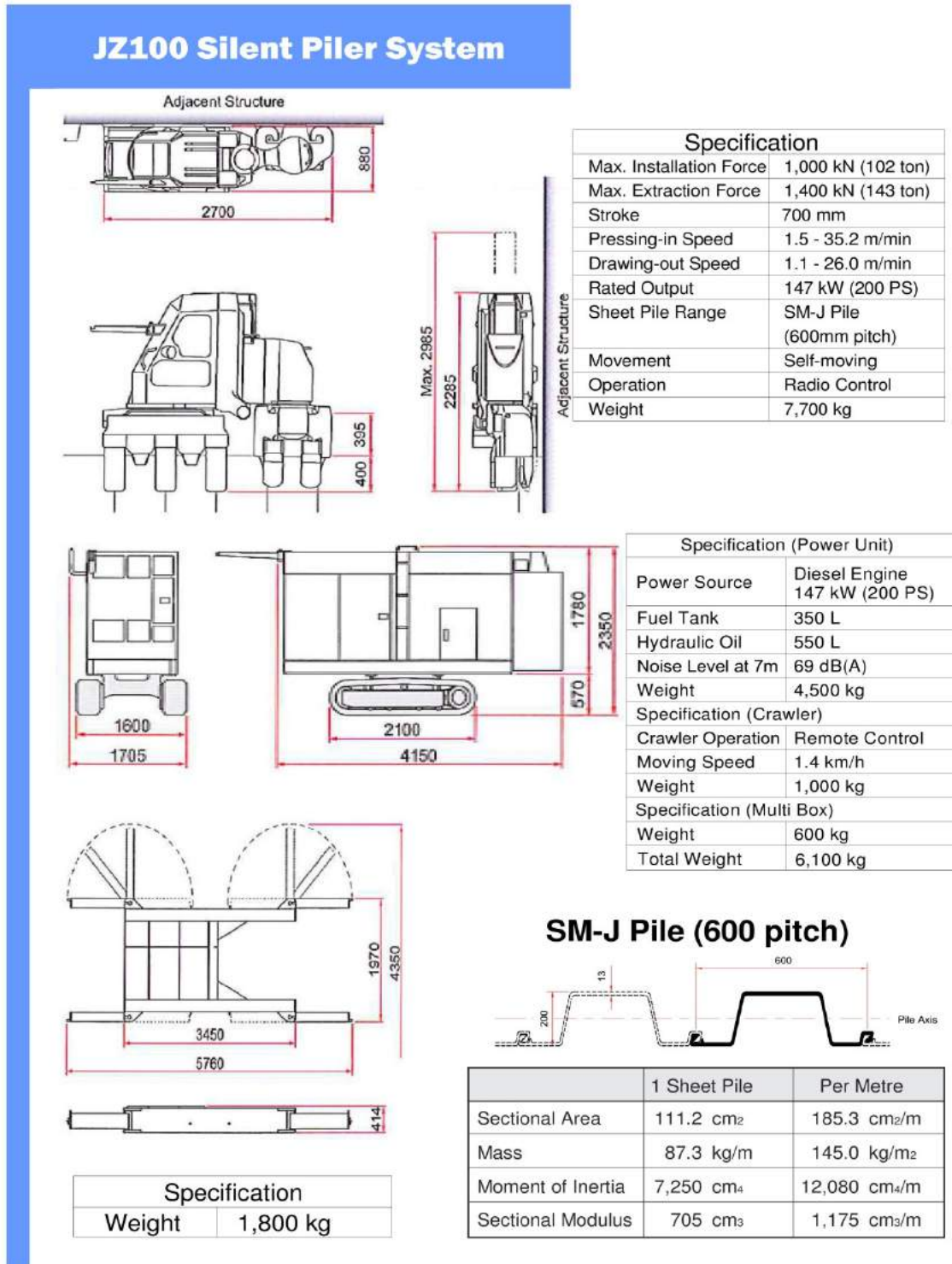


Fig 2 Sheet piling equipment

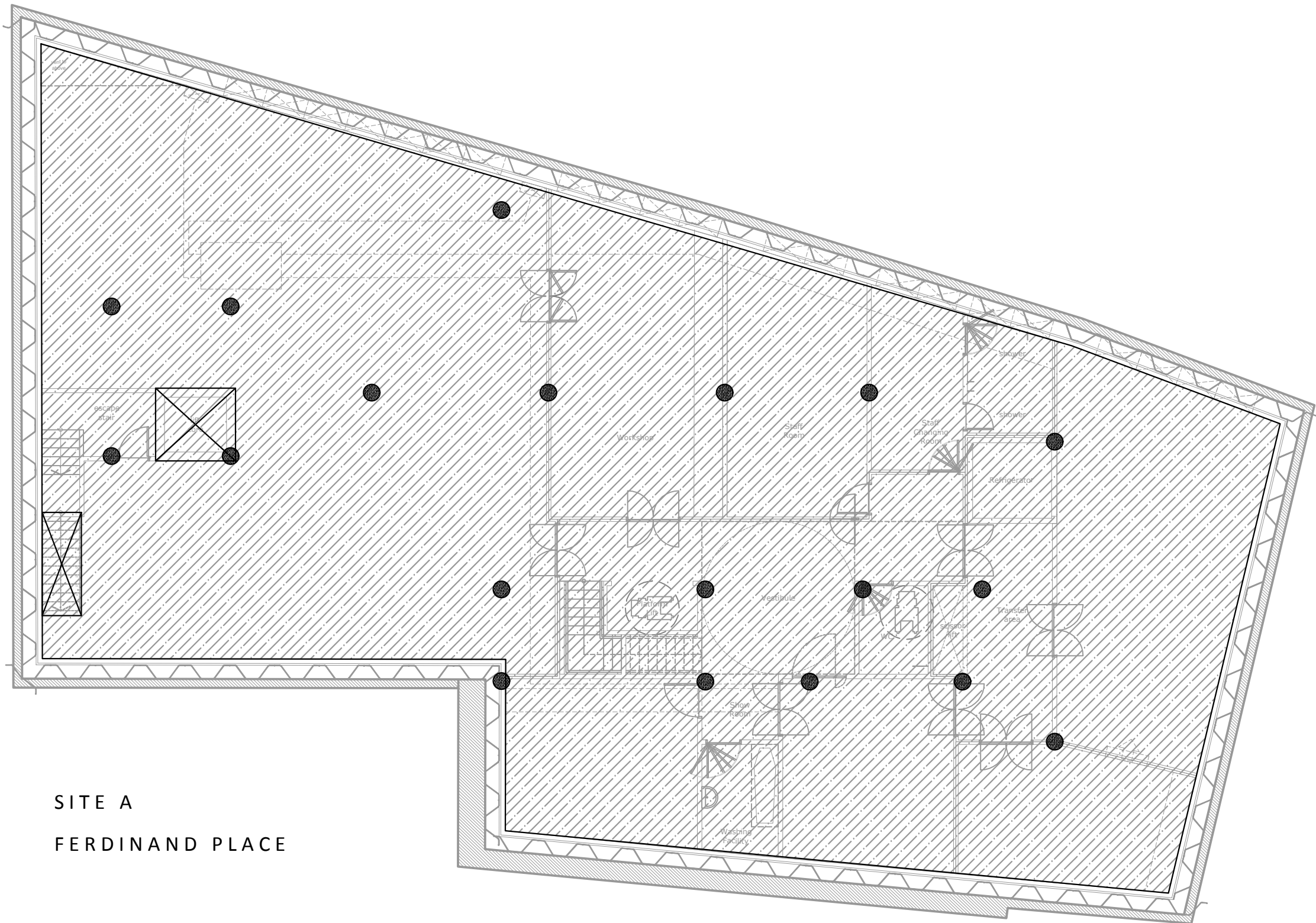
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Report prepared by:

A handwritten signature in black ink, appearing to read 'Tim Macfarlane', with a stylized flourish at the end.

Tim Macfarlane C Eng Director



SITE A
FERDINAND PLACE

-  300 THK RC GRD FLOOR SLAB OVER FOUNDATION
-  300 x 300 RC Columns
-  Sheet Pile Wall

NOTES

1.

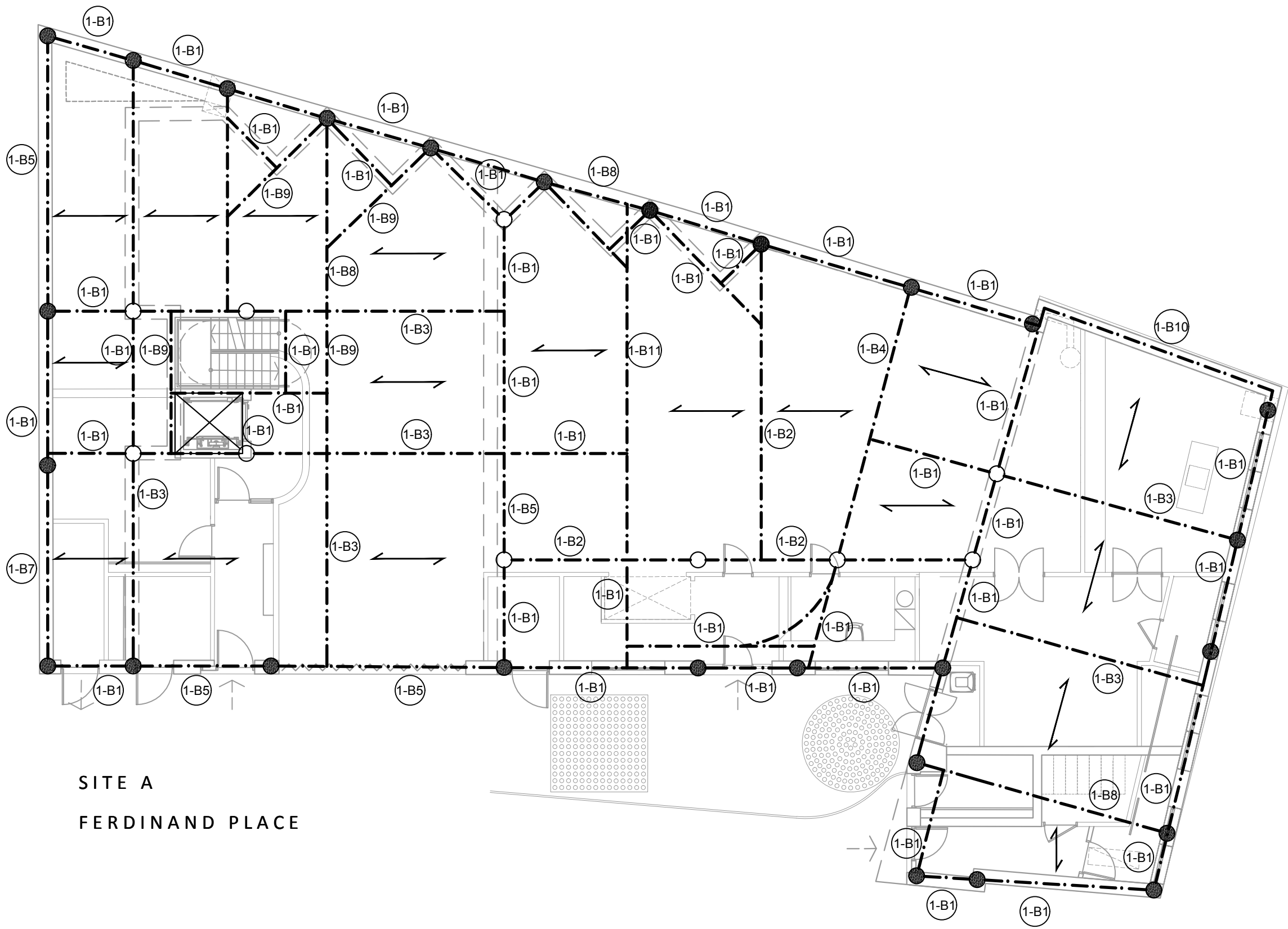
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01	17/02/16	GM	
00	09/11/15	GM	Issued For Information

Job Title
4 Ferdinand Place

Drawing Title
Site A - Basement Floor GA Plan

Drawing Status Information

Glass Light and Special Structures			
19, Britton Street, EC1M 5NQ, Tel +44 020 74903446			
Job No.	304	Drawing No.	304-S-L-00
Revision	01	Scale	NTS
Size	A3	Date	09/11/2015
Drawn by	GM	Checked	TM



SITE A
FERDINAND PLACE

- ← 300M20 METSEC @ 400 c/c
- All Steel Grade S355
- (1-B1) 254 x 102 x 22 UKB
- (1-B2) 254 x 254 x 107 UKC
- (1-B3) 254 x 254 x 73 UKC
- (1-B4) 254 x 254 x 132 UKC
- (1-B5) 254 x 146 x 37 UKB
- (1-B8) 254 x 146 x 43 UKB
- (1-B9) 254 x 102 x 25 UKB
- (1-B10) 254 x 254 x 87 UKC
- All Steel Grade S355
- 100 x 100 x 6.3 SHS
- 200 x 200 x 6.3 SHS

NOTES

1.

