

Heritage Statement

1 Chamberlain Street, London Borough of
Camden

November 2016

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Client

Ms Azadeh Nassiri

November 2016

1. Introduction

- 1.1 This Heritage Appraisal report has been prepared by Turley Heritage on behalf of Ms Azadeh Nassiri ('the client'), to provide relevant and proportionate information to the local planning authority with regard to potential heritage impacts associated with proposals for works of internal and external alteration and extension at No.1 Chamberlain Street ('the Site'), within the London Borough of Camden.
- 1.2 No.1 Chamberlain Street is situated on the south side of Chamberlain Street. It forms part of a short terrace, consisting of Nos.1-8 Chamberlain Street, which are grade II listed, and falls within the Primrose Hill Conservation Area. The List Entry for Nos.1-8 Chamberlain Street is included at Appendix 1, and a map of the conservation area is included at Appendix 2. The building is currently in use as a single family dwelling house.
- 1.3 The National Planning Policy Framework ('the Framework') provides the Government's national planning policy on the conservation of the historic environment. In respect of information requirements for applications, it sets out that:
- "In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance¹"*
- 1.4 Paragraph 129 then sets out that local planning authorities should identify and assess the particular significance of heritage assets that may be affected by proposals. They should take this assessment into account when considering the impact of proposals in order to avoid or minimise conflict between the heritage asset's conservation and any aspect of the proposal.
- 1.5 In accordance with these legislative and policy requirements, Section 2 of this report firstly identifies the relevant heritage assets within the Site and its vicinity that may be affected by the impact of the application proposals.
- 1.6 Section 3 then provides a statement of significance for each of the identified heritage assets that would be affected by the proposals. In this section, a description of the heritage significance of the listed building, in terms of its special architectural and historic interest, is provided. This section also includes an assessment of the heritage significance of the Primrose Hill Conservation Area, in terms of its historic development and character and appearance, with specific reference made to the Site. This assessment is undertaken on the basis of published information, historical research and on-site visual survey, and is proportionate to both the importance of the identified heritage assets and the relative impacts of the proposals.
- 1.7 Section 4 undertakes a review of the proposals and then assesses the likely impact of these on the significance of the identified designated heritage assets of the listed

¹ DCLG, National Planning Policy Framework (NPPF) 2012 – para. 128

building and the conservation area, in light of the relevant heritage legislative, policy and guidance context as contained within Appendix 3.

- 1.8 Section 5 provides a summary of the findings of the report.

2. The Heritage Assets

Introduction

- 2.1 The Framework defines a heritage asset as:

“A building, monument, site, place, area or landscape identified as having a degree of significance meriting consideration in planning decisions, because of its heritage interest².”

Designated Heritage Assets

- 2.2 Designated heritage assets are those which possess a level of heritage interest that justifies designation and are then subject to particular procedures in planning decisions that involve them.

Listed Building: No.1 Chamberlain Street

- 2.3 No.1 Chamberlain Street is an end of terrace townhouse, situated on the south side of Chamberlain Street. The property is listed for group value as part of a group of mid-19th century terraced properties at Nos.1-8 Chamberlain Street. Nos.1-8 were included as a group on the statutory list of buildings of special architectural or historic interest at grade II on 11th January 1999. The list entry is included at Appendix 1 and is summarised below for ease of reference:

“Symmetrical terrace of 8 houses. Mid C19. Yellow stock brick with blue brick bands and stucco dressings. Slated roofs with overhanging bracketed eaves. Nos 1 & 11 have pediments and slightly project. 3 storeys and basements. 2 windows each. Prostyle porticos; panelled doors with overlights. Ground floor tripartite sashes have channelled stucco voussoirs, keystones and triglyph with guttae drops; cast-iron window guards to bracketed cornice sills. Architraved 1st floor sashes with bracketed cornices and pediments, cast-iron window guards and continuous sill band. 2nd floor sashes have bracketed sills, continuous sill band and are flanked at the top by the large enriched eaves brackets. INTERIORS: not inspected. SUBSIDIARY FEATURES: attached cast-iron railings with spearhead finials to areas. The houses in Chamberlain Street form a very complete group.”

- 2.4 There are a number of statutory listed buildings of special architectural or historic interest located within the vicinity of the Site. It is considered that due to their nature and extent, the application proposals will not affect the significance of any other nearby listed buildings within the vicinity of the Site through impact on their setting. Accordingly, they are not considered further in this report.

Conservation Area: Primrose Hill

- 2.5 No.1 Chamberlain Street lies within the Primrose Hill Conservation Area. The conservation area was first designated by the London Borough of Camden on 1st October 1971, and subsequently extended on 18th June 1985.

² DCLG, National Planning Policy Framework (NPPF) 2012 - Annex 2: Glossary

- 2.6 The Primrose Hill Conservation Area Statement was adopted in December 2000. This document identifies and appraises the architectural and historic character of the conservation area and provides specific guidance on its preservation and enhancement.

Non-Designated Heritage Assets

- 2.7 The Framework³ identifies that heritage assets include both designated heritage assets and assets identified by the local planning authority (including local listing).

Local List

- 2.8 The Council adopted their Local List on 21st January 2015. There are no locally listed buildings which would be affected by the application proposals. Accordingly, it is not necessary to consider them further in this report.

³ DCLG, National Planning Policy Framework (NPPF) 2012 - Annex 2: Glossary

3. Significance of the Heritage Assets

Significance and Special Interest

- 3.1 The Framework defines the significance of a heritage as:

“The value of a heritage asset to this and future generations because of its heritage interest. That interest may be archaeological, architectural, artistic or historic. Significance derives not only from a heritage asset’s physical presence, but also from its setting⁴.”

- 3.2 Listed buildings are designated heritage assets that hold special architectural or historic interest. The principles of selection for listed buildings are published by the Department of Culture Media and Sport⁵, and supported by Historic England’s Listing Selection Guides for each building type. The relevant selection guide for the listed buildings affected by the proposals is Domestic 2: Townhouses.⁶
- 3.3 Conservation areas are designated if they are of special architectural or historic interest, the character and appearance of which it is desirable to preserve or enhance⁷. Historic England has published an advice note in respect of conservation areas and this provides a framework for the appraisal and assessment of the special interest and significance of a conservation area, and also provides advice on how to identify whether a building contributes positively to the character or appearance of a conservation area.⁸
- 3.4 Together, this guidance provides a framework for assessing the significance of designated or non-designated heritage assets.

Assessment

- 3.5 The following assessments of significance are proportionate to the importance of the identified designated heritage assets and provide a sufficient level of description to understand the impact of the emerging proposals upon the significance of the identified heritage assets, given their nature and extent. The assessments are based on existing published information, archival research and on-site visual survey.

No.1 Chamberlain Street

Introduction

- 3.6 No.1 Chamberlain Street is a grade II listed building, which forms part of a terraced group on the south side of Chamberlain Street. The property consists of three storeys with basement and dates from the mid-19th century. It is located within the Primrose Hill Conservation Area and forms part of the high-status residential area developed from the early to mid-19th century.

⁴ DCLG, National Planning Policy Framework (NPPF) 2012 - Annex 2: Glossary

⁵ DCMS, Principles of Selection for Listing Buildings, 2010

⁶ Historic England, Domestic 2: Townhouses Selection Guide. October 2011.

⁷ HMSO, Planning (Listed Buildings and Conservation Areas) Act, 1990 – Section 69(1) (a)

⁸ Historic England, Historic England Advice Note 1: Conservation Area Designation, Appraisal and Management, 2016

- 3.7 The footprint of the listed building first appears on the 1870 Ordnance Survey (OS) map (Figure 3.1). The map illustrates No.1 situated to the east end of the terrace on the south side of the street, at this date named Bernard Street. The building is sited within a narrow, rectangular plot, with small rear garden. To the south of the listed building are the smaller, square properties of St. George's Mews and further south is St. George's Terrace, which both extend westwards from the curved Regent's Park Road. The surrounding townscape consisted predominantly of uniform rows of terraced houses located within deep, narrow plots. To the east of the listed building is Chalcot Square.



Figure 3.1: 1870 Ordnance Survey Map⁹

- 3.8 The 1894, 1934 and 1952 OS maps show no change to the footprint of the listed building and little change to the immediate surrounding area as a whole, other than the building of some larger factory buildings and blocks of flats to the north in the 20th century. The London County Council bomb damage map (Figure 3.2) also illustrates that the listed building did not sustain any bomb damage during the Second World War. The building at the west end of the terrace to the opposite side of Chamberlain Street however, suffered from serious damage, and some buildings to the north west of the listed building were damaged beyond repair.

⁹ Camden Archives



Figure 3.2: London County Council Bomb Damage Map

- 3.9 As found today, the listed building at No.1 Chamberlain Street is in its original use as a single family dwelling house, however, alterations were carried out in the 1970s to form one flat and four maisonettes within Nos.1 and 2 Chamberlain Street. This conversion also included alteration to the rear pitch of the roof to create a larger room at third floor level. In 2004, this conversion was reversed through further internal alterations to restore the property back to a single family dwelling. As a result, although the overall historic appearance and character of the house has been retained, the various stages of change and alteration to the listed building are clearly evident.

Architectural Interest

- 3.10 The listed building is of architectural interest as an example of a high-status, end of terrace townhouse dating from the mid-19th century, which overall retains its original character and appearance and some internal elements of historic fabric. As a whole, the house is a typical example of the 19th century Classically-influenced style applied to domestic architecture, which is expressed in its elevational proportions and design, remaining elements of its plan form and interior features. The property has, however, undergone a number of phases of alteration which have compromised its architectural interest. The listed building has group value as part of the listed terrace to the south side of Chamberlain Street, and as part of the wider terraced group to both sides of the street, which together form a harmonious street frontage.

Street Frontage

- 3.11 The principal elevation of the mid-19th century property at No.1 Chamberlain Street (Figure 3.3) overall retains its Classical appearance. There are a number of elements to this elevation which are typical of the buildings architectural style and period, including

the fenestration pattern, with the windows decreasing in size as the building rises, reflecting the difference in status between the floor levels.



