



99 PRIORY ROAD

DESIGN + ACCESS STATEMENT

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Introduction

This Design + Access Statement has been prepared in support of the proposed rear extension, new entrance porch and basement extension at No. 99 Priory Road.

The statement has been structured to explain the existing site and context and the principles and ambitions behind the new design.

The application site is located within the South Hampstead Conservation Area. The application property is typical of the area's large Victorian villas, and is a detached three storey building with basement. As with many period buildings of this size in the area, the building was subdivided from a single dwelling into five flats in the 1950s. The property has been substantially extended to all three above-ground floors in an architecturally lesser quality than the original front of the building in the 1970s.

The application proposes to extend the rear outrigger by 2m from the existing rear line to form a new, modern open-plan kitchen/living area to suit modern family life, to create a new separate entrance to Flat 1 and to excavate the existing basement a further 700mm from it's existing depth whilst replicating the footprint above, providing additional accommodation.

The Project Team comprises:

Client: Geoff + Rosalind Galbart

Architect: JAA

Structural Engineer: Barrett Mahony

01 Site Location

The site is located to the northern end of Priory Road on the eastern corner where Priory Road meets Compayne Gardens. It is located in the mid-west of the Borough of Camden to the north of the South Hampstead Conservation Area.

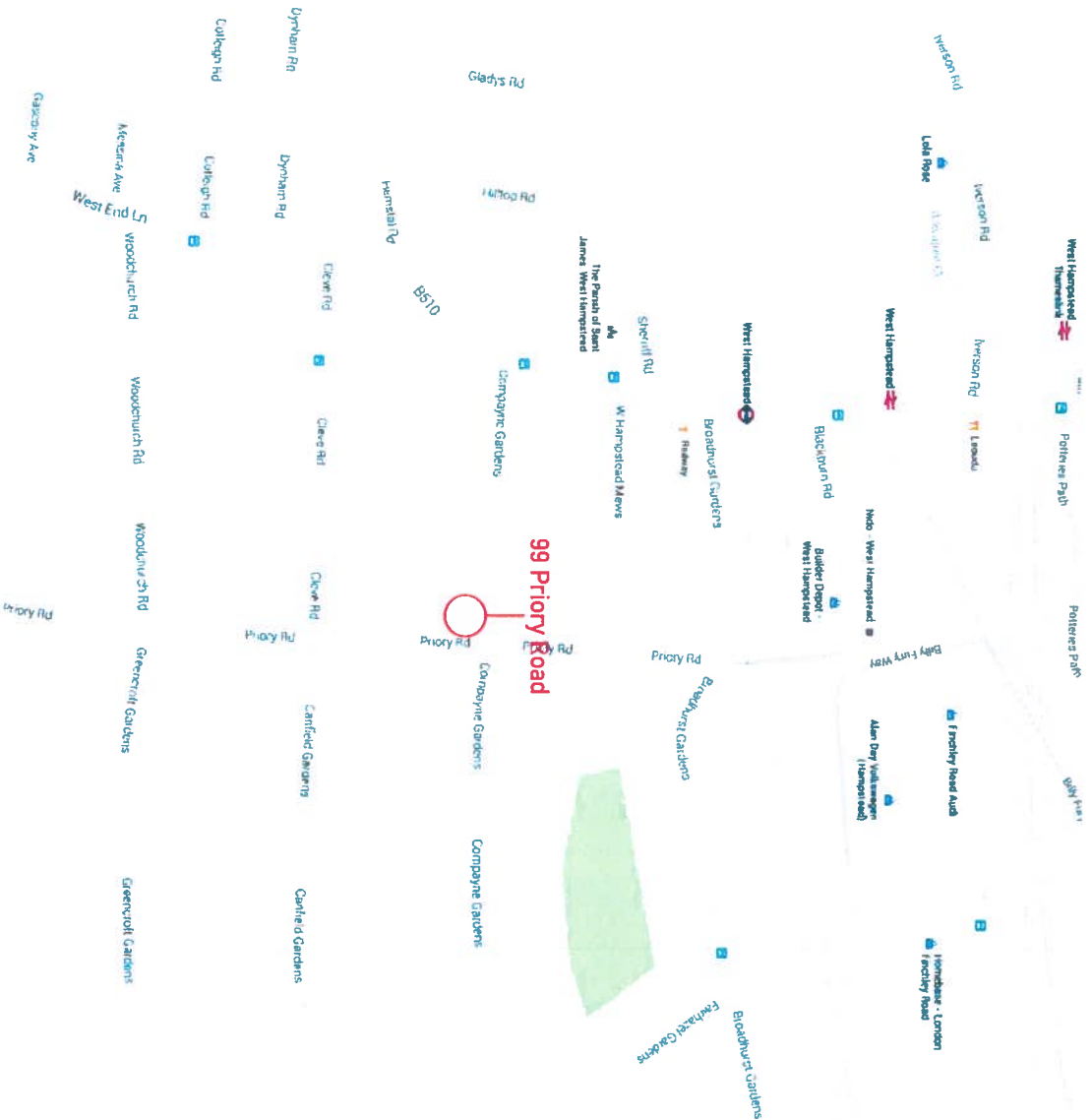


Fig. 01

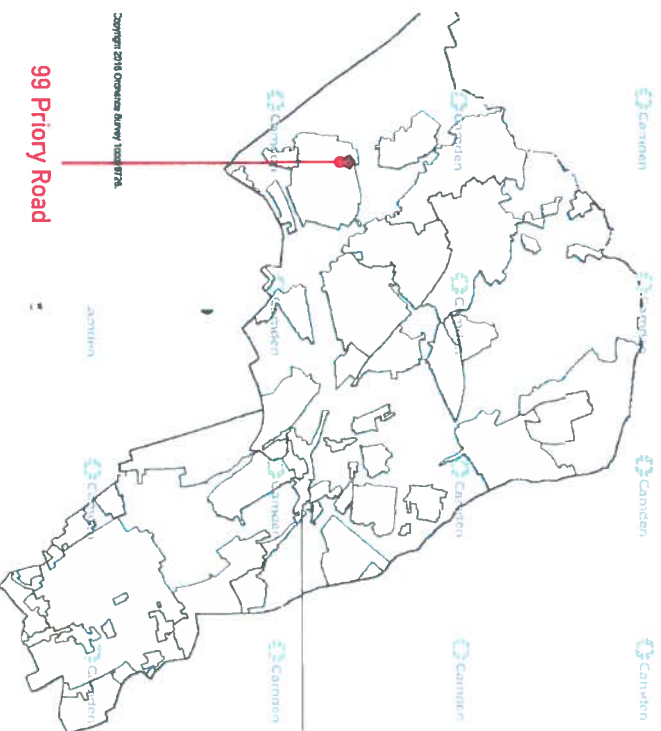


Fig. 02

Fig 01: Location map
Fig 02 (Above) Conservation Area Map

02 Existing Site