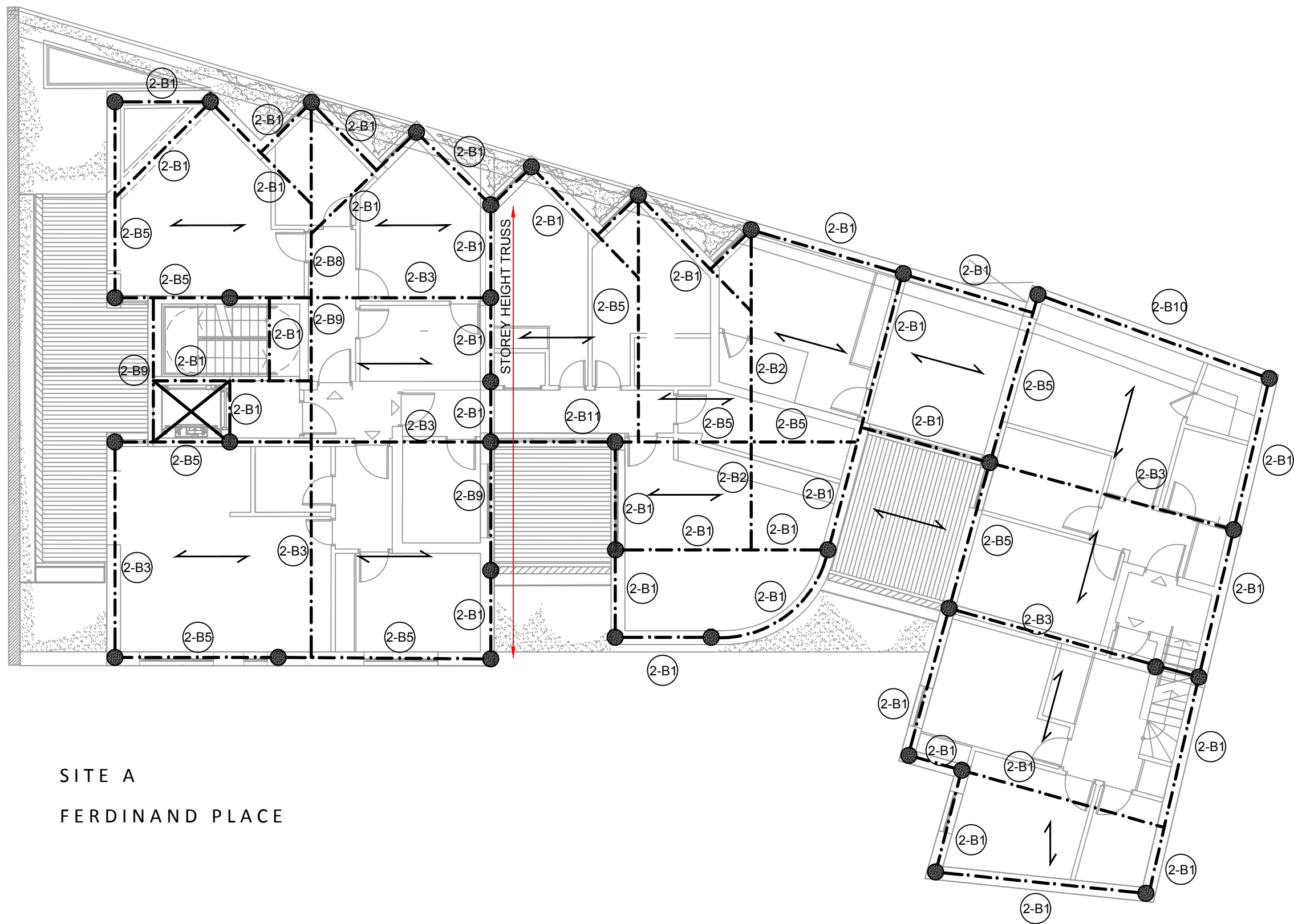
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01	17/02/16	GM	Revised To Suit Architect Changes
00	09/11/15	GM	Issued For Information

Job Title
4 Ferdinand Place

Drawing Title
Site A - Ground Floor GA Plan - Showing 1st Floor Beams Over

Drawing Status Information

Glass Light and Special Structures			
19, Britton Street, EC1M 5NQ, Tel +44 020 74903446			
Job No.	304	Drawing No.	304-S-L-01
Revision	01	Size	A3
Scales	NTS	Date	09/11/2015
Drawn by	GM	Checked	TM



SITE A
FERDINAND PLACE

- ← 300M20 METSEC @ 400 c/c
- All Steel Grade S355
- (2-B1) 254 x 102 x 22 UKB
- (2-B2) 254 x 254 x 107 UKC
- (2-B3) 254 x 254 x 73 UKC
- (2-B5) 254 x 146 x 37 UKB
- (2-B9) 254 x 102 x 25 UKB
- (2-B10) 254 x 254 x 87 UKC
- (2-B11) 254 x 102 x 25 UKC
- 100 x 100 x 6.3 SHS

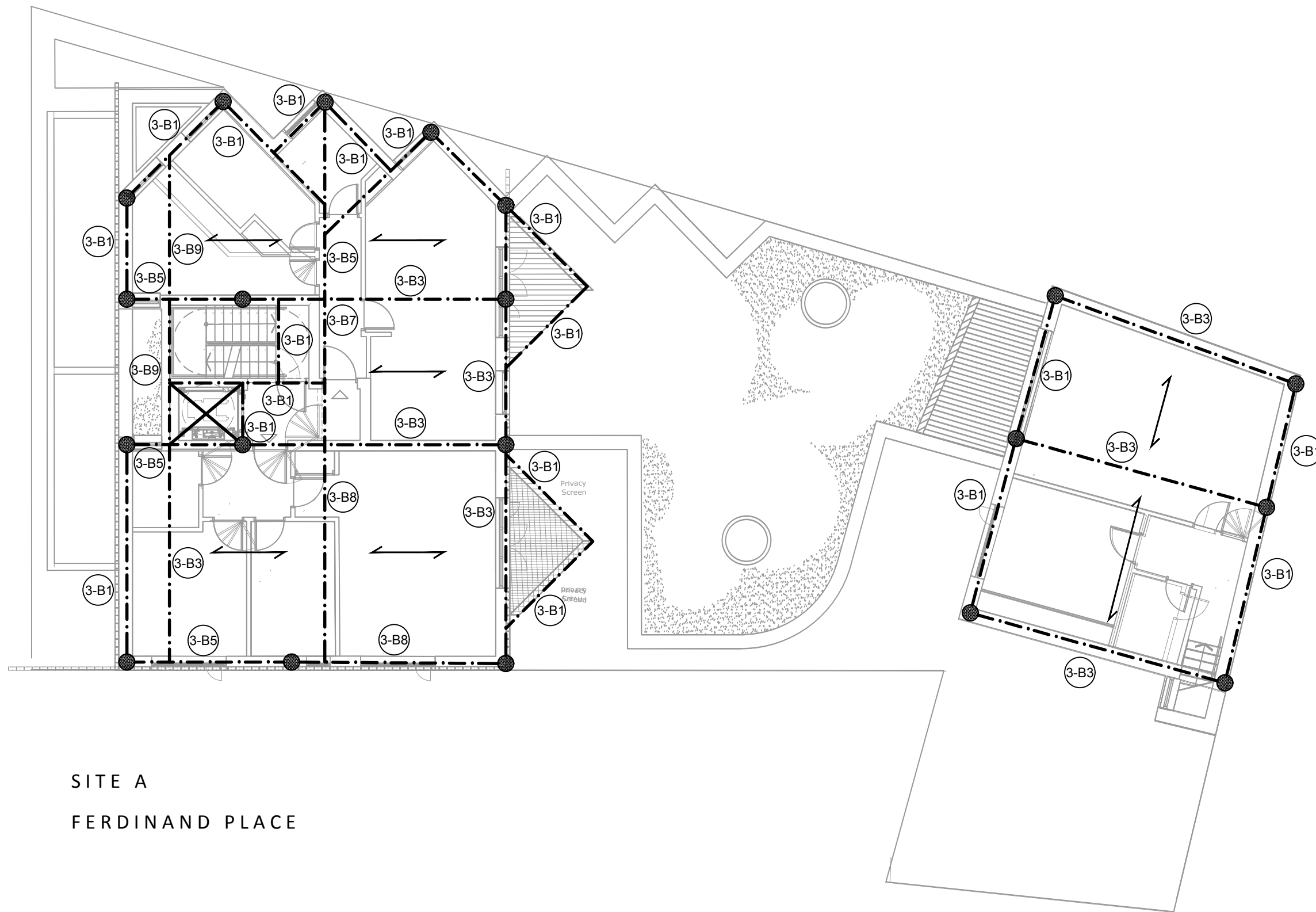
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Rev No	Date	By	Revision
01	22/02/16	GM	Revised To Suit Architect Changes
00	09/11/15	GM	Issued For Information

Job Title	4 Ferdinand Place
Drawing Title	Site A - First Floor GA Plan - Showing 2nd Floor Beams Over
Drawing Status	Information

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Job No.	304	Drawing No.	304-S-L-02
Revision	01	Size	A3
Scales	NTS	Date	09/11/2015
Drawn by	GM	Checked	TM



SITE A
FERDINAND PLACE

- ← 300M20 METSEC @ 400 c/c
- All Steel Grade S355
- (3-B1) 254 x 102 x 22 UKB
- (3-B3) 254 x 254 x 73 UKC
- (3-B5) 254 x 146 x 37 UKB
- (3-B6) 254 x 254 x 89 UKC
- (3-B7) 254 x 102 x 28 UKB
- (3-B8) 254 x 146 x 43 UKB
- (3-B9) 254 x 102 x 25 UKB
- 100 x 100 x 6.3 SHS