Figure 3.3: Principal Elevation of No.1 Chamberlain Street

- 3.12 The property comprises three storeys with basement and is constructed of yellow stock brick with blue brick bands and stucco dressings. It is two windows wide and has continuous sill bands below the first and second floor windows, and a slated roof with overhanging bracketed eaves. The ground floor tripartite sash windows and the architraved first floor sash windows display cast-iron window guards, and to the second floor the sash windows have bracketed sills. The main entrance to the building is situated within the left hand bay at ground floor level and is accessed via stone steps from the street. It has a prostyle portico and a panelled door with overlight. The attached cast-iron railings with spearhead finials demarcate the front area or lightwell, with steps leading down from street level to the basement. These steps are a later replacement and therefore do not contribute to the architectural interest of this principal façade.
- 3.13 The wider terraced group at Nos.1-8 Chamberlain Street comprises a symmetrical terrace, with Nos. 1 and 11 slightly projecting and with pediments. The houses display uniform Georgian facades, which provides an overall cohesiveness to the street frontage. As noted within the list entry, the houses on Chamberlain Street form a very complete group and as such, the street frontage of the listed building forms the principal element of its architectural interest.

Rear Elevation

- 3.14 Historically, the overall appearance of the rear elevations of properties of this date were much simpler in terms of their design, architectural detailing and materials, in comparison to the principal street frontage, reflecting the difference in status between the public and private elevations. The rear elevations were also more liable to be subject to change and alteration over time. The rear elevation of the listed building at No.1 Chamberlain Street (Figure 3.4) consists of three storeys and basement, with the basement visible from the rear lightwell. The rear elevation is of plain yellow stock brick with sash windows, and with a rear projecting closet wing on the buildings east side, as shown on the 1871 Ordnance Survey map (Figure 3.1).



Figure 3.4: Rear Elevation of No.1 Chamberlain Street

- 3.15 The rear elevation of No.1 Chamberlain Street is an element of the building that has experienced alteration over time. This includes the raising of the roof and the addition of a balcony at third floor level, which was undertaken as part of the conversion to maisonettes in 1971. This alteration is an incongruous element, which does not contribute to the significance of the listed building.
- 3.16 Through comparison with other buildings in the terrace, it is also considered likely that the ground floor rear window has been shortened as part of proposals to introduce a kitchen within the rear room. Overall, however, the original composition and traditional character of the rear elevation remains legible, through the subsidiary scale of the later alterations and additions. The general elements of this building typology, such as the

closet wings, also remain legible, although there is a history of upward extension and alteration of the closet wings within the wider terraced group (Figure 3.5). This history of adaptation has resulted in a more varied and informal character, in contrast to the more elaborate and unified principal street frontages, indicating the significantly lesser contribution of the rear elevations to the character of the wider townscape and the group value of the listed buildings.



Figure 3.5: Rear Elevations of Nos.2 and 3 Chamberlain Street

- 3.17 The rear elevation of the lower ground floor level is visible from the rectangular open lightwell. As found today, this level features a double door opening providing direct access to the light well. This is a modern opening, which appears to have been introduced after 2004 (figure 3.8, page 13), replacing a window opening in the same location. As such, the opening, as well as the modern timber double doors make a considerably lesser contribution to the character of the rear elevation.

Interior

- 3.18 Internally, the building comprises the entrance corridor along its east side, with the staircase sited to the rear of the house, and corresponding landing/corridor spaces to the other floors. Historically, the ground and first floors would have been the principal and high status levels within the house, where the key functions of business and family life would have taken place. The lower status levels at the upper / attic floors and lower ground floor would have been ancillary to these principal levels, being used for

bedrooms, servant accommodation and a kitchen (lower ground floor). This hierarchy of spaces would have been expressed internally through the change in ceiling heights, the size of the rooms and the extent and quality of the decorative schemes. This hierarchy has, however, been somewhat eroded through the heightening of the former attic storey at the rear. The historic plan form and interior scheme have also been adapted through later successive schemes of alteration and conversion, however, the original cellular layout remains broadly legible at certain levels.

Lower Ground Floor

- 3.19 The lower ground floor level of No.1 Chamberlain Street is illustrated in a drainage plan for the property dating from 1899 (Figure 3.6), held by Camden Archives. This plan broadly shows the footprint of the building and the rear closet wing, as well as the front and rear lightwells and the vaults; however, the drawing has little detail and therefore is of limited use in understanding the historic development of the property. A much later drainage plan for the building, dating from 1960, shows the rear closet wing at lower ground level, however is again of limited use in understanding the buildings evolution.

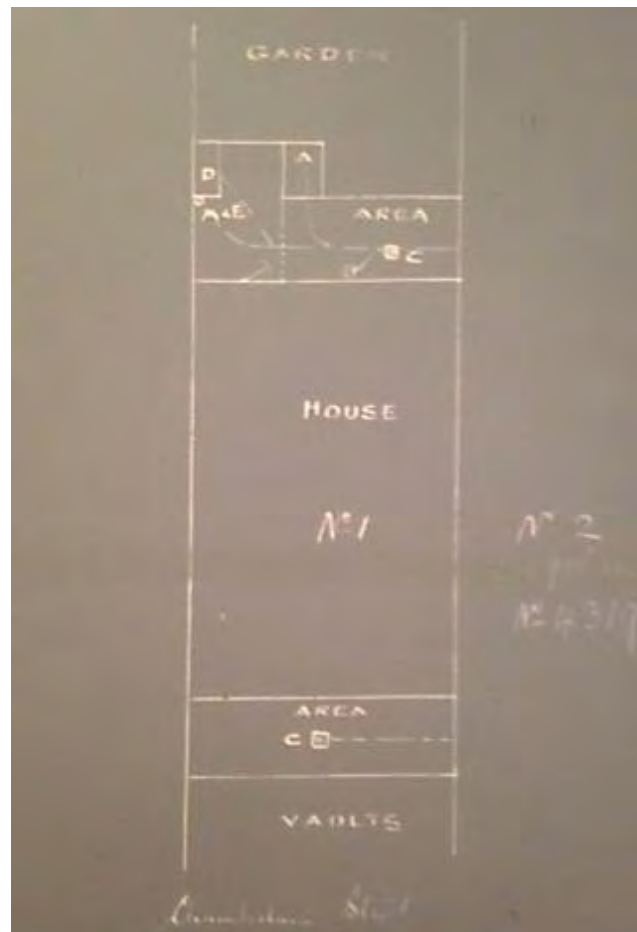


Figure 3.6: 1899 Lower Ground Floor Drainage Plan¹⁰

- 3.20 The floorplan at this level would have historically consisted of two rooms, one to the front and one to the rear of the property, to the west side of the staircase, and the vaults to the front of the building, below the pavement. In 1971, permission was granted for the

¹⁰ Camden Archives

conversion of Nos.1 and 2 Chamberlain Street into one flat and four maisonettes,¹¹ with No.1 divided into two maisonettes; one occupying ground and lower ground floors, and the other occupying first, second and third floors. In 2004, this conversion was reversed and the building was reinstated as a single family dwelling. The drawings associated with the planning application submitted in 2004¹² illustrate the layout of the lower ground floor level as it existed prior to conversion back to a single family dwelling house. This shows that changes to the historic plan form at this level predominantly consisted of the creation of an opening between the two rooms. The supporting information included with the application also outlines that the period fireplaces within the lower maisonette were probably removed during the 1970s conversion.



Figure 3.7: 2004 Existing Plan of Lower Ground Floor

- 3.21 The proposed plan submitted with the application illustrates a layout that is the same as that shown in the existing layout in 2004, albeit that the kitchen was to be relocated to the ground floor level. However, as found today, the floorplan at lower ground floor level differs from that shown on the 2004 drawings. Most notably, the opening within the dividing wall has been reinstated to create two separate rooms, which has improved the

¹¹ Ref: CTP/H9/17/F/10370

¹² Ref: 2004/1428/L

understanding of the historic layout at this level. An opening has been created in the wall between the rear room and the staircase, meaning that the staircase opens straight out into this room (Figure 3.8); however, the legibility of this wall remains.



Figure 3.8: Rear Room at Lower Ground Floor Level

- 3.22 Other changes at this level include the replacement of the door from the present bathroom leading to the rear lightwell has been replaced with a window. As previously stated, the stairs to the front lightwell have also been altered to curve around the west end of the lightwell, rather than being a straight flight. Overall, the historic plan form at this floor level remains broadly legible. There are some historic shutters that survive to the front room at this level (Figure 3.9), however, the majority of the historic fabric and features, such as the fireplaces, have been lost and the decorative scheme at this level is modern.

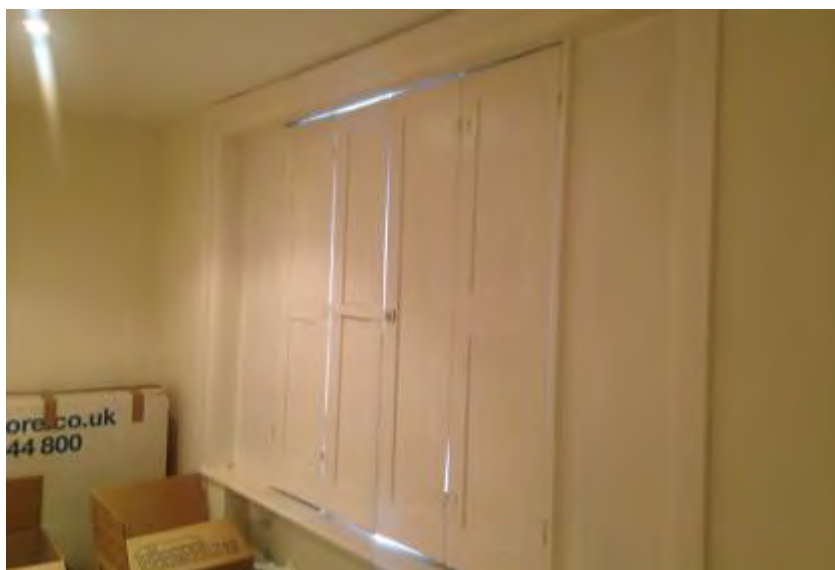


Figure 3.9: Shutters at Lower Ground Floor Level

Ground Floor

- 3.23 At ground floor level, the conversion to maisonettes in the 1970s resulted in a reconfiguration of the rear room and insertion of partition walls in order to provide separate access to the two dwellings, as shown in the existing floorplan included with the 2004 planning application (Figure 3.10). The floorplan shows that an opening was created within the principal dividing wall between the front and rear rooms, as well as within the east wall of the rear room to create a new diagonal access. A partition wall was also added alongside the staircase.