Priority Road is located within the South Hampstead Conservation Area. Priority Road runs from Broadhurst Gardens in the north to Beisize Road in the south and cuts through both South Hampstead and Priority Road Conservation areas. The South Hampstead area, in which the site is located is, to quote the South Hampstead Conservation Appraisal "a well preserved example of a leafy Victorian suburb, almost exclusively residential in nature, and largely homogenous in scale and character. The area is characterised by large, semi-detached and terraced late-Victorian properties, in red or gault (white / cream) brick, with a particularly distinctive and attractive roofscape including turrets, gables, and tall chimneys. Houses are made special by a variety of decorative treatments including terracotta panels and brickwork ornamentation, tiled and patterned footpaths, delicate ironwork, and elaborate timber doors and windows, including some original stained and leaded glass."

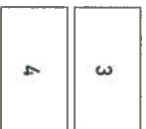


Fig 3 Existing front view

Fig 4 Existing rear from garden

99 Priority Road is a detached building with red brick to the front, along the side elevation (next to 97 Priority Road), and half way along the Compayne Gardens elevation. Cheaper yellow London stocks have been used along both the rear half of the Compayne Gardens elevation and the rear facade. Whilst imposing and attractive on the street with a varied roof line, it is ornate and detailed without possessing overly frivolously details characteristic of the area as per the South Hampstead Conservation Area Appraisal.

The rear half (yellow stock) of the building is a later addition (1975-76), and is considerably less attractive and modestly detailed compared with the original front half of the building.

The application property is Flat 1 to the ground floor and basement level. The property includes the front and rear gardens as well as the garage to the rear of the property constructed in the 1980s which is accessed through a gateway on Compayne Gardens.