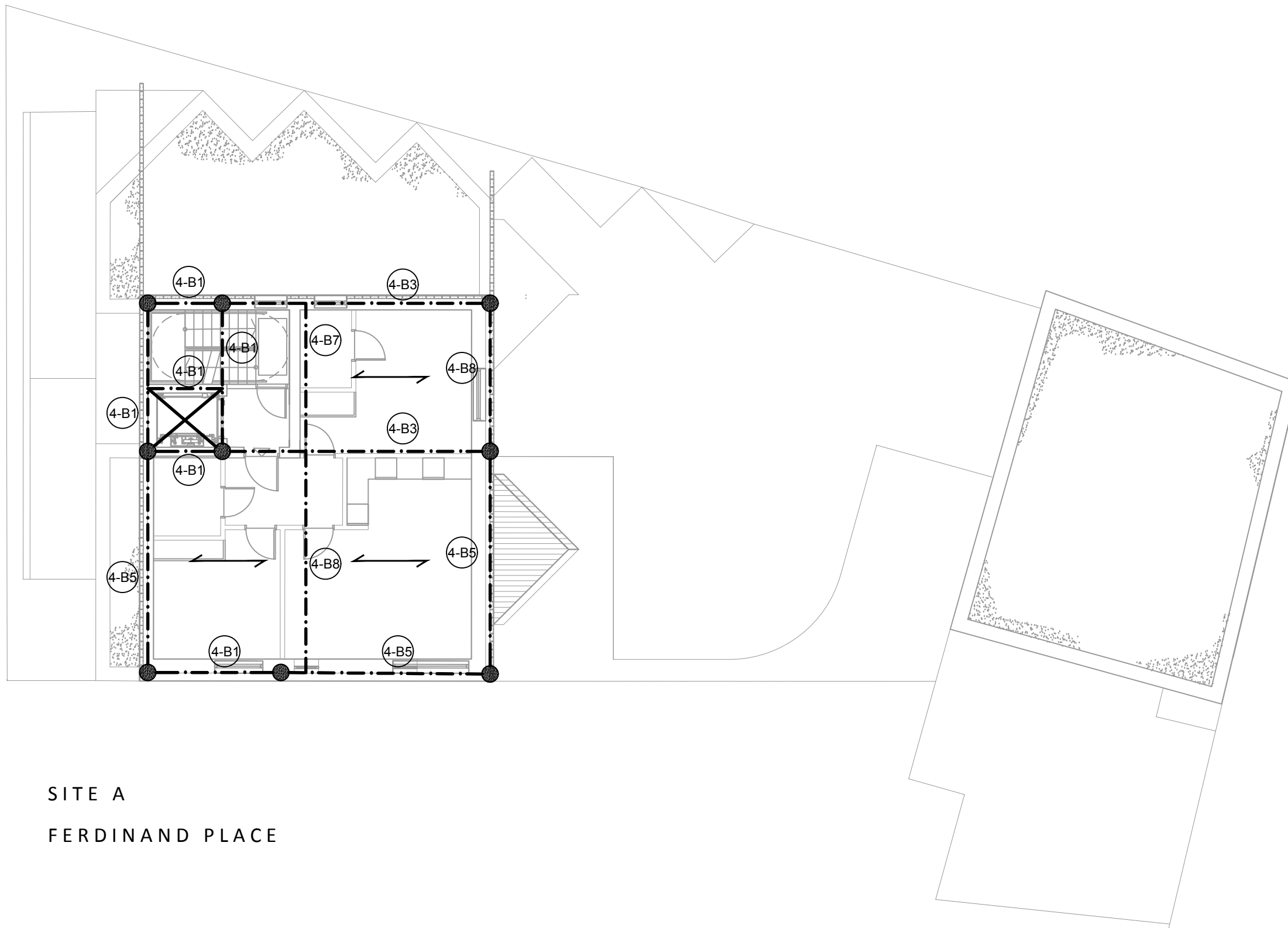
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Rev No	Date	By	Revision
03	14/12/16	GM	Architect's Latest Plan Added
02	04/04/16	GM	Column Added To Suit Architect Design
01	22/02/16	GM	Revised To Suit Architect Changes
00	09/11/15	GM	Issued For Information

Job Title	4 Ferdinand Place
Drawing Title	Site A - Second Floor GA Plan - Showing 3rd Floor Beams Over
Drawing Status	Information

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Job No.	304	Drawing No.	304-S-L-03
Revision	03	Scale	NTS
Size	A3	Date	09/11/2015
Drawn by	GM	Checked	TM



SITE A
FERDINAND PLACE

- ↔ 300M20 METSEC @ 400 c/c
- All Steel Grade S355
- (4-B1) 254 x 102 x 22 UKB
- (4-B3) 254 x 254 x 73 UKC
- (4-B5) 254 x 146 x 37 UKB
- (4-B7) 254 x 102 x 28 UKB
- (4-B8) 254 x 148 x 43 UKB
- 100 x 100 x 6.3 SHS

NOTES

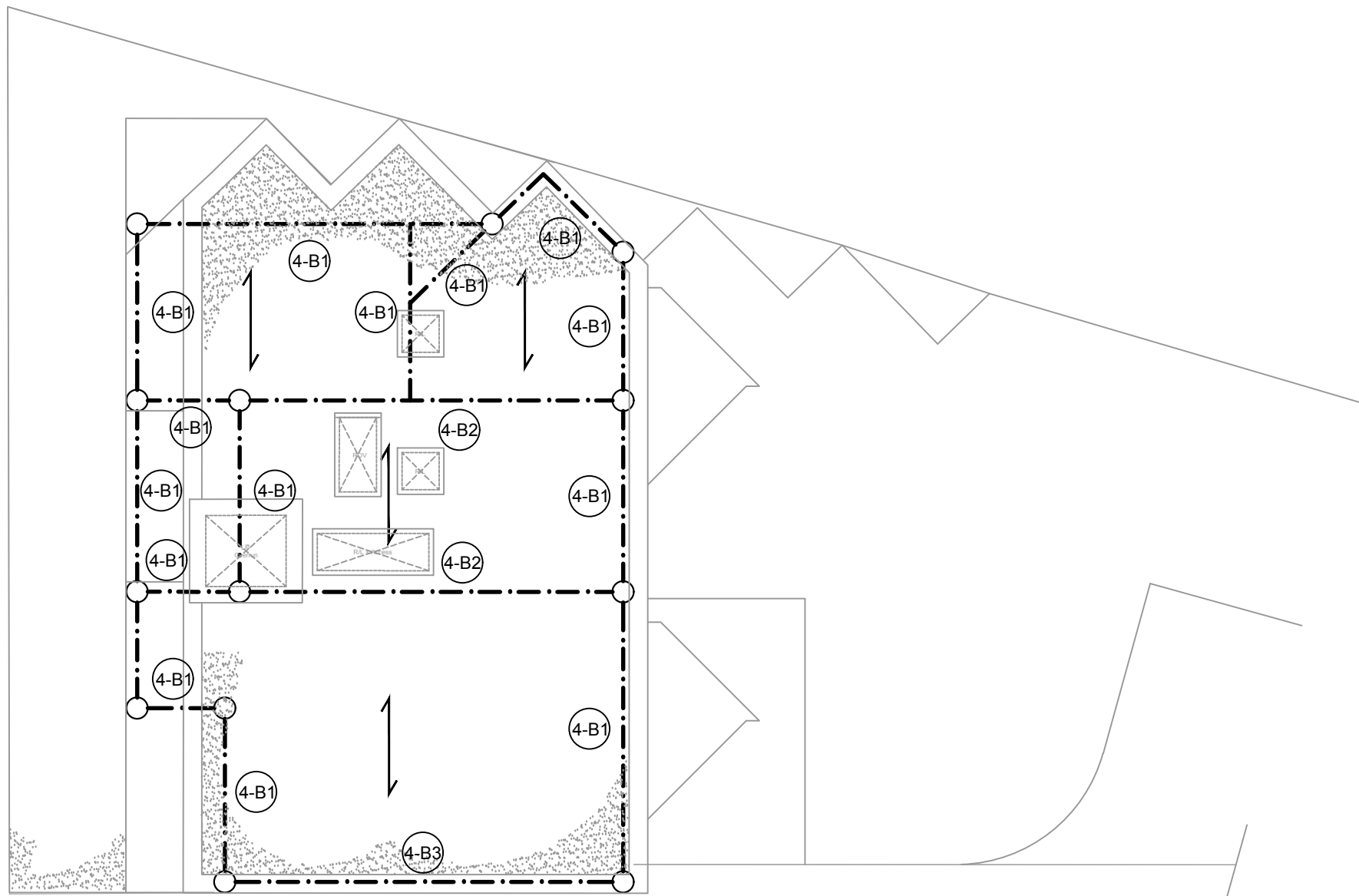
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Rev No	Date	By	Revision
03	14/12/16	GM	Architect's Latest Plan Added
02	04/04/16	GM	Beams Removed & Column Added To Suit Architect Design
01	22/02/16	GM	Revised To Suit Architect Changes
00	09/11/15	GM	Issued For Information

Job Title	4 Ferdinand Place
Drawing Title	Site A - Third Floor GA Plan - Showing 4th Floor Beams Over
Drawing Status	Information

Job No.	304	Drawing No.	304-S-L-04	Revision	03
Scales	NTS	Size	A3	Drawn by	GM
Date	09/11/2015	Checked	TM		

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Job No.	304	Drawing No.	304-S-L-04	Revision	03
Scales	NTS	Size	A3	Drawn by	GM
Date	09/11/2015	Checked	TM		



SITE A
FERDINAND PLACE

- ← 300M20 METSEC @ 400 c/c
- All Steel Grade S355
- (4-B1) 254 x 102 x 22 UKB
- (4-B2) 254 x 254 x 107 UKC
- (4-B3) 254 x 254 x 73 UKC
- 100 x 100 x 6.3 SHS Below

NOTES

1.

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01	17/02/16	GM	Revised To Suit Architect Changes
00	09/11/15	GM	Issued For Information