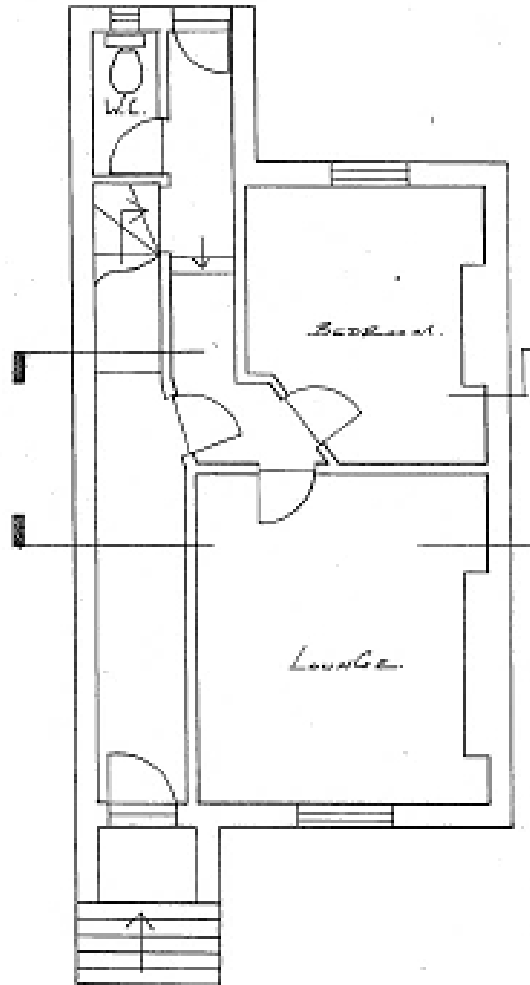


Figure 3.10: 2004 Existing Plan of Ground Floor

- 3.24 The layout of the ground floor as found today is consistent with the proposed plan submitted in 2004 (Figure 3.11). As illustrated on this floorplan, the modern partition walls and associated doorways from the entrance hall were removed, and a floorplan more closely mirroring the original was reinstated. A double doorway was added within the wall between the hallway and the new dining room and an opening was created between the dining room and kitchen (Figure 3.12). Comparison between the consented 2004 plans and as found today, would however, indicate that this opening is smaller than was consented (figures 3.11 & 3.12).

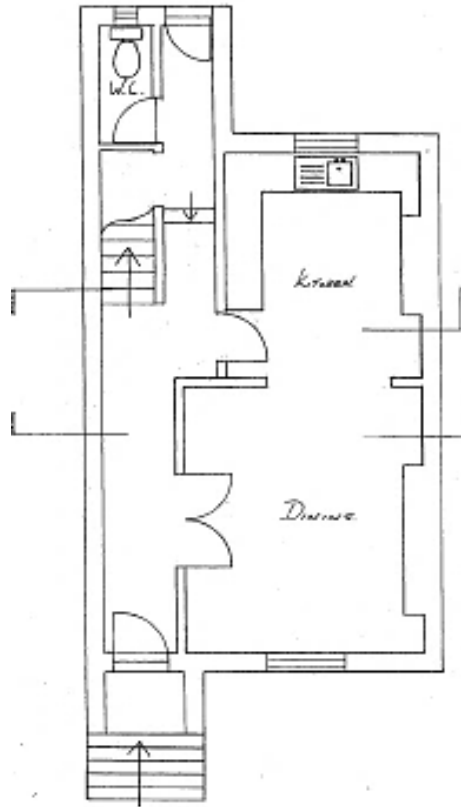


Figure 3.11: 2004 Proposed Plan of Ground Floor

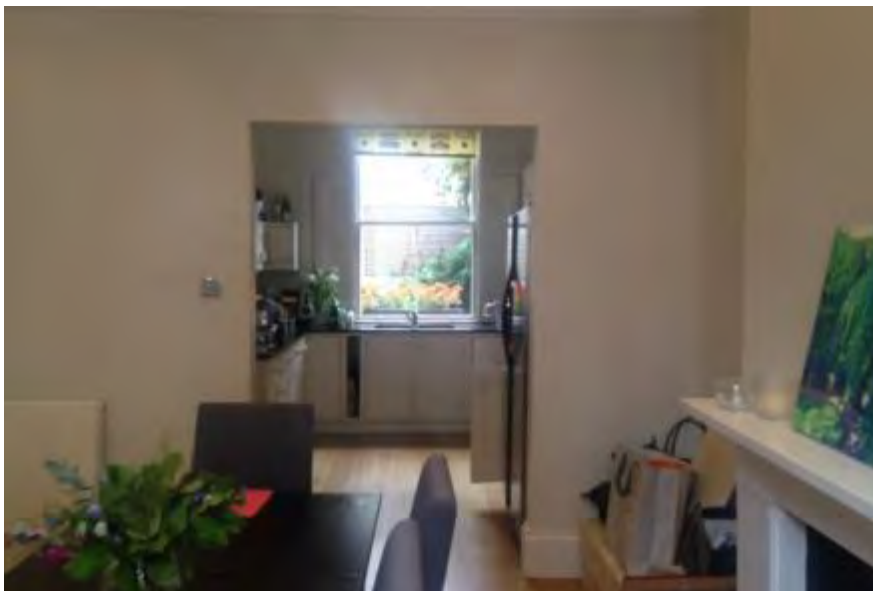


Figure 3.12: Opening between Dining Room and Kitchen

- 3.25 In 2004 a new kitchen was installed to the rear room at this level (Figure 3.12). It is believed that at this time the rear window was truncated in order to accommodate the level of the new kitchen units. This is further evidenced by the ground floor rear window within the property situated opposite to No.1 at No.14, which is much deeper in

comparison (Figure 3.13). As such, this has interrupted the legibility and balance of the fenestration pattern to the rear elevation.

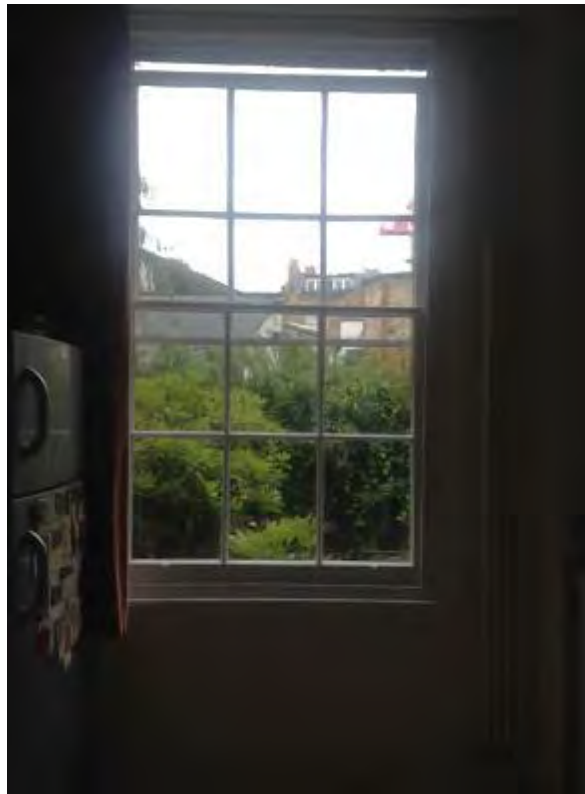


Figure 3.13: Rear Ground Floor Window at No.14 Chamberlain Street

- 3.26 The supporting information that accompanies the 2004 planning application also outlines that the banisters and rail were reinstated to the stairs at ground floor level. At present, the side of the staircase at ground floor level is finished in glass, which is not in keeping with the listed building. Little historic decorative fabric remains to this floor level, however, the fireplace to the front room appears to be of a design in keeping with the property. The shutters to both the front and rear rooms appear to be the only surviving original internal features.

First Floor

- 3.27 In general, the upper floors of the listed building have undergone a lesser degree of alteration through conversion to maisonettes in comparison to the lower floors, although more recent changes have occurred at second floor level. In 2004, the kitchen removed following the conversion of the building back to a single dwelling. Visual inspection would indicate that the rear window at this level was also shortened at the time that the kitchen was installed in the 1970s (Figure 3.14).

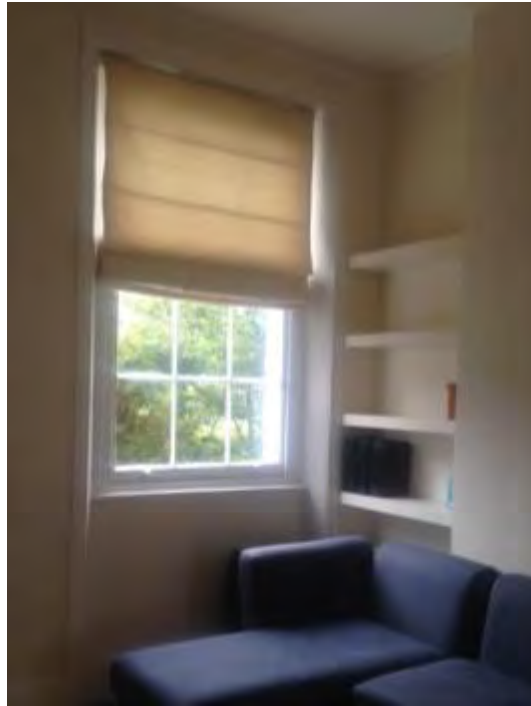


Figure 3.14: First Floor Rear Window

3.28 The front room at first floor level (Figure 3.15) remains largely unaltered in terms of layout and retains decorative cornicing. The room also retains its historic proportions and outlook to the north, which provides an appreciation of the historic use of the listed building. A rather awkwardly sized opening has been created within the main dividing wall which appears to some extent rather squat, however, the legibility of the historic plan form remains.