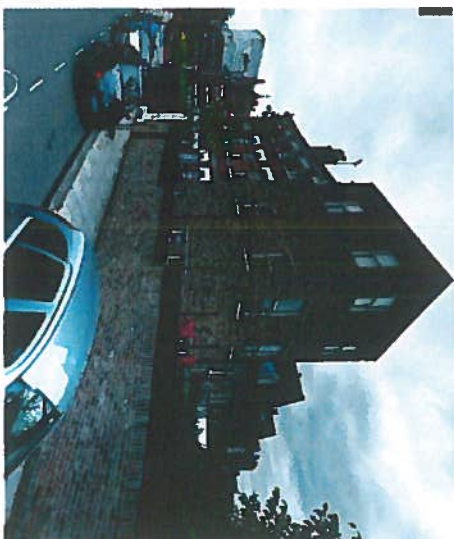
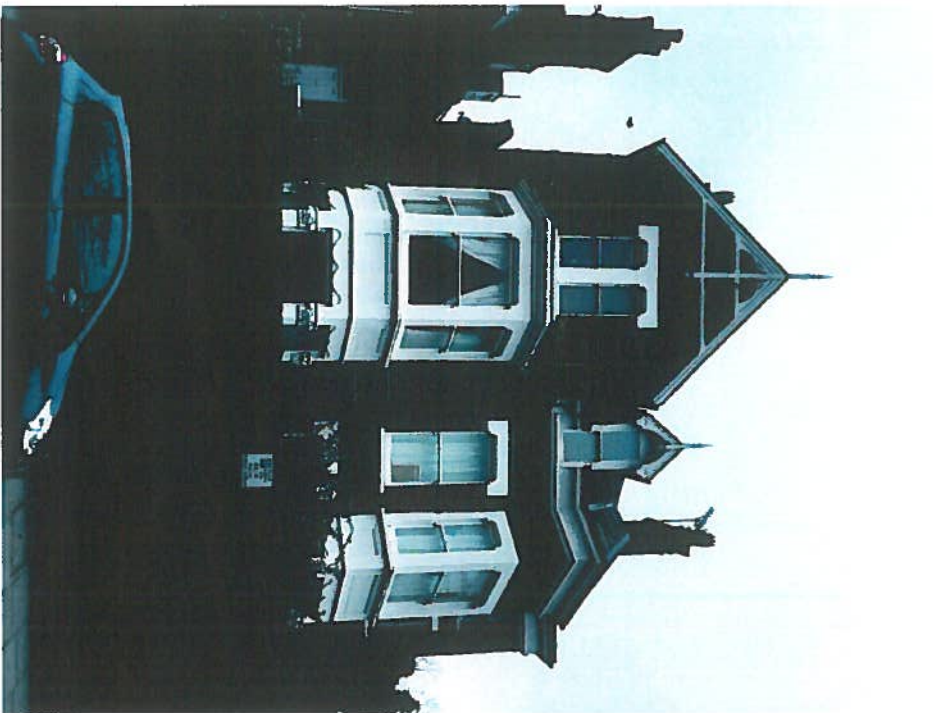
The maps on page 6 (Fig 5) are from the South Hampstead Conservation Area appraisal. Map 10 indicates the extent of the conservation area and the application property's location within it. Map 8 shows the tree character of the area; the application property is deemed to possess intermittent tree coverage with no significant trees on the site. Map 9 shows the Townscape of the area; the application property is indicated as a positive building, but is not listed. Map 7 shows the area character; the application property is within an area denoted as Level 3.

The adjacent maps (Fig 6 to 8) show the site footprint from 1893 through to 1964. From these historic maps we can deduce that the three-storey addition to the rear-half of the property built in the 1970s was based on an established footprint; the footprint shown throughout all three eras has not changed, and remains the same today.

In the 1947-63 map there is the appearance of two structures in the rear garden; the long standing garage (which was demolished and reconstructed in the 1980s) as well as a small structure close to the house which is presumed to be an outdoor toilet. This closer, small structure has since been demolished with modernisation of the dwelling, however, the rear line of this structure protrudes further from the main building than the proposed ground floor extension under this application.