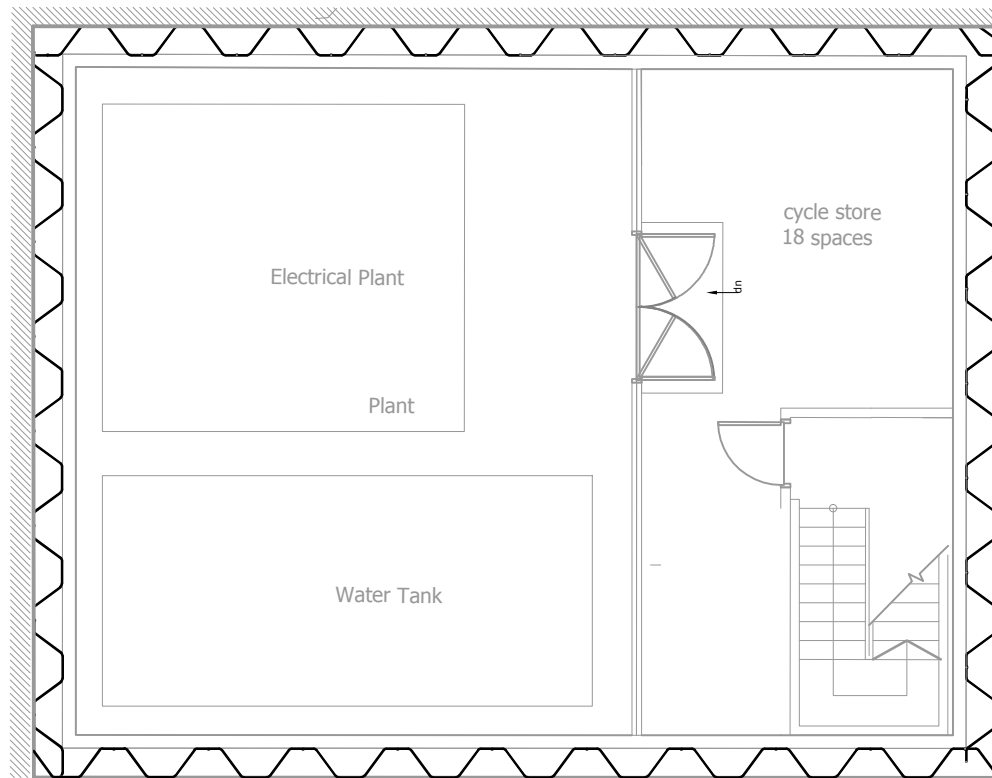
Job Title
4 Ferdinand Place

Drawing Title
Site A - Fourth Floor GA Plan

Drawing Status Information

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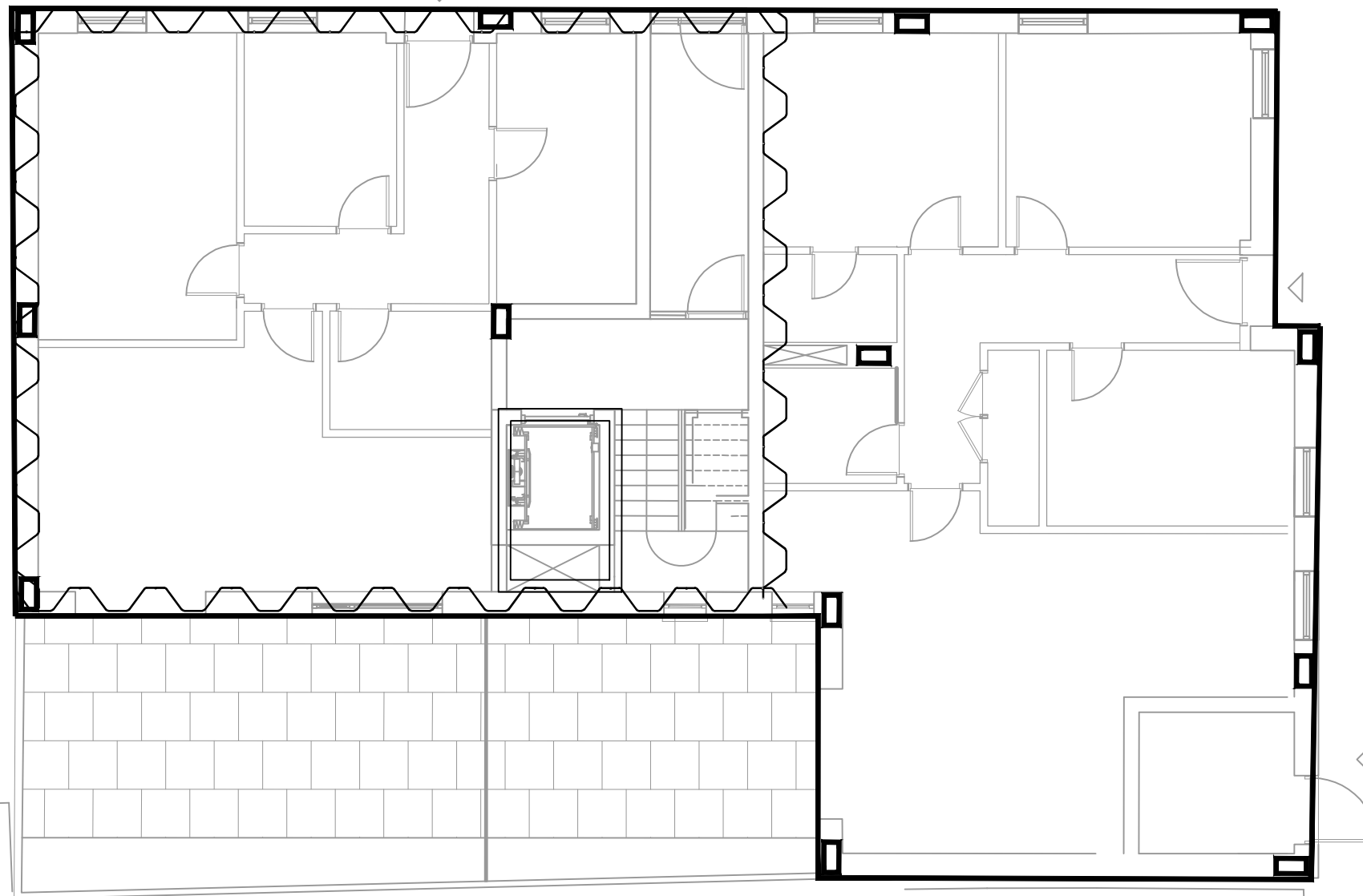
SITE B



NOTE:
FLAT CONCRETE SLAB TYPICAL THICKNESS 225mm

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	Rev	Date	By			Drawing Status Information	<small>Drawn by MJD Date 03/08/15 Checked TM</small>		

SITE B



NOTE:
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NOTES

Rev	Date	By	
02	14/12/16	GM	Architect's Latest Plan Added
01	23/02/16	GM	Revised To Suit Architect Changes
00	04/08/15	MJD	Issued For Information

Job Title
1, 4 Ferdinand Place

Drawing Title
Site B
Ground Floor GA plan

Drawing Status Information

Glass Light and Special Structures

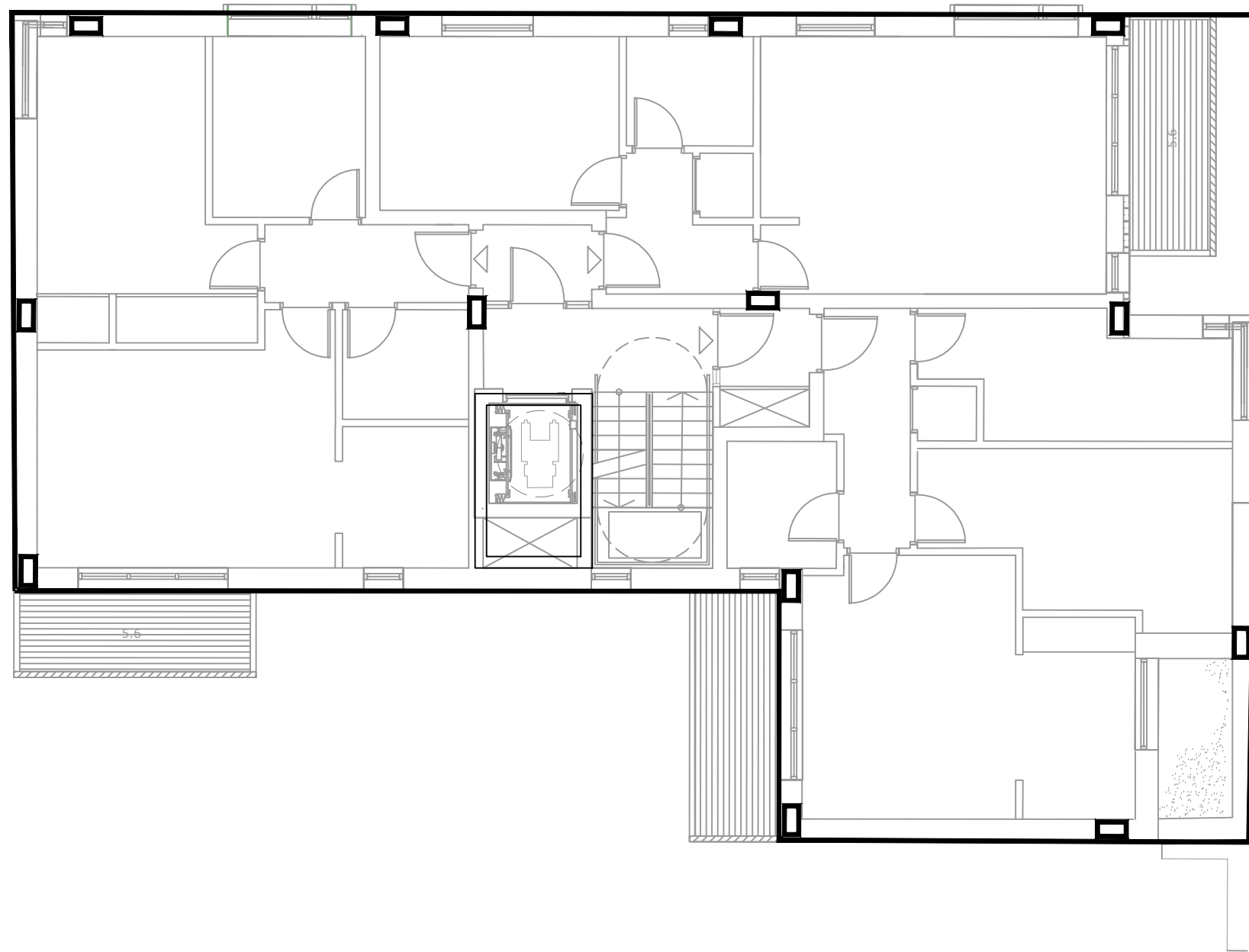
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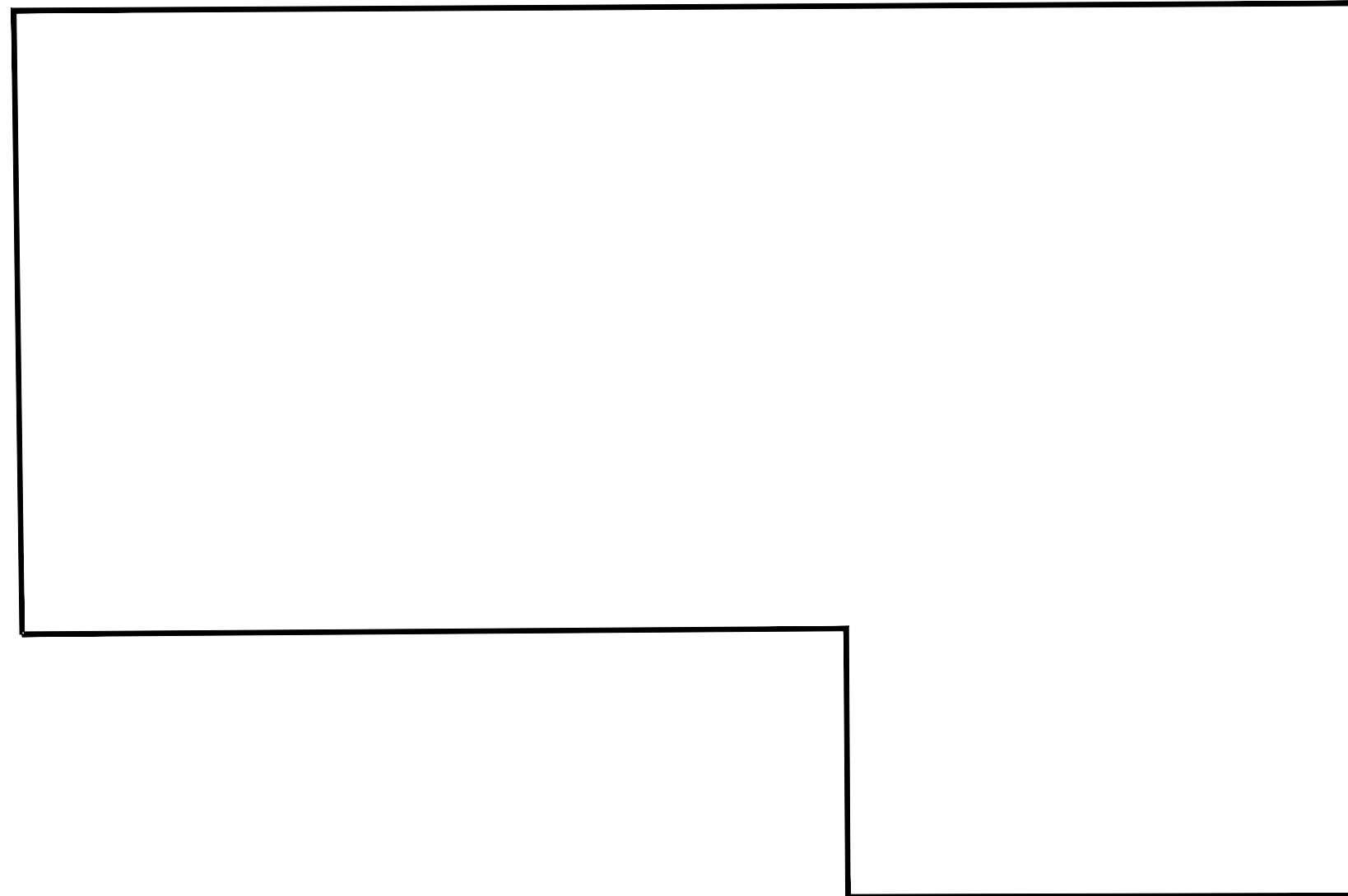
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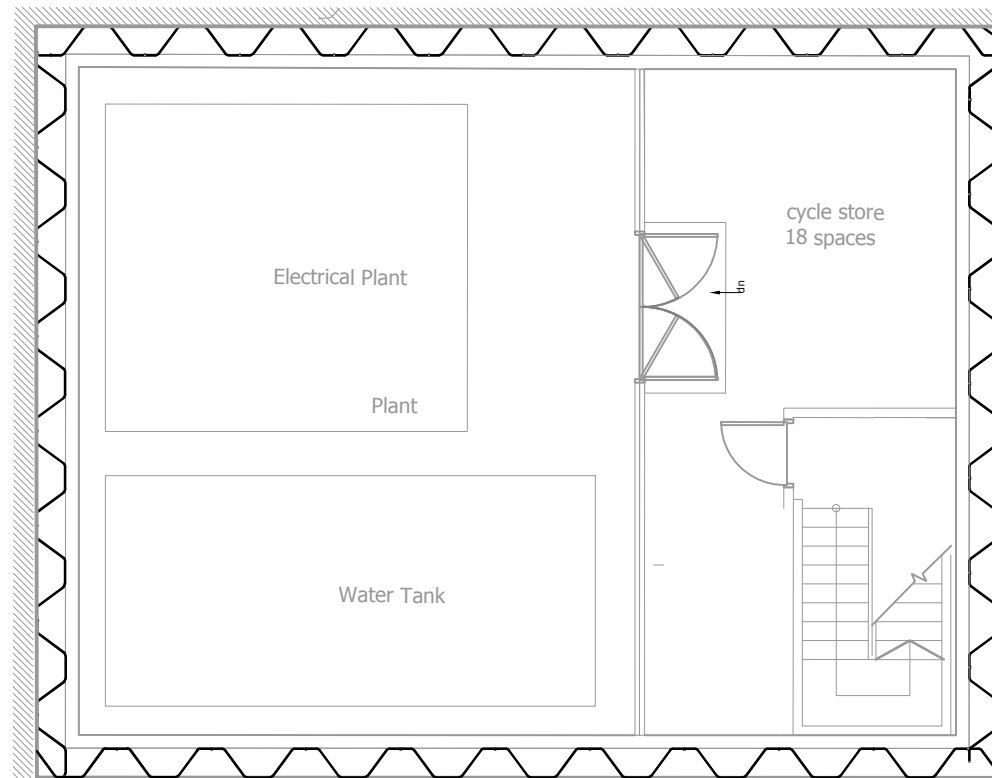
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NOTE:
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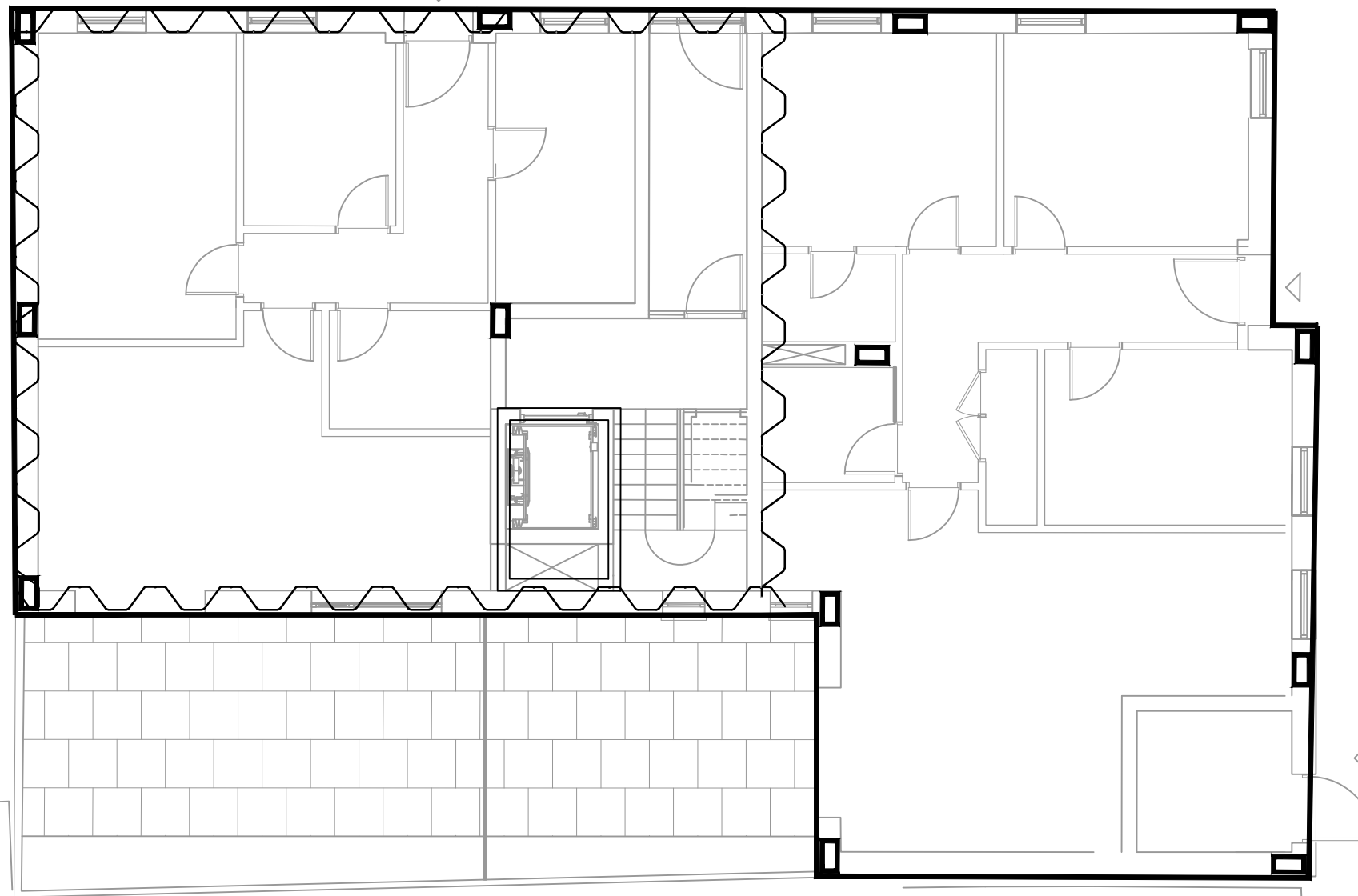
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	00	04/08/15	MJD	Issued For Information			Scales 1:100@A3 Drawn by MJD Date 03/08/15 Checked TM		
	Rev	Date	By			Drawing Status Information			