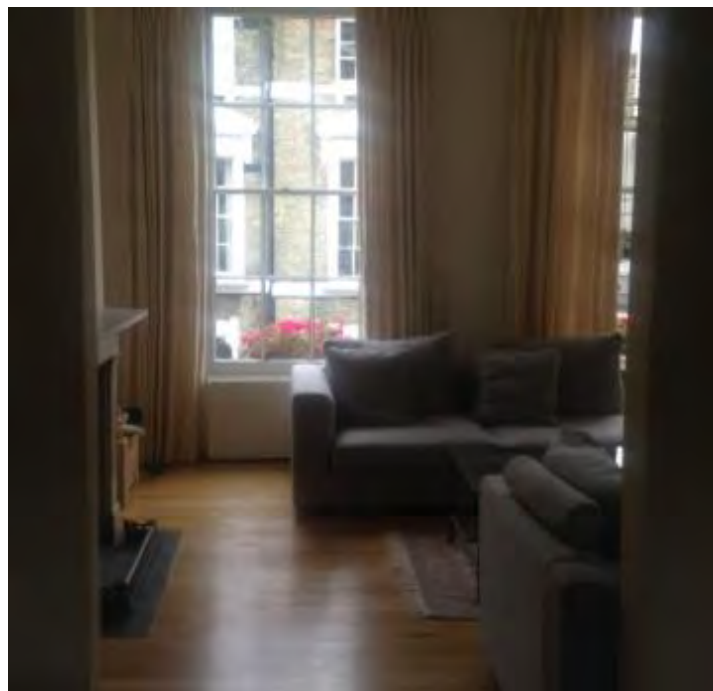


Figure 3.15: First Floor Front Room

Second Floor

- 3.29 There were no changes proposed to this floor level as a result of the reinstatement of the house as a single family dwelling in 2004. The proposed floorplan shows this floor level as it was in the 1970s, with the front and rear rooms and a small rectangular bathroom and toilet within the volume of the front room at its north east corner. However, as found today, the bathroom and the toilet have been altered to incorporate curved walls which are at odds with the cellular layout of this level (Figure 3.16). This has compromised the understanding and appreciation of the historic proportions of the front room. The decorative scheme at this level is also modern; no original features appear to survive.

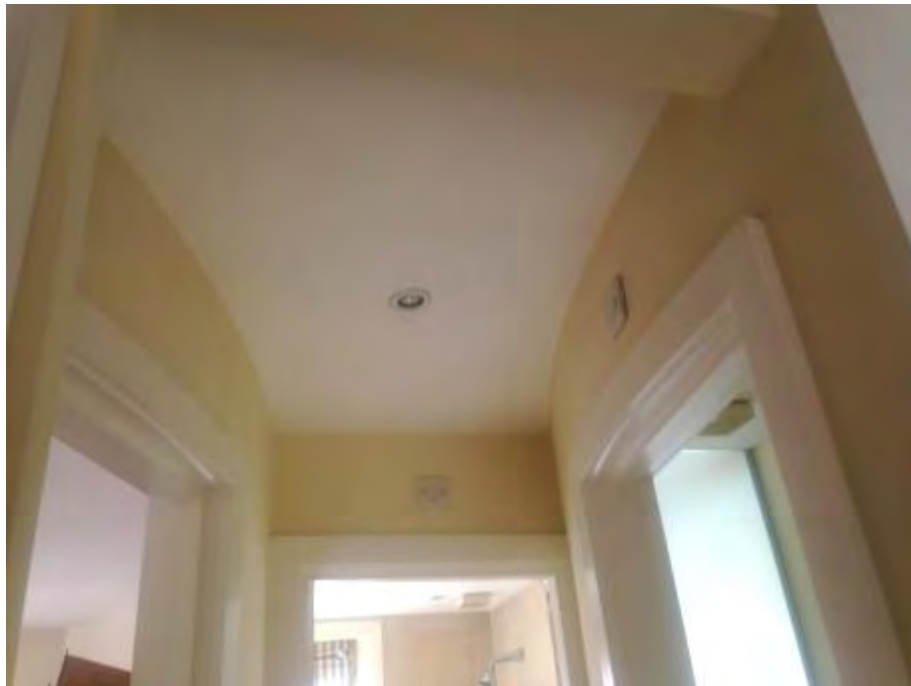


Figure 3.16: Curved Walls to Bathroom at Second Floor

Third Floor

- 3.30 At third floor level, the property would have formerly had a small attic room. In the 1970s, this room was enlarged through the alteration of the rear pitch of the roof, and a narrow balcony was added with access provided through glazed timber doors (Figure 3.17). This floor level has not been altered since the 1970s and has a modern decorative scheme. As found today, this level does not contribute to the special interest of the listed building, forming a later, more substantial level which would have resulted in the alteration a large extent of the original roof structure.



Figure 3.17: Third Floor Bedroom and Balcony

- 3.31 Overall, the historic plan form remains legible throughout the listed building and therefore allows an understanding of the historic room proportions. Some historic features survive, particularly to the ground and first floors, however, as a result of the conversion to maisonettes, a degree of historic fabric has been lost and overall the building has a largely modern decorative scheme.

Historic Interest

- 3.32 The listed building is of historic interest in illustrating the ambition of speculative builders and designers, in creating the new high-status residential area of Primrose Hill in the early- to mid-19th century. The residential buildings of the wider terraced group composition also provide evidence of the increasing prosperity and expansion of both the population and boundaries of urban London in this period. This type of development was particularly a response to the rapid growth in this period of the middle or professional classes and the need to provide aspirational new housing for them. The listed building is also representative of its historic domestic function and use, albeit somewhat compromised by later alteration and subdivision.

Group Value

- 3.33 The List Entry identifies that the listed building was included for group value and that the houses in Chamberlain Street form a very complete group. The group value of No.1 Chamberlain Street is primarily invested in its principal street frontage, which contributes to the overall cohesive nature of the group of properties of which it forms a part. This cohesive group value enhances the individual architectural and historic interest of the listed building. The building also has group value as one element within the wider 19th century townscape composition of Primrose Hill.

Primrose Hill Conservation Area

Introduction

- 3.34 An assessment is provided of the significance and special interest of the conservation area, in terms of its historical development and character and appearance. This assessment is based on the guidelines set out in Historic England's guidance document on conservation areas¹³, and also closely informed by the adopted Primrose Hill Conservation Area Statement published by the London Borough of Camden.

Historical Development

- 3.35 The conservation area is, for the most part, located on land owned by Lord Southampton, while land to the north and west was owned by Eton College and to the south by the Crown Estate. In the Medieval period, the area covered by the Primrose Hill Conservation Area was agricultural land. The land ownership of the area was irregular and largely defined by field boundaries and small streams.
- 3.36 It was not until the mid-19th century that extensive development of the area began, in response to the expansion of London as both a trade centre and fashionable place to live. The first major development was the Regent's Canal, which linked the Grand Canal Junction at Paddington and London Docks. Greenwood's Map of London shows the route of the canal, with the area north of Primrose Hill, including the application site, yet to be developed (Figure 3.18). The completion of the canal in 1820 was followed by proposals to develop Lord Southampton's land for housing. An estate was envisaged of large suburban villas with substantial gardens.

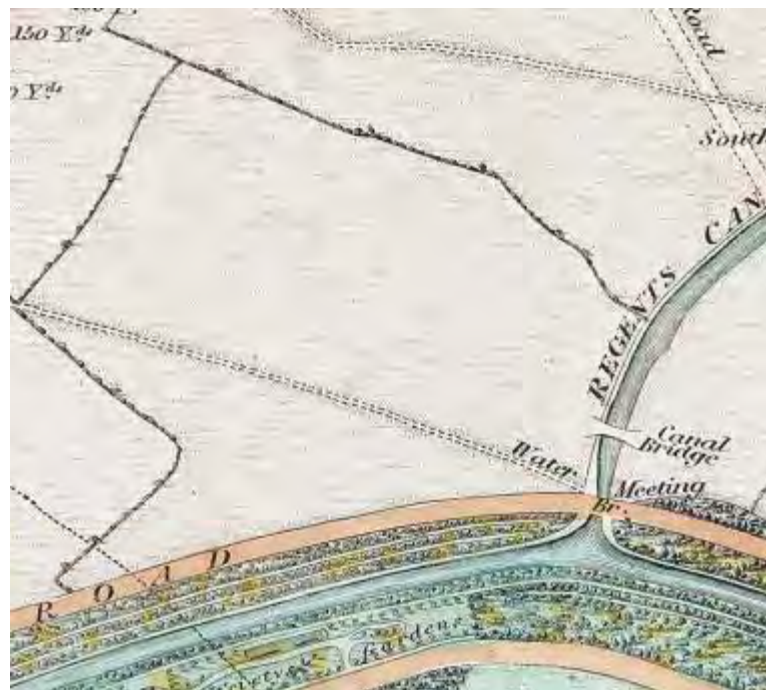


Figure 3.18: Greenwood's Map of London 1830

- 3.37 The estate was developed in the 1840s, after the building of the London and Birmingham Railway in the 1830s. In 1840, the Southampton Estate was sold in

¹³ Historic England, Historic England Advice Note 1: Conservation Area Designation, Appraisal and Management, 2016

freehold portions for development. The sale map shows a grand estate consisting of large semi-detached and detached villas located in generous gardens. The layout reflects the current street pattern of the area and incorporates the sweeping curves of the villa development, with the addition of a formal intersection and garden at the centre.