6	7	8
Fig 6 1893-1895 OS map	Fig 7 1896-1920 OS map	Fig 8 1947-1964 OS map

03 Existing Photographs



9	10	12
	11	

Fig 9: Front of house viewed from Priory Road
 Fig 10: Existing communal entrance porch and side elevation showing original house (red brick) and later addition (yellow stocks)
 Fig 11: Side and rear of house and garden wall as viewed from Compayre Gardens
 Fig 12: Side elevation of house with red bricks with brown banding

04 Overview & Planning Statement

The application seeks to provide a more comfortable home in keeping with modern standards for the family that occupy Flat 1, but that will not affect the private amenity for the residents of Flats 2 to 5, nor undermine the character of the original house within the conservation area.

The proposals seek to achieve the following three items:

- a) extend the existing kitchen by 2m from the rear line of the existing outrigger;
- b) extend the existing basement down by 800mm and extend it laterally to mirror that of the ground floor above;
- c) to create a new private entrance to Flat 1 from street level on Compayne Gardens.

The following policies have been considered in the preparation of this application:

- The London Plan
- The South Hampstead Conservation Area Character Appraisal and Management Strategy 2011
- LDf Core Strategy and Development Policies
- CS5 (Managing the impact of growth and development)
- CS14 (Promoting high quality places and conserving our heritage)
- DP24 (Securing high quality design)
- DP25 (Conserving Camden's heritage)
- DP26 (Managing the impact of development on occupiers and neighbours)
- DP27 (Basements & Lightwells)
- CPG 1 (Design)
- CPG 4 (Basements & Lightwells)
- CPG 6 (Amenity)

In addition to the Conservation area appraisal, the proposed extension has been designed in line with Camden Borough Council's Supplementary Planning Guidance with particular attention paid to the guidance for rear extension and basement excavations to residential properties.

05 Existing Building + Access

For the purpose of the application Flats 2 to 5 have not been surveyed or evaluated. There are no proposed alterations to these areas.

The interior of Flat 1 has been decorated and modernised throughout the years (bathrooms, studwork partition walls), but no evident structural works have ever been undertaken. The dwelling is not a listed building.

Before being converted in to 5 flats in the 1950s, the building was once a single dwelling. The three storey rear extension unsympathetically grafted on to the original building in the mid 1970s is considerably less ornamental and attractive than the front half of the dwelling. As such, we feel the addition of the new entrance porch and rear kitchen/living extension do not disrupt the areas of quality architecture and construction in the building, but rather they will add to and enhance the appearance of the building.

Both the rear extension and the new entrance porch interventions are into the fabric of this lesser-quality yellow-stock rear portion of the building (see Fig 10 and 11, Page 8).

The existing access to Flat 1 is via a communal hallway with a step from both the street and within the communal hallway. The proposed new entrance will be private, with level access internally. This will allow the entire ground floor area to Flat 1 to be accessed via wheelchair, including a spacious WC, a comfortable bedroom and study, and the new enlarged kitchen, as well as the existing lounge area. The proposed wider level access hallway will provide better, more comfortable access for people of all levels of mobility, and the new kitchen layout will provide much more space for wheelchair users.

The internal access to the basement will remain as existing.

06 Proposals: Ground Floor

The proposals seek to ameliorate and extend the existing dwelling. The proposals at ground floor are broken down into three elements:

Ground Floor Rear Extension

The ground floor, rear extension is modest in size extending just 2m from the existing rear line and not extending in width, to retain the views of the garden from the existing lounge.

Covered Storage Area

The existing 'alleyway' to the side of the building will be retained and not built upon, to retain and respect the relationship between the building and the adjacent street. A roof and secure access door will be added to this area to form a covered bike store and bin area, to act as a more permanent and weather-proof version of the current arrangement on site. The roof line of the storage/bin area will not protrude above the existing fence along Compayne gardens and so will not affect the local streetscape.

New Entrance Porch

The proposed new private entrance to Flat 1 will provide the occupants with a more comfortable, private entrance hallway, with more room to manoeuvre and plenty of much-needed storage space. The entrance porch from the street will replicate the form, size and material palette of the existing communal entrance thus respecting the conservation area and the original dwelling.

These new architectural elements are designed to be considerate to not only the existing building but to the South Hampstead Conservation Area as a whole with materials chosen to reflect the prevalent materials in the area, to preserve and enhance the special character and appearance of the building and the area.