SITE B



NOTE:
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Rev	Date	By	
02	14/12/16	GM	Architect's Latest Plan Added
01	23/02/16	GM	Revised To Suit Architect Changes
00	04/08/15	MJD	Issued For Information

Job Title
1, 4 Ferdinand Place

Drawing Title
Site B
Ground Floor GA plan

Drawing Status Information

Glass Light and Special Structures

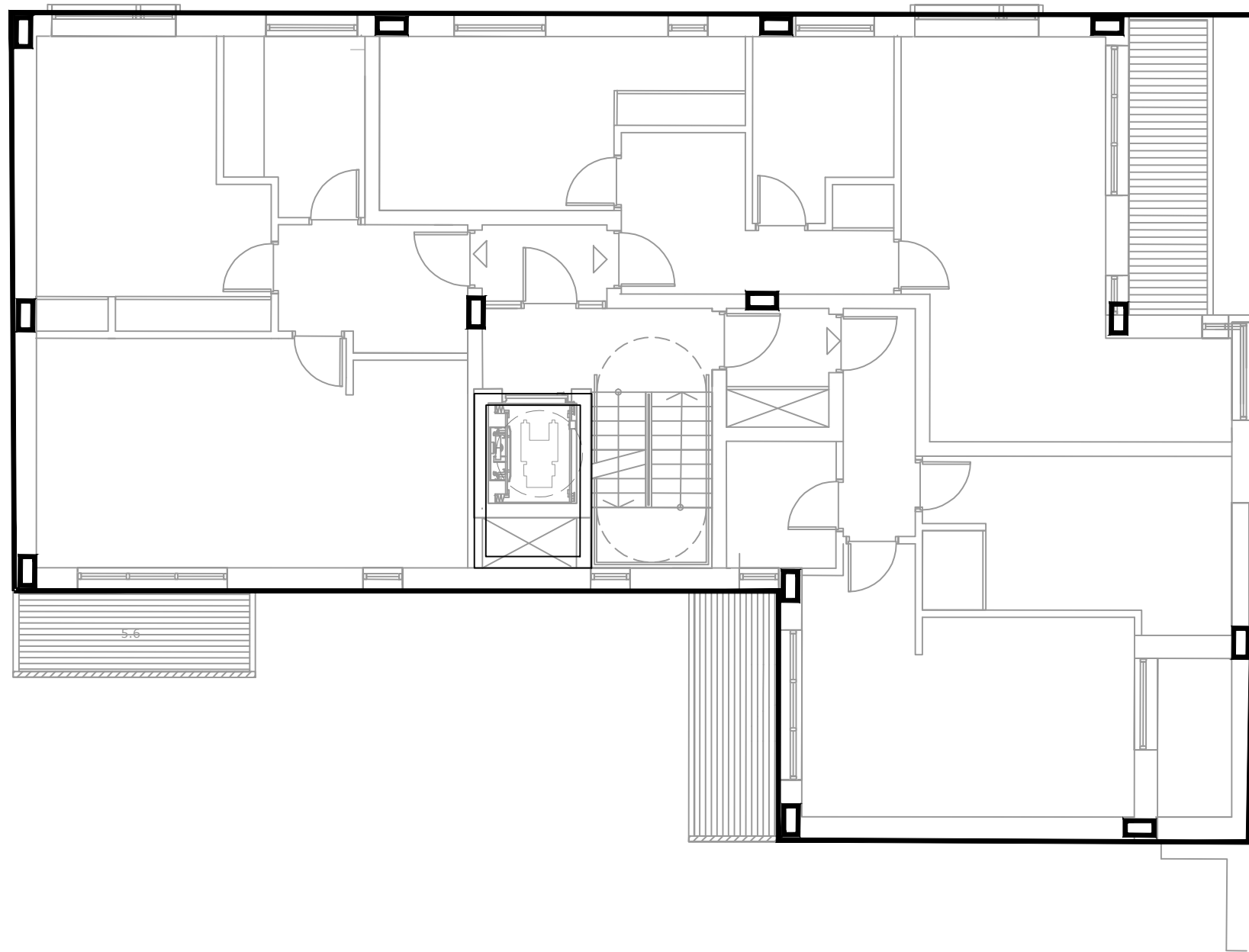
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SITE B



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00	04/08/15	MJD	Issued For Information