- 3.38 Development of the buildings occurred sporadically throughout the 1840s. During this time, the last remaining strip of Crown land to the north of Nash's Regent's Park layout was developed as villas, involving the purchase of small lots of land from various owners of the Southampton freeholds. Smaller developments had also been completed and included a pair of semi-detached villas at the north end of Fitzroy Road and a villa terrace at the north end of Regent's Park Road. The majority of these developments took the form of villas set in their own grounds, or grand terrace compositions with formal landscaped areas. However, this development differed considerably from that shown in the original plans for the area. The houses were less grand and the pattern of development much denser than had been envisaged.
- 3.39 By 1862, the development of properties of a villa typology had extended westwards along Regent's Park Road, opposite Primrose Hill Park. Elsewhere, the large villas had been abandoned for more formal terrace compositions, following a variety of styles (Figure 3.19). The new layout included symmetrical terraces; St George's Terrace and Chamberlain Street; a formal square, Chalcot Square; and, a sweeping crescent, Chalcot Crescent.



Figure 3.19: Stanford's Map of London 1862

- 3.40 Chalcot Square is a significant feature of the Conservation Area and is surrounded by a large number of mid-19th century listed buildings. The form of the open space and the surrounding built composition is unusual, as the design accommodates a pre-existing road layout. The open space is subsequently offset from the planned focal point north-westerly along Chalcot Road. The space is enclosed on its north, east and west sides by mid-19th century listed terrace houses, which form an almost symmetrical composition. They are similar in elevational design to the buildings on the south side of the square, but have a more intimate character, as they are separated from the public space by only a small front lightwell surrounded by railings and a narrow highway. All of the mid-19th century terrace houses surrounding Chalcot Square are particularly

distinctive due to the use of paint colours on their stucco facades. The majority of these properties are painted in muted pastel shades, which afford each property an individual character and adds vibrancy to the square (Figure 3.20).



Figure 3.20: Chalcot Square

- 3.41 The importance of the railway grew throughout the 19th century. A number of businesses were located within easy distance of the railway, with access also to Gloucester Avenue. As a consequence of the growth of the railway and associated activities, noise, vibration and smoke pollution increased. It became apparent that grand villas of the earlier type could not be placed near the railway line and instead, simple terraces were erected in Gloucester Avenue and adjoining streets (Figure 3.21).
- 3.42 By the 1870s, the land of the Southampton Estate had been largely developed (Figure 3.22). Whilst the wide roads of the villa layout were retained, the density of development, particularly in the later phases, was significantly higher than originally intended, particularly in locations close to the railway line. Further streets and mews buildings were introduced to the planned layout, such as Kingstown Street (then Fitzroy Place), Edis Street (then Eton Street) and Egbert Street. These later developments were of regular residential terraces. At the rears of these properties, the long villa gardens were exchanged for small gardens backing onto industrial units or stables.
- 3.43 Manufacturing and the arts played a large part in the development of the conservation area. Alongside Camden Town and Kentish Town, the Primrose Hill area became a centre for piano manufacturing. The area became well known for its association with the arts, and in 1877 a group of 12 artists' studios, the "Primrose Hill Studios", was erected by Alfred Healey.



Figure 3.21: Simple terraces on Gloucester Avenue



Figure 3.22: 1873 OS Map

- 3.44 The final built form of the conservation area varied considerably from what was originally intended by the Southampton Estate. The neighbouring railway line had a significant impact upon the physical layout and environmental quality of the area. This was apparent as many of the buildings which were located close to the railway fell into disrepair, during the latter part of the 19th and 20th centuries. This was a trend that was only reversed on electrification of the railway line in the 1970s. Other factors included the increased pressure for development due to the rapid growth of London, changing architectural tastes and the differences in land ownership across the Southampton freehold.
- 3.45 In the 20th century, the estate experienced a number of changes. Second World War bomb damage required substantial repairs to a number of buildings, whilst others were completely destroyed (Figure 3.23). Redevelopment of bomb sites occurred throughout the latter half of the 20th century. Other sporadic developments occurred throughout the 20th century.



Figure 3.23: London County Council Bomb Damage Map

Character and Appearance

- 3.46 The area is primarily occupied by residential uses, which take the form of low density villas and terraces interspersed with abundant vegetation and a large number of mature street trees and private trees to garden areas. The roads of the conservation area are dominated by large villas and terraced rows, set back from the highway and surrounded by garden spaces (Figure 3.24). Rear gardens are also visible through gaps between buildings and in views from secondary roads and mews (Figure 3.25). These villas are between three and four storeys high, with basements. They are designed to appear as grand residential properties and have raised ground floors, numerous decorative

features and are set back from the main road with front gardens bounded by medium height brick walls with gate piers.

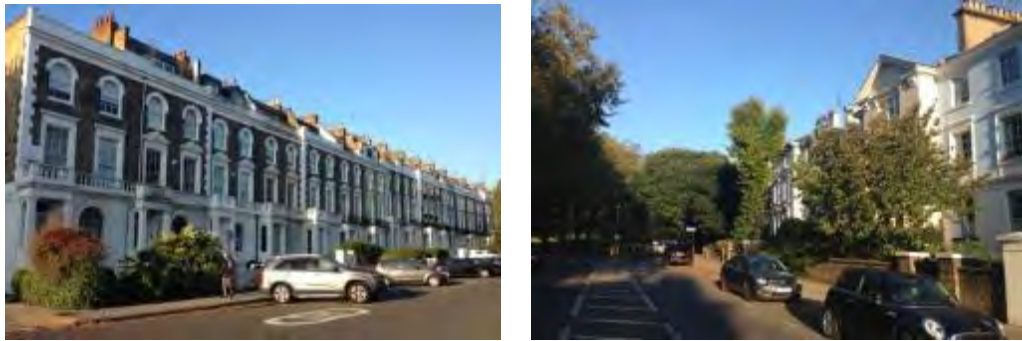


Figure 3.24: Grand villas and terraced row characterise the conservation area



Figure 3.25: Private gardens and mature street trees soften the appearance of the area

- 3.47 Primrose Hill and Regent's Park are not within the conservation area, but immediately adjoin it and contribute positively to its significance. These spaces reinforce the green character of the conservation area. Large sections of Albert Terrace, Prince Albert Road and Regent's Park Road run direct alongside the parks, affording views across the parkland and of mature trees that line the edges of these open spaces, and form part of the 'stage set' backdrop to Regent's Park (Figure 3.26).



Figure 3.26: View of Primrose Hill from Regent's Park Road

- 3.48 Located opposite the parks are the grandest properties within the conservation area, in terms of height, decoration and relationship to plot. Notable examples are the cream coloured villas on Prince Albert Road. These properties have highly decorative stucco work to the front elevations and are set back from the highway with high boundary walls and substantial front and side gardens, containing mature trees.
- 3.49 The Regent's Canal is a significant feature of the conservation area and has been incorporated successfully into the layout and planning of the estate. For example, a number of buildings are designed to appear attractive when viewed from the canal with applied decoration to rear elevations. Many side and back gardens face onto the canal and have numerous mature trees, forming a long green corridor through the conservation area (Figure 3.27). Three of the principal roads bridge the canal and these bridges are landmark features of the area.



Figure 3.27: The Regent's Canal from Regent's Park Road

Contribution of the Site to the Significance of the Conservation Area

- 3.50 No.1 Chamberlain Street is located towards the north-west boundary of Primrose Hill Conservation Area. The listed building, and the short terrace to the south side of Chamberlain Street of which it forms a part, are an integral element of the cohesive, Classically-influenced townscape which characterises the conservation area. Together with the wider townscape of similarly designed properties, the heritage asset helps to illustrate the growth of this part of the conservation area and forms part of the residential building stock that defines the area's character or appearance. In this regard, the Site is considered to contribute positively to the significance of the conservation area, by virtue of its architectural character and massing, and also its residential building typology and use. This is principally manifested in the principal elevation fronting Chamberlain Street which forms part of a high quality composition with nos. 2 to 8 and the neighbouring terraces on the north side (nos. 9 to 14), of matching appearance and detailing.
- 3.51 The rear elevation of the listed building is largely not visible in public views from the conservation area and notably simpler in appearance and character, reflecting its subservience, relative to the highly decorated principal frontage. It is also a part of the building which has experienced change through the alteration of windows and introduction of modern pipework. Within the wider terraced group, the rear elevations are plain and unadorned and exhibit a variety of alterations and additions which have diluted their consistent character and appearance. As such, they make a considerably lesser contribution to the special interest of the conservation area as a whole.

4. Review of Application Proposals

Introduction

- 4.1 The designated heritage assets of the listed building at no. 1 Chamberlain Street and the Primrose Hill Conservation Area, that would be affected by the proposed development has been identified and their significance described as part of this report, in sections 2 and 3.
- 4.2 The relevant heritage legislative, policy and guidance is also set out in full in Appendix 3 of this report. This includes the statutory duties of the Planning (Listed Building and Conservation Areas) Act 1990, national policy set out in the NPPF 2012 and supported by the NPPG 2014, and local policy and guidance for the historic environment. Together these sections and appendices provide the appropriate context for the consideration of the final application proposals by the local planning authority.

The Application Proposals and Planning Context

- 4.3 The application proposals comprise alterations to the interior of the house to maintain its use as a single dwelling, including the construction of a basement extension, situated beneath the rear garden. To the rear, the existing closet wing will be extended upwards by a single storey to first floor level and the window opening presently servicing the kitchen at ground floor will be enlarged and a triple sash window inserted. Works also include the introduction of a glazed ceiling to the rear light well and further modest skylights within the garden to provide light to the basement.
- 4.4 The application follows previous applications for internal and external alteration at no. 1 Chamberlain Street which were withdrawn following officer comments (refs: 2016/2785/P & 2016/3086/L). A number of changes have been made to the proposals which seek to address officer concerns raised as part this application including the retention of the single bay width of the existing closet wing and a greater level of detail in relation to certain aspects of the proposals.