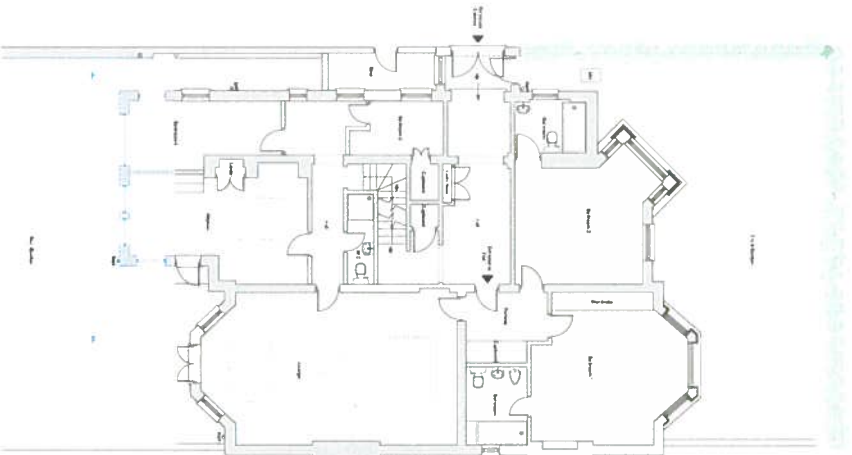


Fig 13: Existing Ground Floor Plan

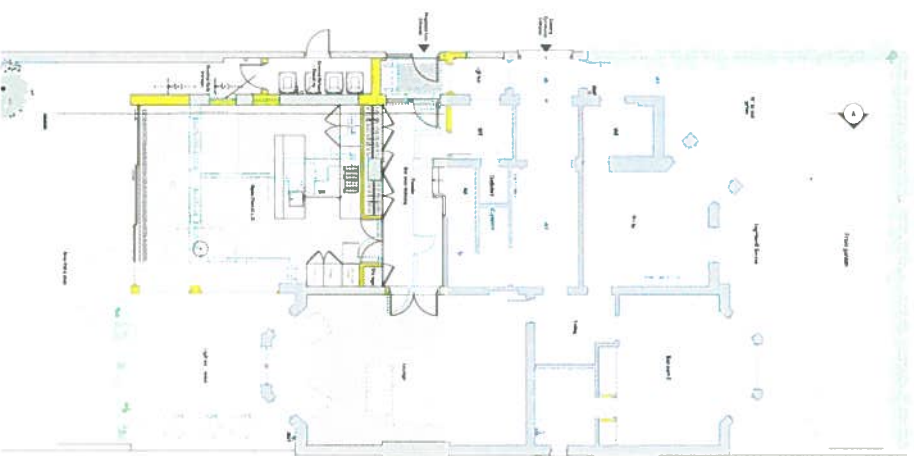


Fig 14: Proposed Ground Floor Plan

07 Proposals: Basement

The basement will not affect the conservation area, being completely screened from the public highways and therefore having no visual impact on the streetscape nor disrupting the urban grain of the South Hampstead Conservation Area. The proposed basement extension will provide much needed additional accommodation for the family, who have been owner-occupiers of the flat for over 20 years.

The existing basement has a varying floor to ceiling height of 2.1 to 2.2m and is currently used for storage of luggage, food storage due to the under-sized kitchen, and for laundry. It is not currently habitable nor has any daylight nor ventilation. There are also suspected damp issues, which the application would seek to address by waterproofing the newly extended basement.

The proposals seek to create a floor to ceiling of 2.7m and to dig the basement laterally to create a more spacious, habitable space whilst still retaining the current use (household storage, laundry). The footprint of the basement would be as per above at ground floor level.

We believe that the proposals to be appropriate when considering CPG4, DP27 and Camden's South Hampstead Conservation Area Character Appraisal and Management Strategy. To quote the CA&MS:

"1.3.29 A basement development that is modest in size such that it does not extend beyond the footprint of the original building and is no deeper than one full storey below ground level (approximately 3 metres in depth) is often the most appropriate way to extend a building below ground, provided that the internal environment is fit for the intended purpose, and there is no impact to any trees on or adjoining the site, to the water environment, or to the visual amenity of the remaining garden and views from neighbouring properties."