Job Title
1, 4 Ferdinand Place

Drawing Title
Site B
First Floor GA plan

Drawing Status Information

Glass Light and Special Structures

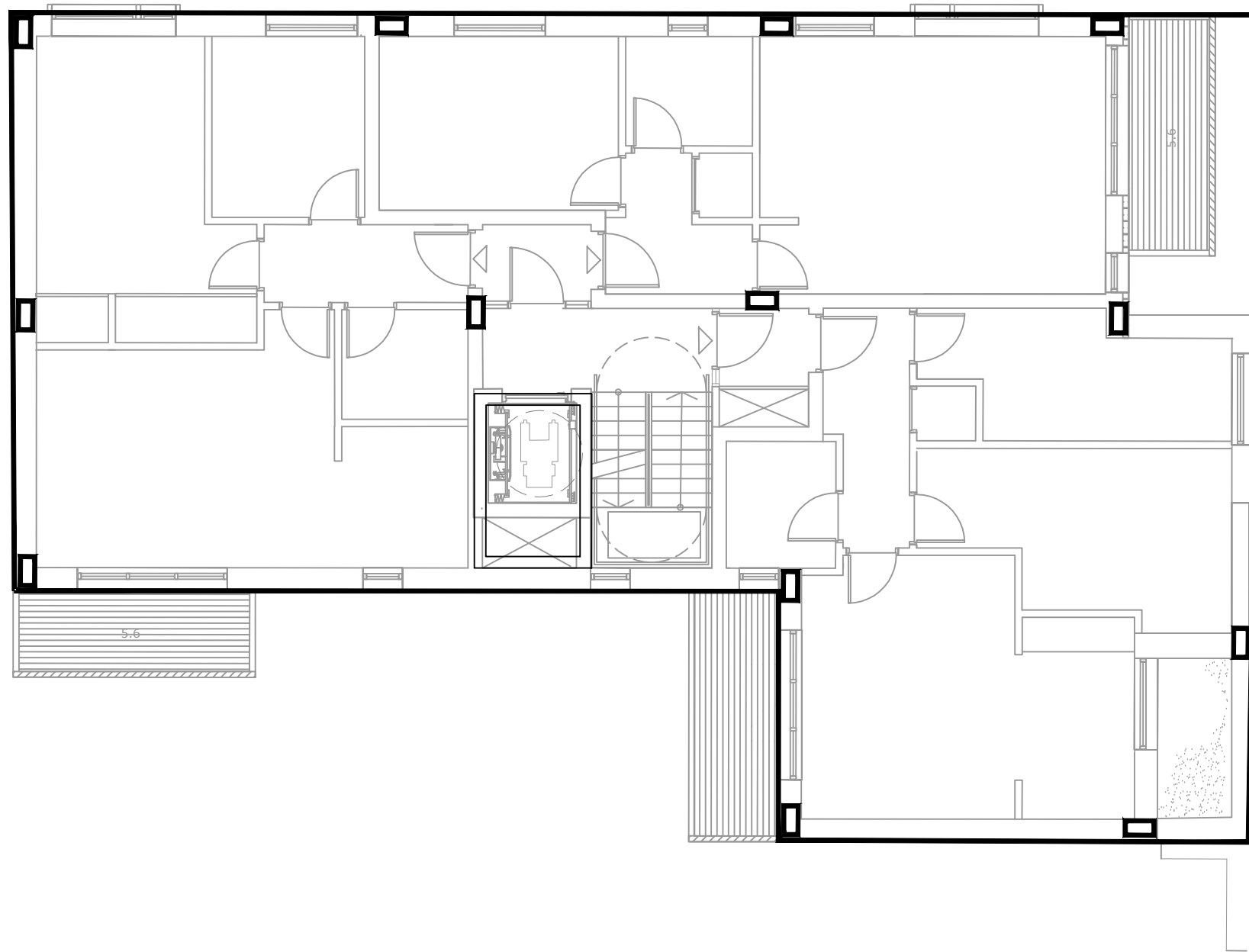
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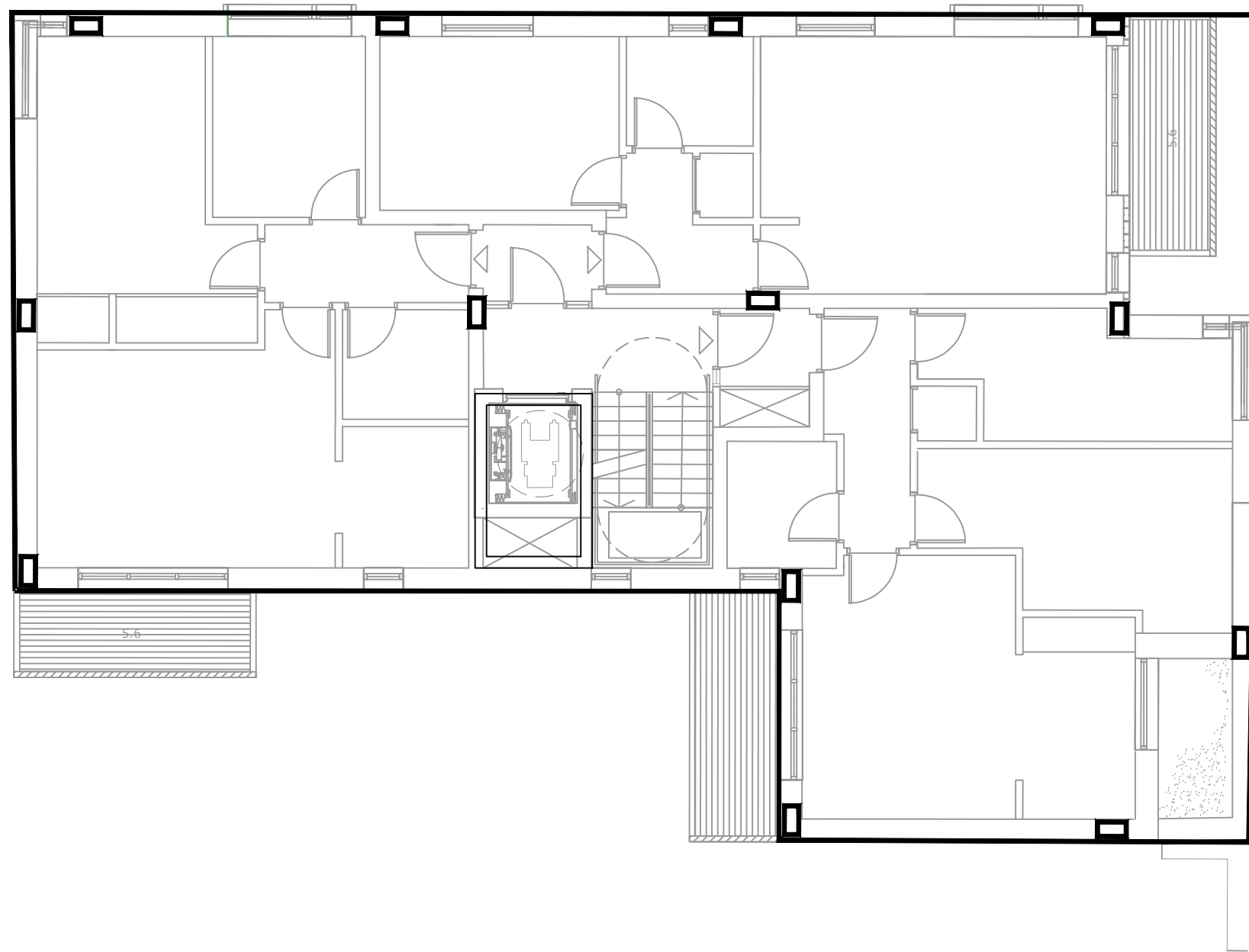
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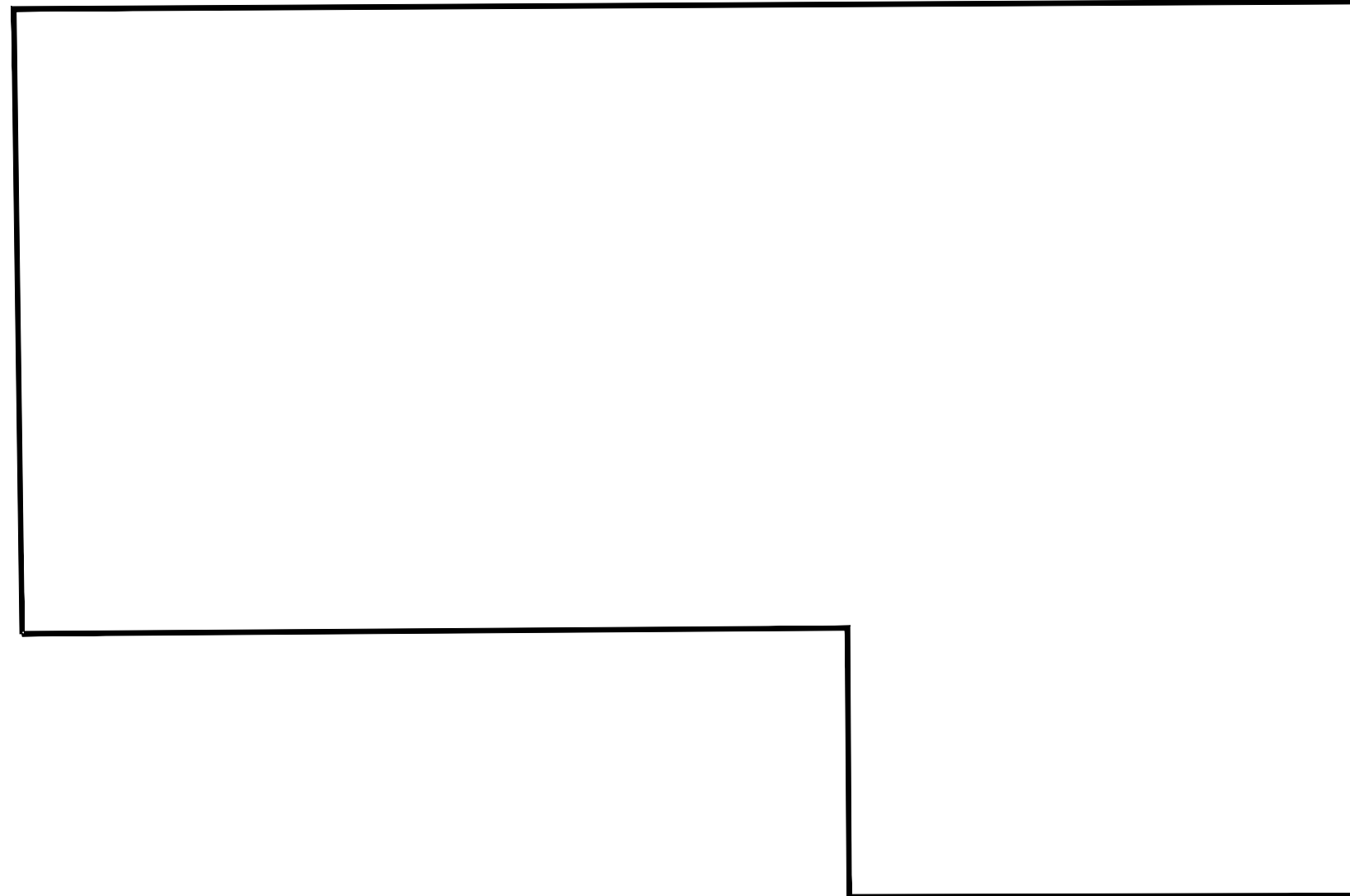
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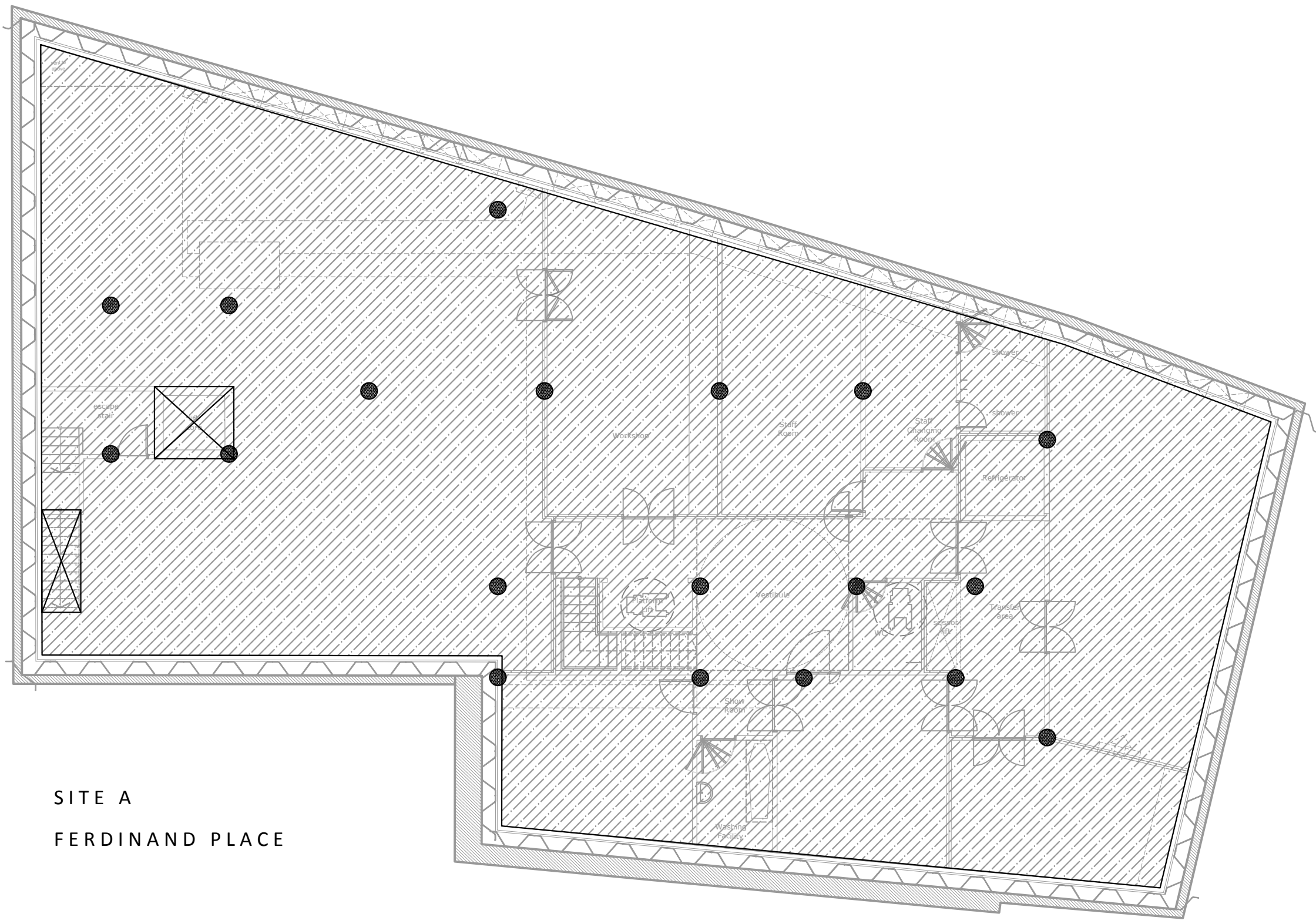
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	Rev	Date	By				Scales 1:100@A3	Date 03/08/15	Checked TM
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SITE B






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							<small>19, Britton Street, EC1M 5NQ, Tel +44 020 74903446</small>					
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Rev	Date	By				Drawn by	MJD	Date	03/08/15	Checked	TM	



SITE A
FERDINAND PLACE

-  300 THK RC GRD FLOOR SLAB OVER FOUNDATION
-  300 x 300 RC Columns
-  Sheet Pile Wall