Heritage Impact Assessment

Impact on the Listed Building (No. 1 Chamberlain Street)

- 4.5 As established in section 3, the special interest of the listed building as a mid-19th century end of terrace townhouse is principally manifested in the high quality architectural character of its main elevation and the contribution it makes to the unified composition of the terraced group within Chamberlain Street. The rear elevation has experienced alteration over time, particularly during the 20th century and is notably plainer in appearance and character, reflecting its lower status. Within the wider terraced group, there is a history of upward extension of the single bay closet wings, particularly at first floor level and individual windows have been subject to change, diluting the historic unified character of the group.
- 4.6 Internally, the historic plan form remains legible throughout the listed building and therefore allows an understanding of the historic room proportions. Some historic

features survive, particularly to the ground and first floors, however, as a result of the conversion to maisonettes, the majority of historic fabric has been lost and overall the building has a largely modern decorative scheme.

External Alteration and Extension

- 4.7 Proposals are largely confined to the rear and interior of the building which have been subject to the greatest degree of change during the 20th century. Some minor external alteration to the principal frontage is proposed, however this is confined to the front lightwell area. As part of the works, the present modern staircase to this light well will be replaced and a more appropriate stone stair introduced with simple metal balustrade to match those within the wider terraced group. This will result in a visual improvement to the main façade, removing modern fabric and reinstating part of its former uniformity. Other changes are minor in nature, including the replacement of the modern window and fan by the entrance to the lower ground floor, which will not have a detrimental impact on the special interest of the listed building.
- 4.8 To the rear, the existing closet wing will be extended upwards to first floor level. The extension will match the existing closet wing in terms of width, depth and materiality to ensure that it is in keeping with the character of this part of the building. High quality matching materials are proposed, including yellow stock brick and Portland stone coping. The existing later window at this location will be removed and reinstated within the rear elevation of the extension to ensure consistency in terms of the existing fenestration pattern and appearance. Importantly, no concerns were raised by Local Authority officers regarding this aspect of the proposals as part of the previous withdrawn application, stating *“extension of the existing closet wing at first floor with reinstatement of historic window and retention of the existing opening width would be considered acceptable – subject to detail and materials”*¹⁴.
- 4.9 At ground floor level, glazing is proposed over the existing rear light well, which will be discreetly installed to ensure the works do not involve loss of historic fabric. Officers considered this addition to be acceptable, as part of comments presented in the withdrawn application. Above, at ground floor level, the existing rear window opening will be enlarged to allow for the introduction of a triple sash window. As highlighted in Section 3, this opening appears to have been partially truncated in terms of length to allow for the introduction of kitchen units. Furthermore, the window itself appears to be a later frame and thus of lesser significance relative to those surviving original windows. Proposals will involve the minimal loss of historic fabric with just a few courses of brickwork below the opening removed and the surrounding fabric made good. Whilst more grand in height, the proposed enlarged opening would be consistent with the higher status of this level. Overall, the traditional hierarchy as manifested in the existing fenestration pattern of progressively smaller openings will remain fully legible. Within the wider terraced group, a number of buildings exhibit full height windows in this location, many introduced in the mid to late 20th century and thus the proposed opening will not be visually at odds with the wider terraced group or detract from their special interest and group value.
- 4.10 External manifestations associated with the proposed basement have been kept to minimum. Two modest skylights are proposed to be introduced at the end of the garden

¹⁴ Email correspondence from Matthias Gentet dated 14 July 2016

and the area directly surrounding these additions will be re-landscaped to soften their visual effect.

Internal Alteration and Proposed Basement

- 4.11 The proposed internal alterations will maintain the legibility of the original plan form, particularly at ground and first floor level. At lower ground floor level, part of the former cellular plan form will be reinstated with the introduction of a bathroom and utility situated within the rear room.
- 4.12 A number of other beneficial improvement to the interior of the listed building which will also be introduced and serve to enhance its special architectural interest. These include:
- Removal and blocking of the double door opening to the front principal room at ground floor level. The original single door opening will then be reinstated with appropriate door and surround, in keeping with the character of the building;
 - Restoration of the hearth and fireplace within the front principal rooms at ground and first floor levels;
 - Removal of the frosted glass panel by the secondary staircase leading to lower ground floor level and replacement with solid timber panelling;
 - Removal of modern partitions at second floor level and partial reinstatement of the cellular plan form.
- 4.13 The existing openings between the front and rear rooms at ground and first floor level will also be partially enlarged. Whilst these openings are later alterations introduced in the 20th century, they are appropriate to the historically higher status of these two levels. At present, these openings form an awkward height and width which is at odds with the grand, lofty proportions of the rooms. Proposals will enlarge the openings to such an extent that they are more in proportion with the spaces – forming the equivalent of a double door width - yet retaining the legibility of the plan form of these two principal floors.
- 4.14 As highlighted in section 3, the third floor level does not contribute to the special interest of the listed building, forming a later, more substantial level which would have resulted in the alteration a large extent of the original roof structure. As such, proposals at this level are not considered to cause harm to the significance of the listed building. The proposed replacement three pane windows looking to the rear will be a visual improvement to the present frames which are showing signs of deterioration.
- 4.15 The new basement will provide additional living accommodation to allow the listed building to be maintained as a single residential dwelling. It will be located beneath the rear garden of the listed building with access via the closet wing at lower ground floor. Proposals will maintain the integrity of the listed building and the historic hierarchy of the floors will remain unaltered.

Impact on Primrose Hill Conservation Area

- 4.16 The proposals will be principally confined to the interior and rear elevation of the listed building. The principal frontage which makes the greatest contribution to the significance

of the Primrose Hill Conservation Area will be enhanced through the reinstatement of the stone staircase within the front lightwell, with a metal balustrade.

- 4.17 The rear elevation of the listed building is not visible in public views from within the conservation area and there are only very limited views of this part of the building from private rear gardens. External works will largely maintain the simple historic character and appearance of this part of the building. The additional closet wing storey will be seen as part of a wider context of two storey closet wings within the wider terraced group and will read as a subservient addition of the same materiality and form as the existing closet wing. The proposed enlarged opening at ground floor level has also been designed to be in keeping with the character and traditional hierarchy as expressed by progressively smaller openings.
- 4.18 External manifestations associated with the proposed basement has been kept to a minimum with only two modest roof lights located in discreet locations in the rear garden which is not visible from within public views within the conservation area. The resulting development will involve minor change to this space and views of the skylights from neighbouring properties will be minimal.

Overview of Heritage Legislation and Policy

Legislation

- 4.19 The Planning (Listed Building and Conservation Areas) Act 1990 establishes the statutory requirement to have special regard to the desirability of preserving a listed building or its setting or any features which contribute of its special architectural or historic interest. The Act also requires special attention to be paid to the desirability of preserving or enhancing the character or appearance of a conservation area.
- 4.20 Case law has established that preservation in this context is taken to mean the avoidance of harm. However, this general presumption against development that causes harm is not irrebuttable – as in cases where harm to designated heritage assets could be outweighed by materials considerations powerful enough to do so.
- 4.21 The proposed works will, overall, preserve the special architectural and historic interest of the listed building. The proposals will also preserve the character and appearance of the Primrose Hill Conservation Area in accordance with the statutory duties of the Act .

National Policy

NPPF and NPPG

- 4.22 In accordance with the requirements of paragraph 128 of the NPPF the significance of the designated heritage assets of the listed building and the surrounding conservation area, which will be affected by the proposals, have been described in this report for consideration by the local planning authority.
- 4.23 Proposals comprise a comprehensive scheme of sympathetic refurbishment of the listed building to maintain its use as a single family dwelling, in the interests of its long term conservation. As such, the proposals will meet the key policy objectives of the NPPF, as set out in paragraph 131. In particular, the works will sustain the significance of the listed building and any features which contribute to its special interest.

4.24 Paragraph 132 requires that great weight should be given to the conservation of designated heritage assets, such as listed buildings. Importantly, Annex 2 of the NPPF defines “conservation” as the process of maintaining and managing change to a heritage asset in a way that sustains and, where appropriate, enhances its significance. It is not a process that should prevent change, where proposals such as this scheme have been sympathetically designed in order to avoid harm and would also be able to deliver heritage benefits.

4.25 A number of changes have been made to the proposals in outcome of concerns raised by Local Authority officers. As a result of these changes, it is considered that the proposals will not cause harm to the significance of the listed building. Should harm be perceived by officers, it is considered that this would be confined to the listed building in terms of loss of fabric - rather than the conservation area. It is also considered that this would be less than substantial, given the heavily altered condition of the building’s interior and the lesser contribution it makes to its overall significance. Any perceived ‘less than substantial’ harm should be weighed against any public benefits that would arise from the works in accordance with paragraph 134 of the NPPF. As previously stated, a number of beneficial improvements are proposed which would serve to better reveal the significance of the listed building. This is listed as follows:

- Reinstatement of part of the former cellular plan form of the lower ground floor;
- Reinstatement of the stone staircase and metal balustrade in the front lightwell, following removal of the modern replacement version;
- Removal and blocking up of the double door opening to the front principal room at ground floor level. The original single door opening will then be reinstated with appropriate door and surround, in keeping with the character of the building;
- Restoration of the hearth and fireplace within the front principal rooms at ground and first floor levels;
- Removal of the frosted glass panel by the secondary staircase leading to lower ground floor level and replacement with solid timber panelling;
- Removal of modern partitions at second floor level and partial reinstatement of the plan form.

4.26 It is considered that any perceived harm to the listed building through loss of fabric would be outweighed by the large number of beneficial improvements to the listed building as set out above.

Local Policy and Guidance

London Plan

4.27 This report appropriately identifies the designated heritage assets that will be affected by the proposals and describes how they will be valued, conserved, re-used and/or incorporated where appropriate. This is in accordance with Policy 7.8 of the FALP 2015.

Camden Core Strategy 2010

- 4.1 It is demonstrated in this report that the proposals are in accordance with the aims of Policy CS14 with regard to promoting high quality design that respects local context and character, including heritage assets across the Borough.