Whilst the basement proposals also extend beneath the new 2m rear extension at ground floor, we feel this is still in line with the intention behind the policies,

aimed at discouraging large-scale basements extending aggressively into gardens. It must be noted, that without this small portion of basement under the 2m rear extension, the lightwell would still need to be provided for light and ventilation into Bedroom 1 and the Dance studio, so it is felt that the scale of the proposals are still appropriate and respectful to the building above.

The provision of basement accommodation along the road-side of the development is also considered appropriate, as it provides light and ventilation to the gym and does not affect the appearance of the building above ground, with no lightwells or pavement lights visible from the street.

The basement depth is also within policy, providing a modest single-storey floor to ceiling of 2.7m.

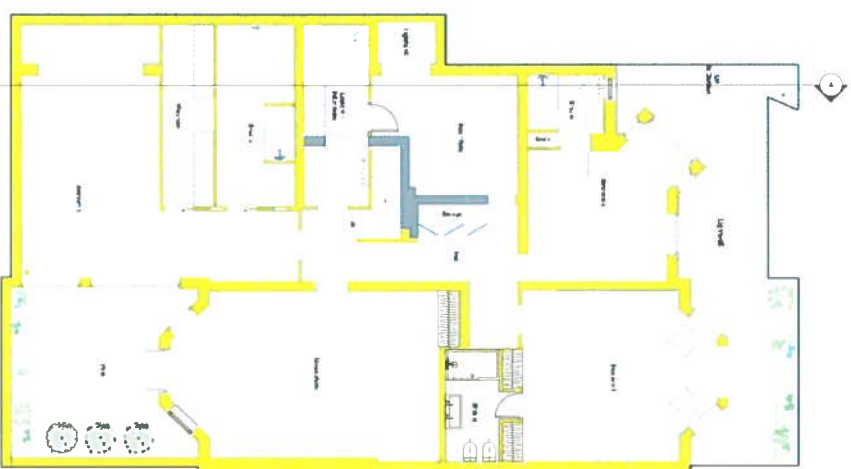
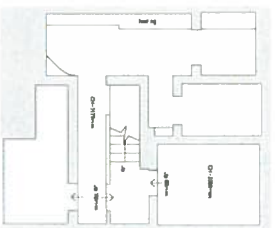


Fig 15: Existing Basement Plan

Fig 16: Proposed Basement Plan

07 Proposals: Basement (Cont.)

- DP27 states that "the Council will require an assessment of the scheme's impact on drainage, flooding, groundwater conditions and structural stability, where appropriate. The Council will only permit basement and other underground development that does not cause harm to the built and natural environment and local amenity and does not result in flooding or ground instability. We will require developers to demonstrate by methodologies appropriate to the site that schemes:
- a) maintain the structural stability of the building and neighbouring properties;
 - b) avoid adversely affecting drainage and run-off or causing other damage to the water environment;
 - c) avoid cumulative impacts upon structural stability or the water environment in the local area;
 - d) and we will consider whether schemes:
 - e) lead to the loss of open space or trees of townscape or amenity value;
 - f) provide satisfactory landscaping, including adequate soil depth;
 - g) harm the appearance or setting of the property or the established character of the surrounding area; and
 - h) protect important archaeological remains.

Please refer to Barrett Mahony's Basement Impact Assessment for details on flood risk, geology, hydrology and structural strategy.

DP27 also states that "In determining applications for lightwells, the Council will consider whether:

- i) the architectural character of the building is protected;
- it is believed that the proposals do no harm the character of the building
- j) the character and appearance of the surrounding area is harmed;
- it is believed that the proposals do no harm the character nor appearance of the surrounding area
- k) the development results in the loss of more than 50% of the front garden or amenity area.
- the loss is less than 50% (see figure 17, right)
- d) harm the amenity of neighbours"
- the proposals will not affect the amenity of neighbours

	Existing	Proposed
Front garden	80m ²	48sqm (60% retained) 4.8sqm half-basement (6%) 27sqm lightwell (33%)
Rear garden	259m ²	219sqm (84% retained) 24sqm half-basement (9.3%) 6.7sqm lightwell (6.7%)



Fig 17: Existing & Proposed garden + lightwells to front + rear gardens

08 Proposals: Elevations + Materials

The main proposed material to the new additions are a red London stock brickwork to the front basement and the new porch, and yellow London stock brickwork to the rear extension and basement.