NOTES

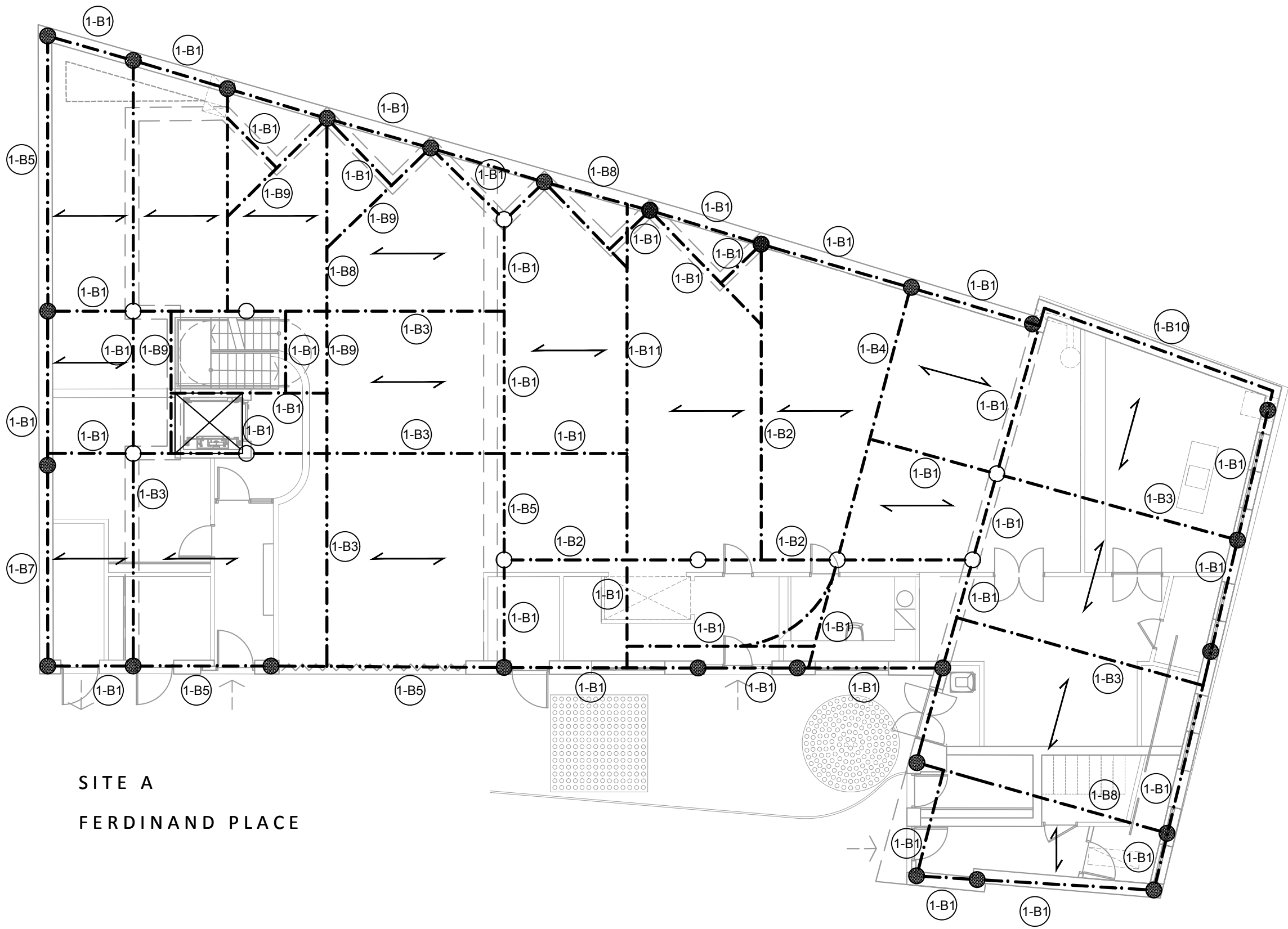
1.

Rev No	Date	By	Revision
01	17/02/16	GM	
00	09/11/15	GM	Issued For Information

Job Title	4 Ferdinand Place
Drawing Title	Site A - Basement Floor GA Plan
Drawing Status	Information

Job No.	304	Drawing No.	304-S-L-00	Revision	01
Scales	NTS	Size	A3	Drawn by	GM
Date	09/11/2015	Checked	TM		

Glass Light and Special Structures
19, Britton Street, EC1M 5NQ, Tel +44 020 74903446



SITE A
FERDINAND PLACE

- ← 300M20 METSEC @ 400 c/c
- All Steel Grade S355
- (1-B1) 254 x 102 x 22 UKB
- (1-B2) 254 x 254 x 107 UKC
- (1-B3) 254 x 254 x 73 UKC
- (1-B4) 254 x 254 x 132 UKC
- (1-B5) 254 x 146 x 37 UKB
- (1-B8) 254 x 146 x 43 UKB
- (1-B9) 254 x 102 x 25 UKB
- (1-B10) 254 x 254 x 87 UKC
- All Steel Grade S355
- 100 x 100 x 6.3 SHS
- 200 x 200 x 6.3 SHS

NOTES

1.

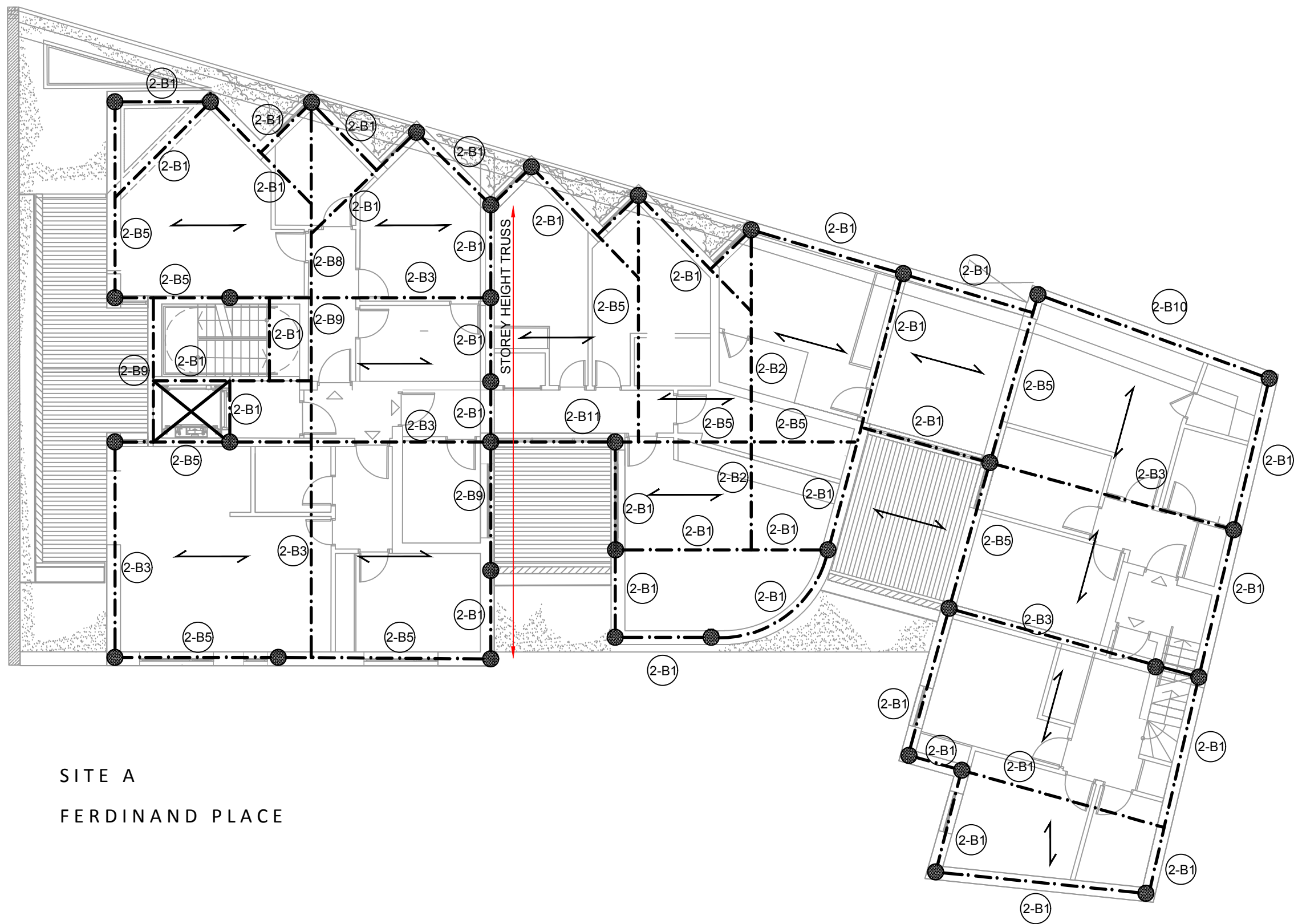
Rev No	Date	By	Revision
01	17/02/16	GM	Revised To Suit Architect Changes
00	09/11/15	GM	Issued For Information

Job Title
4 Ferdinand Place

Drawing Title
Site A - Ground Floor GA Plan - Showing 1st Floor Beams Over

Drawing Status Information

Glass Light and Special Structures			
19, Britton Street, EC1M 5NQ, Tel +44 020 74903446			
Job No.	304	Drawing No.	304-S-L-01
Revision	01	Size	A3
Scales	NTS	Date	09/11/2015
Drawn by	GM	Checked	TM



SITE A
FERDINAND PLACE

- ← 300M20 METSEC @ 400 c/c
- All Steel Grade S355
- (2-B1) 254 x 102 x 22 UKB
- (2-B2) 254 x 254 x 107 UKC
- (2-B3) 254 x 254 x 73 UKC
- (2-B5) 254 x 146 x 37 UKB
- (2-B9) 254 x 102 x 25 UKB
- (2-B10) 254 x 254 x 87 UKC
- (2-B11) 254 x 102 x 25 UKC
- 100 x 100 x 6.3 SHS

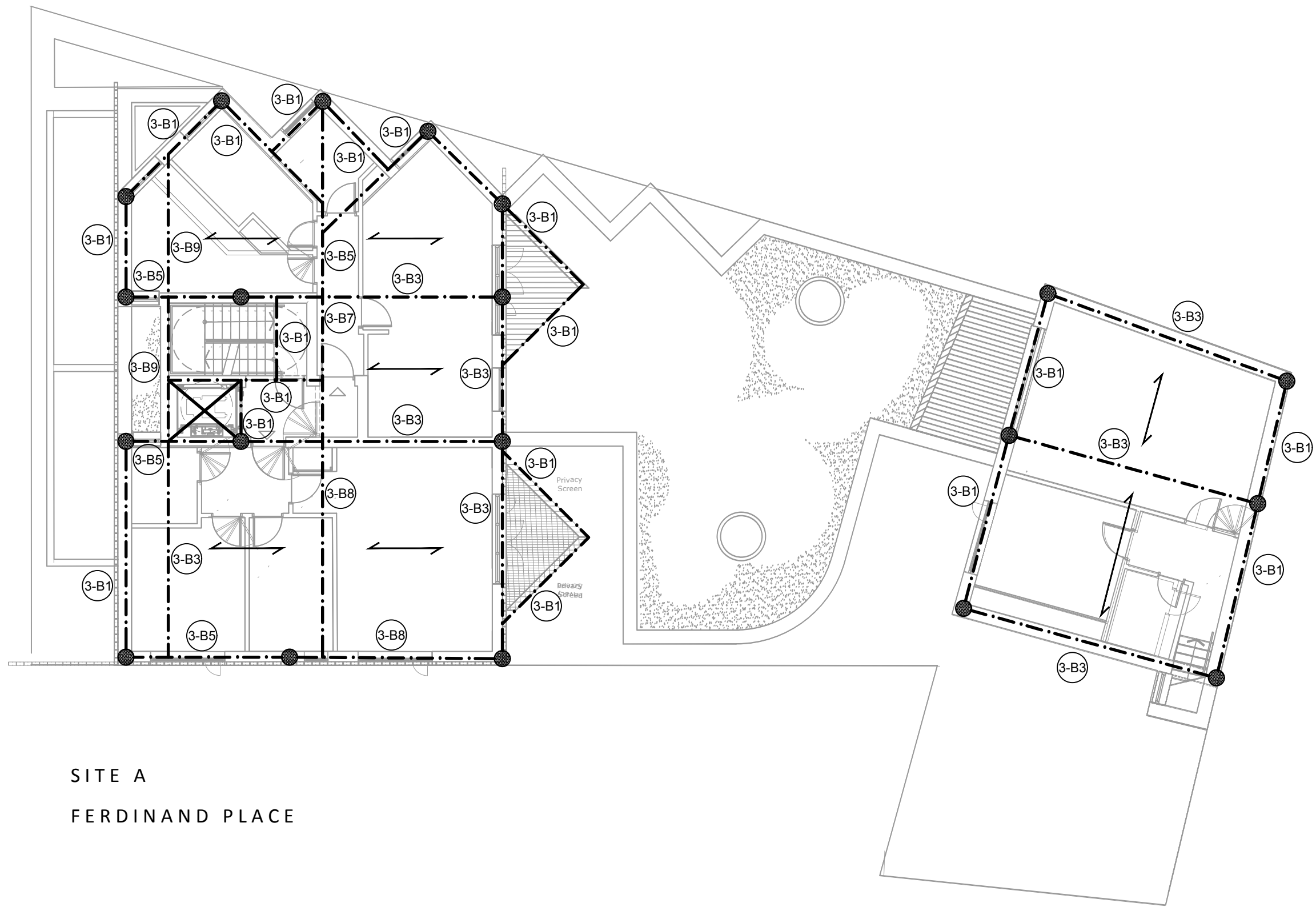
NOTES

1.