Development Policies 2010

- 4.2 As part of the design development of this scheme due regard has been given to relevant policy criteria set out in Policy DP24. The proposed approach is described in further detail in this section above, and also in the Design and Access Statement prepared Richard Mitzman Architects. In accordance with Policy DP25, the proposals seek to preserve or enhance the character and appearance of the surrounding conservation area, and also avoid harm to the special interest of the listed building.
- 4.3 Consideration has also been given to supplementary planning guidance, with regard to design and heritage, set out in Camden Planning Guidance 1 and the Primrose Hill Conservation Area Statement.

5. Summary and Conclusions

- 5.1 In summary, the designated heritage assets of the listed building at no. 1 Chamberlain Street and the surrounding Primrose Hill Conservation Area have been identified and their significance described in a proportionate manner as part of this report in sections 2 and 3.
- 5.2 Accordingly the design approach for new change at this property has been informed by a clear understanding and appreciation of the heritage significance of these assets and their relative sensitivity to change. They have also been closely informed by officer comments following a previous application which was subsequently withdrawn.
- 5.3 Section 4 sets out a description of the final application proposals and their impact on the significance of the designated heritage assets through change to fabric and features and the provision of extensions below and above ground. This is assessed fully in light of the relevant statutory duties, national, regional and local planning policy and guidance for the historic environment - which is set out in full at Appendix 3.
- 5.4 At the heart of the proposals is the objective to conserve the special interest of the listed building and maintain its continued use as a single family dwelling. A number of beneficial improvements are proposed as part of the works which will serve to enhance the special interest of the listed building, including:
- The reinstatement of part of the former cellular plan form of the lower ground floor;
 - The reinstatement stone staircase and metal balustrade in the front lightwell, following removal of modern replacement version;
 - Removal and blocking of the double door opening to the front principal room at ground floor level. The original single door opening will then be reinstated with appropriate door and surround, in keeping with the character of the building;
 - Restoration of the hearth and fireplace within the front principal rooms at lower ground and first floor levels;
 - Removal of the frosted glass panel by the secondary staircase leading to ground floor level and replacement with solid timber panelling;
 - Removal of modern partitions at second floor level and partial reinstatement of the plan form.
- 5.5 It is the conclusion of this assessment that overall, the application proposals would preserve the special interest of the listed building and the wider listed terraced group, and would also preserve the character and appearance of the surrounding conservation area. On balance these designated heritage assets would be conserved, and their significance sustained or enhanced.

- 5.6 This is in accordance with the statutory duties of the Planning (Listed Buildings and Conservation Areas) Act 1990, national policy set out in the NPPF 2012 (paragraphs 128, 131, 132, 134, 137) and supported by NPPG, and other relevant local policy and guidance (including FALP 2015: policy 7.8, Camden Core Strategy 2010: policy CS14, and Development Policies DPD 2010: policy DP25).

Appendix 1: List Entry

NUMBERS 1-8 AND ATTACHED RAILINGS

List Entry Summary

This building is listed under the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended for its special architectural or historic interest.

Name: NUMBERS 1-8 AND ATTACHED RAILINGS

List entry Number: 1258106

Location

NUMBERS 1-8 AND ATTACHED RAILINGS, 1-8, CHAMBERLAIN STREET

The building may lie within the boundary of more than one authority.

County: Greater London Authority

District: Camden

District Type: London Borough

Parish:

National Park: Not applicable to this List entry.

Grade: II

Date first listed: 11-Jan-1999

Date of most recent amendment: Not applicable to this List entry.

Legacy System Information

The contents of this record have been generated from a legacy data system.

Legacy System: LBS

UID: 476876

Asset Groupings

This list entry does not comprise part of an Asset Grouping. Asset Groupings are not part of the official record but are added later for information.

List entry Description

Summary of Building

Legacy Record - This information may be included in the List Entry Details.

Reasons for Designation

Legacy Record - This information may be included in the List Entry Details.

History

Legacy Record - This information may be included in the List Entry Details.

Details

CAMDEN

TQ2784SE CHAMBERLAIN STREET 798-1/63/195 (South side) Nos.1-8 (Consecutive) and attached railings

GV II

Symmetrical terrace of 8 houses. Mid C19. Yellow stock brick with blue brick bands and stucco dressings. Slated roofs with overhanging bracketed eaves. Nos 1 & 11 have pediments and slightly project. 3 storeys and basements. 2 windows each. Prostyle porticos; panelled doors with overlights. Ground floor tripartite sashes have channelled stucco voussoirs, keystones and triglyph with guttae drops; cast-iron window guards to bracketed cornice sills. Architraved 1st floor sashes with bracketed cornices and pediments, cast-iron window guards and continuous sill band. 2nd floor sashes have bracketed sills, continuous sill band and are flanked at the top by the large enriched eaves brackets. INTERIORS: not inspected. SUBSIDIARY FEATURES: attached cast-iron railings with spearhead finials to areas. The houses in Chamberlain Street form a very complete group.

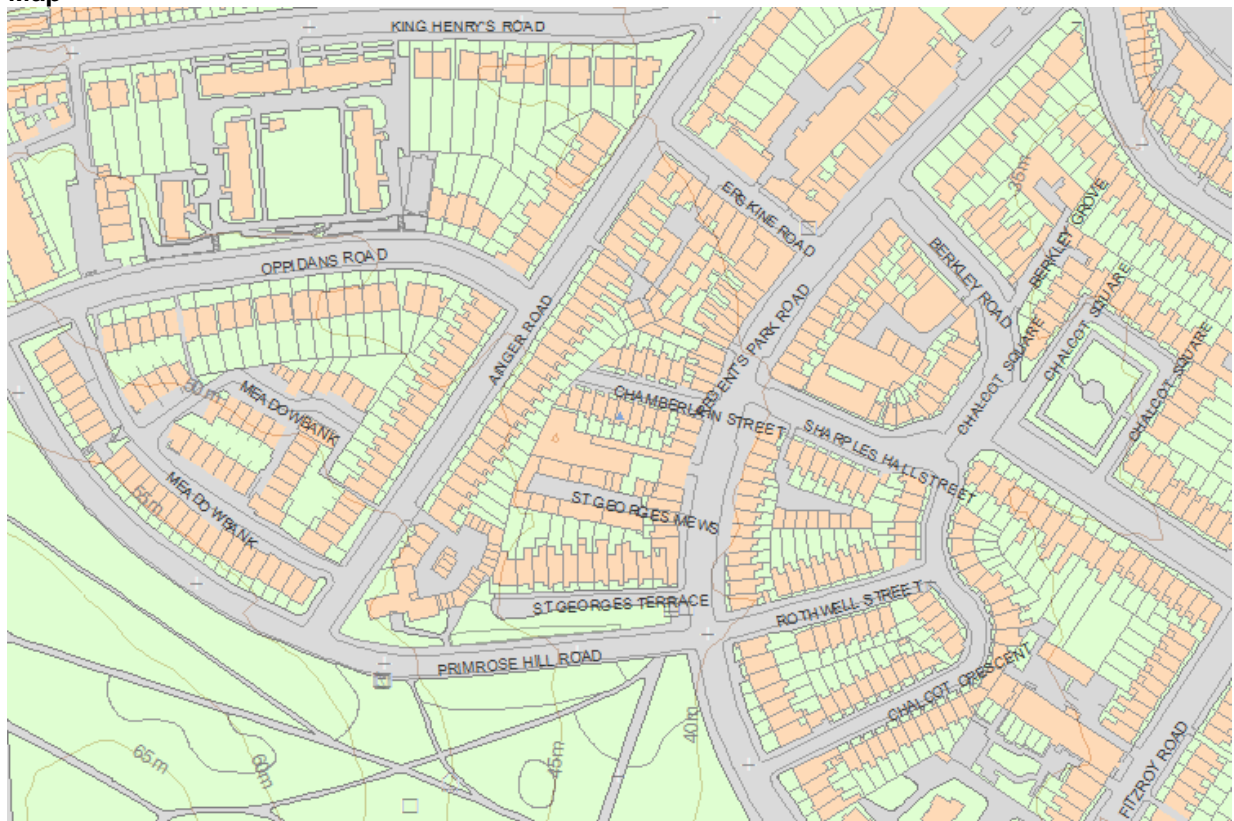
Listing NGR: TQ2783884072

Selected Sources

Legacy Record - This information may be included in the List Entry Details

National Grid Reference: TQ 27838 84072

Map



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Appendix 2: Map of Conservation Area



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up for map

Appendix 3: Heritage Legislation, Policy and Guidance

Statutory Duties

The Planning (Listed Buildings and Conservation Areas) Act 1990

Section 16(2) of the Planning (Listed Buildings and Conservation Areas) Act 1990 sets out the general duty with regard to the determination of listed building consent applications:

“In considering whether to grant listed building consent for any works the local planning authority or the Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.”

Section 66 imposes a “General duty as respects listed buildings in the exercise of planning functions.” Subsection (1) provides:

“In considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority or, as the case may be, the Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.”

With regard to applications for planning permission within conservation areas, the Planning (Listed Buildings & Conservation Areas) Act 1990 outlines in Section 72 that:

“s.72(1) In the exercise, with respect to any buildings or other land in a conservation area, of any powers under any of the provisions mentioned in subsection (2), special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area.”

Recent case law¹⁵ has confirmed that Parliament’s intention in enacting section 66(1) of the 1990 Act was that decision-makers should give “considerable importance and weight” to the desirability of preserving the setting of listed buildings, where “preserve” means to “do no harm” This duty must be borne in mind when considering any harm that may accrue and the balancing of such harm against public benefits as required by national planning policy. Case law has confirmed that this weight can also be applied to the statutory tests in respect of conservation areas¹⁶. The Secretary of State has confirmed¹⁷ that ‘considerable importance and weight’ is not synonymous with ‘overriding importance and weight’.

Importantly, the meaning of preservation in this context, and for both listed buildings and conservation areas, as informed by case law, is taken to be the avoidance of harm.

National Policy

National Planning Policy Framework, 2012

The NPPF was issued on 27th March 2012 and replaces PPS5: Planning for the Historic Environment. The NPPF provides a full statement of Government’s planning policies with regard to achieving sustainable development with the protection of the historic environment as an integral element of environmental quality, which should be cherished and allowed to thrive and grow.

¹⁵ Barnwell Manor Wind Energy Limited and (1) East Northamptonshire District Council (2) English Heritage (3) National Trust (4) The Secretary of State for Communities and Local Governments, Case No: C1/2013/0843, 18th February 2014

¹⁶ The Forge Field Society v Sevenoaks District Council [2014] EWHC 1895 (Admin); North Norfolk District Council v Secretary of State for Communities and Local Government [2014] EWHC 279 (Admin)

¹⁷ APP/H1705/A/13/2205929

Paragraph 128 outlines the information required to support planning applications affecting heritage assets, stating that applicants should provide a description of the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the asset's importance and no more than is sufficient to understand the potential impact of the proposal on their significance.

Paragraph 129 sets out the principles guiding the determination of applications affecting designated and non-designated heritage assets, and states that:

“Local planning authorities should identify and assess the particular significance of any heritage asset that may be affected by a proposal. They should take this assessment into account when considering the impact of a proposal on a heritage asset, to avoid or minimise conflict between the heritage asset's conservation and any aspect of the proposal.”

Paragraph 131 elaborates that local planning authorities should take account of the desirability of sustaining and enhancing the significance of heritage assets, putting them into viable uses consistent with their conservation, as well as the desirability of new development making a positive contribution to local character and distinctiveness.

Paragraph 132 regards the determination of applications affecting designated heritage assets. It outlines that great weight should be given to the asset's conservation when considering the impact of a proposed development on the asset's significance. The more important the heritage asset, the greater the weight should be.

Paragraph 132 goes on to specify that any harm or loss should require clear and convincing justification. It states that;

“Substantial harm to or total loss of significance of a grade II listed building, park or garden should be exceptional. Substantial harm to or loss of designated heritage assets of the highest significance, notably scheduled monuments, protected wreck sites, battlefields, grade I and II listed buildings, grade I and II* registered parks and gardens, and World Heritage Sites, should be wholly exceptional.”*

Paragraph 133 outlines that Local Planning Authorities should refuse consent where a proposed development will lead to substantial harm or total loss of significance of a designated heritage asset, unless it can be demonstrated that this is necessary to deliver substantial public benefits that outweigh such harm or loss or all of the following apply:

The nature of the heritage asset prevents all reasonable uses of the site; and

- No viable use of the heritage asset can be found in the medium term through appropriate marketing that will enable its conservation; and
- Conservation by grant funding or some form of charitable or public ownership is demonstrably not possible; and
- The harm or loss is outweighed by bringing the site back into use

Paragraph 134 concerns proposed development which will lead to less than substantial harm to the significance of a heritage asset. It outlines this harm should be weighed against the public

benefits of the proposal, including securing its optimum viable use. Policy outlined in paragraphs 132–134 of the Framework should be interpreted in light of the statutory duties relating to statutorily listed buildings and conservation areas as set out in the Planning (Listed Buildings & Conservation Areas) Act 1990.

Paragraph 137 states that local planning authorities should look for opportunities for new development within conservation areas and within the setting of heritage assets to enhance or better reveal their significance. Proposals that preserve those elements of the setting that make a positive contribution to or better reveal the significance of a heritage asset should be treated favourably.

The Development Plan

The Development Plan for the London Borough of Camden comprises the Further Alterations to the London Plan 2015, the London Borough of Camden Core Strategy DPD 2010, the Development Policies DPD 2010, and Camden Planning Guidance SPD 2011.

The London Plan – Incorporating Further Alterations to the London Plan, 2015

The London Plan was adopted by the Greater London Authority in July 2011 and sets out the Spatial Development Strategy for all Boroughs within Greater London. It replaces the London Plan (consolidated with alterations since 2004), which was published in February 2008. The Plan has been subsequently revised to ensure consistency with the Framework and other changes since 2011. The plan has been amended through the publication of Revised Early Minor Alterations (October 2013) and Further Alterations to the London Plan (FALP) were published for consultation in January 2014. An Examination in Public (EiP) in respect of the FALP was opened on 1st September 2014. On 15th December 2014, the Mayor published the report of the planning inspector who undertook the EiP of the Draft FALP.

On 10th March 2015, the Mayor published (i.e. adopted) the Further Alterations to the London Plan (FALP). From this date, the FALP are operative as formal alterations to the London Plan (the Mayor's spatial development strategy) and form part of the development plan for Greater London.

The London Plan has been updated to incorporate the Further Alterations. It also incorporates the Revised Early Minor Alterations to the London Plan (REMA), which were published in October 2013.

Policy 7.8 - Heritage Assets and Archaeology, states that:

“Strategic

A London's heritage assets and historic environment, including listed buildings, registered historic parks and gardens and other natural and historic landscapes, conservation areas, World Heritage Sites, registered battlefields, scheduled monuments, archaeological remains and memorials should be identified, so that the desirability of sustaining and enhancing their significance and of utilising their positive role in place shaping can be taken into account.

B Development should incorporate measures that identify, record, interpret, protect and, where appropriate, present the site's archaeology.

Planning decisions

C Development should identify, value, conserve, restore, re-use and incorporate heritage assets, where appropriate.

D Development affecting heritage assets and their settings should conserve their significance, by being sympathetic to their form, scale, materials and architectural detail.

E New development should make provision for the protection of archaeological resources, landscapes and significant memorials. The physical assets should, where possible, be made available to the public on-site. Where the archaeological asset or memorial cannot be preserved or managed on-site, provision must be made for the investigation, understanding, recording, dissemination and archiving of that asset ..."

London Borough of Camden Core Strategy DPD, 2010

The Camden Council Core Strategy was adopted on 8th November 2010. Core Strategy policy CS14 (Promoting High Quality Places and Conserving our Heritage') regards the conservation of Camden's heritage. It outlines the objective of preserving and enhancing Camden's rich and diverse heritage assets and their settings.

London Borough of Camden Development Policies DPD, 2010

The Camden Council Development Policies DPD was adopted on 8th November 2010. Policy DP25 from Camden's Development Policies DPD regards conserving Camden's heritage and states that to preserve or enhance the borough's conservation areas and listed buildings, Camden Council will:

"A) Take account of conservation area statements, appraisals and management plans when assessing applications within conservation areas;

B) Only permit development within conservation areas that preserve and enhances the character and appearance of the conservation area;

C) Prevent the total or substantial demolition of an unlisted building that makes a positive contribution to the character or appearance of a conservation where this harms the character or appearance of the conservation area, unless exceptional circumstances are shown that outweigh the case for retention;

D) Not permit development outside of a conservation area that causes harm to the character and appearance of that conservation area; and

E) Preserve trees and garden spaces which contribute to the character of a conservation area and which provide a setting for Camden's architectural heritage.'

F) Prevent the total or substantial demolition of a listed building unless exceptional circumstances are shown that outweigh the case for retention;

G) Only grant consent for a change of use or alterations and extensions to a listed building where it considers this would not cause harm to the special interest of the listed building;

H) Not permit development that it considers would cause harm to the setting of a listed building.”

Camden Planning Guidance SPD 2011

The London Borough of Camden's planning guidance provides further information on the application and implementation of policies contained within the Development Plan. The guidance contained within this document is broadly compliant with the relevant policy framework and best practice outlined in this appendix and as such is noted here for the sake of completeness only.

Other Material Considerations

DCLG, National Planning Practice Guidance, 2014

National Planning Practice Guidance 2014 has been issued by the Government as a web resource, including a category on conserving and enhancing the historic environment. This is intended to provide more detailed guidance and information with regard to the implementation of national policy set out in the NPPF.

Historic England, Historic Environment Good Practice Advice in Planning Note 2: Managing Significance in Decision-Taking in the Historic Environment, 2015

This document provides advice on the implementation of historic environment policy in the Framework and the related guidance given in the PPG. For the purposes of this report, the advice includes: assessing the significance of heritage assets; using appropriate expertise; historic environment records; and design and distinctiveness.

It provides a suggested staged approach to decision-making where there may be a potential impact on the historic environment:

1. Understand the significance of the affected assets;
2. Understand the impact of the proposal on that significance;
3. Avoid, minimise and mitigate impact in a way that meets the objectives of the Framework;
4. Look for opportunities to better reveal or enhance significance;
5. Justify any harmful impacts in terms of the sustainable development objective of conserving significance and the need for change;
6. Offset negative impacts on aspects of significance by enhancing others through recording, disseminating and archiving archaeological and historical interest of the important elements of the heritage assets affected.

Historic England Advice Note 2: Making Changes to Heritage Assets, 2016

This advice note illustrates the application of the policies set out in the Framework in determining applications for planning permission and listed building consent, as well as other non-planning heritage consents, including scheduled monument consent. It provides general advice according to different categories of intervention in heritage assets, including repair, restoration, addition and alteration, as well as on works for research alone, based on the following types of heritage asset: buildings and other structures; standing remains including earthworks; buried remains and marine sites; and larger heritage assets, including conservation areas, landscapes, including parks and gardens, and World Heritage Sites. The contents of this

advice note were first published as part of the Planning Policy Statement 5 Practice Guide in 2010. This edition has been revised following consultation in 2015.

Historic England: Conservation Area Designation, Appraisal and Management; Historic England Advice Note 1, 2016

This document sets out a series of conservation principles and guidance regarding the management of Conservation Areas. It outlines the fundamentals of designation, and, importantly, puts in place processes for character appraisals which may be used to manage development in the area moving forward. It sets an over-arching objective for character appraisals as documents which understand and articulate why the area is special and what elements within the area contribute to this special quality and which don't. Having done this, it outlines an approach to assessments of special interest which uses desk and field-based inquiry.

Supplementary Planning Documents / Guidance

Primrose Hill Conservation Area Statement, 2000

The Primrose Hill Conservation Area Statement was adopted by the London Borough of Camden in 2000. This document identifies and appraises the architectural and historic character of the conservation area and provides specific guidance on its preservation and enhancement.

Turley Office
The Charlotte Building
17 Gresse Street
London
W1T 1QL

T 020 7851 4010