Rev No	Date	By	Revision
01	22/02/16	GM	Revised To Suit Architect Changes
00	09/11/15	GM	Issued For Information

Job Title	4 Ferdinand Place
Drawing Title	Site A - First Floor GA Plan - Showing 2nd Floor Beams Over
Drawing Status	Information

Glass Light and Special Structures			
19, Britton Street, EC1M 5NQ, Tel +44 020 74903446			
Job No.	304	Drawing No.	304-S-L-02
Revision	01	Size	A3
Scales	NTS	Date	09/11/2015
Drawn by	GM	Checked	TM



SITE A
FERDINAND PLACE

- ← 300M20 METSEC @ 400 c/c
- All Steel Grade S355
- (3-B1) 254 x 102 x 22 UKB
- (3-B3) 254 x 254 x 73 UKC
- (3-B5) 254 x 146 x 37 UKB
- (3-B6) 254 x 254 x 89 UKC
- (3-B7) 254 x 102 x 28 UKB
- (3-B8) 254 x 146 x 43 UKB
- (3-B9) 254 x 102 x 25 UKB
- 100 x 100 x 6.3 SHS

NOTES

1.

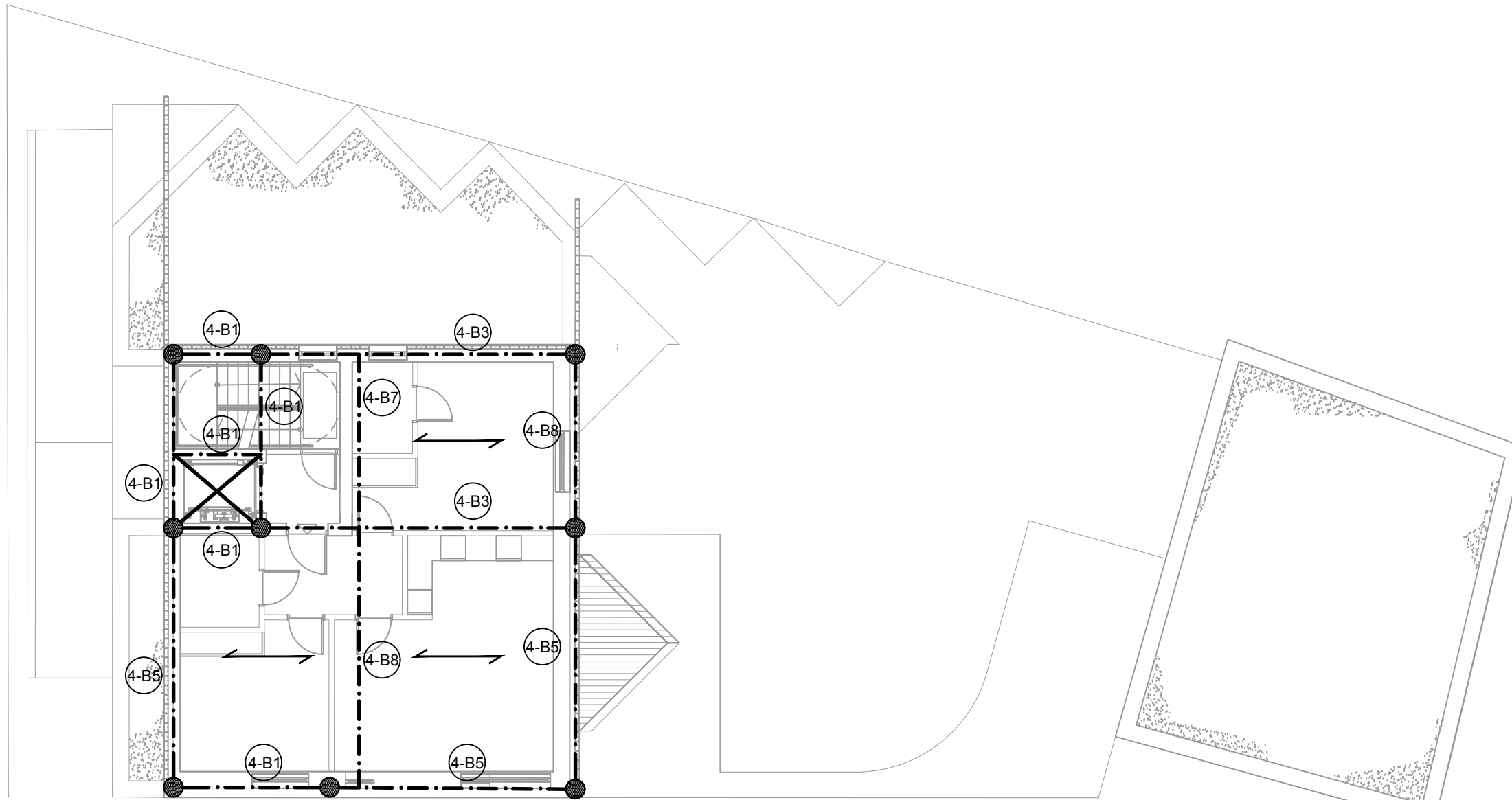
Rev No	Date	By	Revision
03	14/12/16	GM	Architect's Latest Plan Added
02	04/04/16	GM	Column Added To Suit Architect Design
01	22/02/16	GM	Revised To Suit Architect Changes
00	09/11/15	GM	Issued For Information

Job Title
4 Ferdinand Place

Drawing Title
Site A - Second Floor GA Plan - Showing 3rd Floor Beams Over

Glass Light and Special Structures			
19, Britton Street, EC1M 5NQ, Tel +44 020 74903446			
Job No.	304	Drawing No.	304-S-L-03
Revision	03	Scale	NTS
Size	A3	Date	09/11/2015
Drawn by	GM	Checked	TM

Drawing Status Information



SITE A
FERDINAND PLACE

↔ 300M20 METSEC @ 400 c/c

All Steel Grade S355

--- (4-B1) 254 x 102 x 22 UKB

--- (4-B3) 254 x 254 x 73 UKC

--- (4-B5) 254 x 146 x 37 UKB

--- (4-B7) 254 x 102 x 28 UKB

--- (4-B8) 254 x 148 x 43 UKB

● 100 x 100 x 6.3 SHS

NOTES

1.

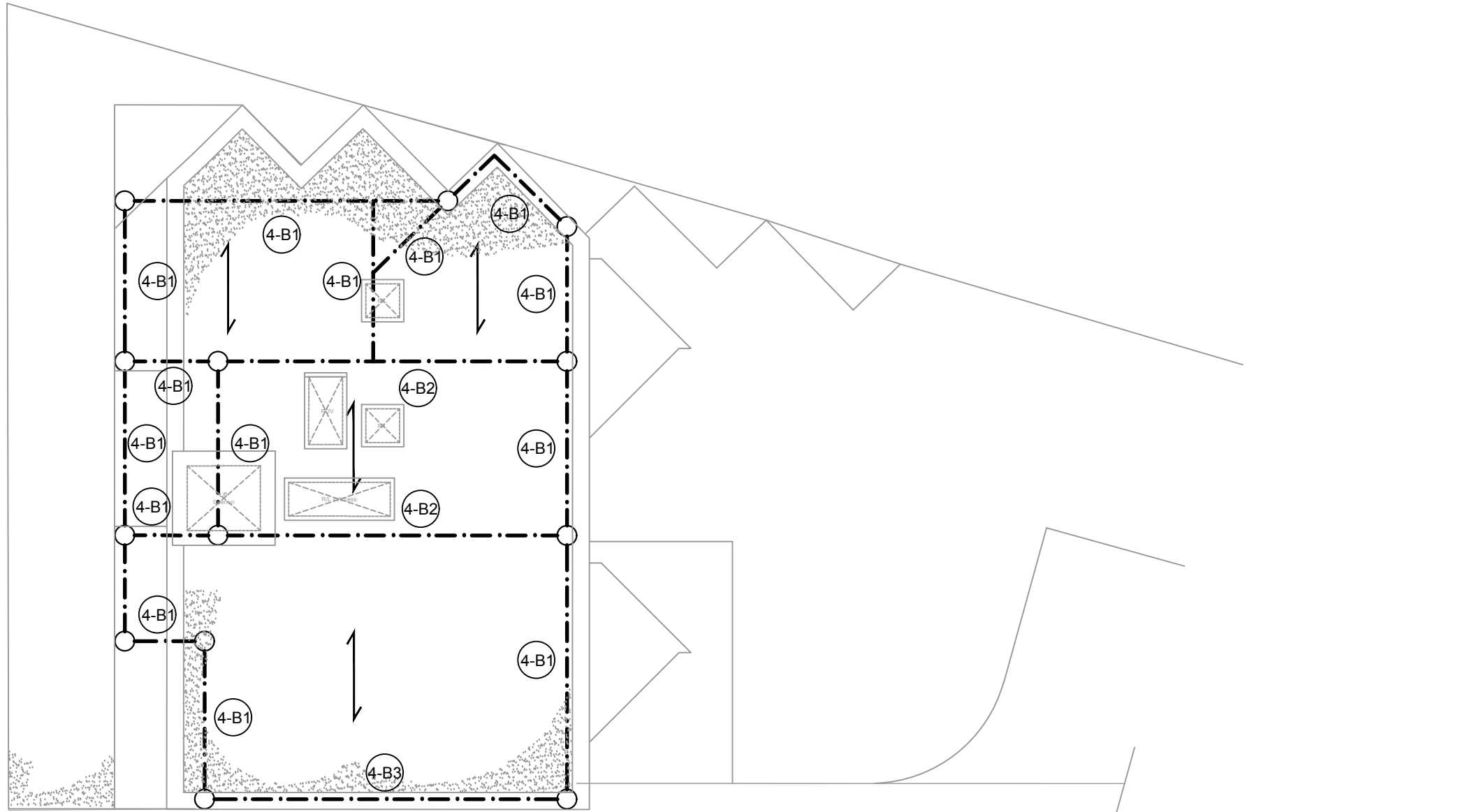
Rev No	Date	By	Revision
03	14/12/16	GM	Architect's Latest Plan Added
02	04/04/16	GM	Beams Removed & Column Added To Suit Architect Design
01	22/02/16	GM	Revised To Suit Architect Changes
00	09/11/15	GM	Issued For Information

Job Title
4 Ferdinand Place

Drawing Title
Site A - Third Floor GA Plan - Showing 4th Floor Beams Over

Glass Light and Special Structures			
19, Britton Street, EC1M 5NQ, Tel +44 020 74903446			
Job No.	304	Drawing No.	304-S-L-04
Revision	03	Scale	NTS
Size	A3	Date	09/11/2015
Drawn by	GM	Checked	TM

Drawing Status Information



SITE A
FERDINAND PLACE

- ↔ 300M20 METSEC @ 400 c/c
- All Steel Grade S355
- (4-B1) 254 x 102 x 22 UKB
- (4-B2) 254 x 254 x 107 UKC
- (4-B3) 254 x 254 x 73 UKC
- 100 x 100 x 6.3 SHS Below

NOTES

1.

Rev No	Date	By	Revision
01	17/02/16	GM	Revised To Suit Architect Changes
00	09/11/15	GM	Issued For Information

Job Title
4 Ferdinand Place

Drawing Title
Site A - Fourth Floor GA Plan

Drawing Status Information

Glass Light and Special Structures			
19, Britton Street, EC1M 5NQ, Tel +44 020 74903446			
Job No.	304	Drawing No.	304-S-L-05
Revision	01	Scale	NTS
Size	A3	Drawn by	GM
Date	09/11/2015	Checked	TM