In the basement, above each new window/door is a gault-coloured fair-faced concrete panel, to reflect the paneling and detailing prevalent within the South Hampstead conservation area.

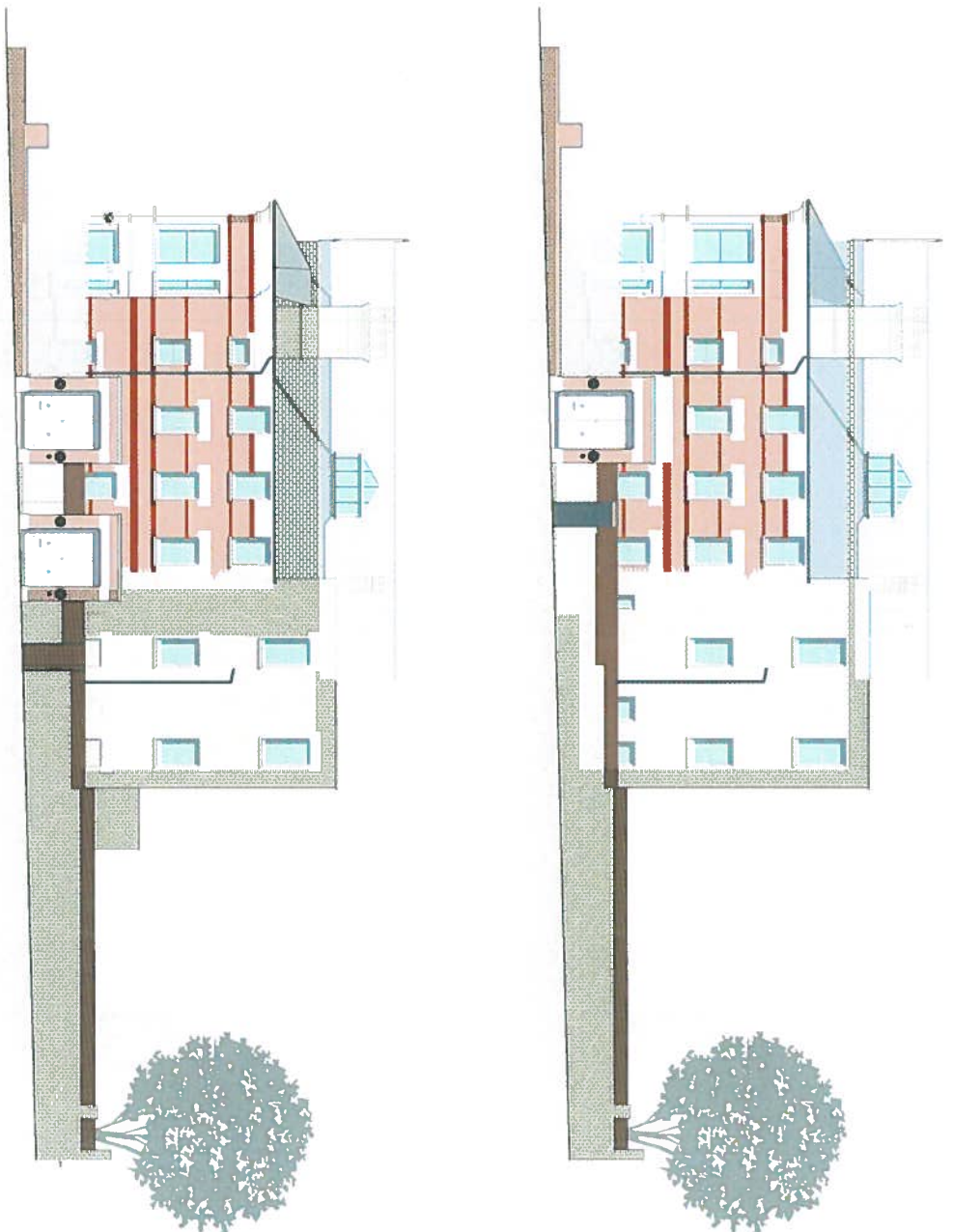
Side Elevation

The proposed new front porch and front door mimics the form and size of the original porch entrance, constructed from the same materials and made to match the existing. The scruffy render applied to the main house where the existing porch abuts the house will be removed and the brickwork behind repaired and made-good.

The new bin store door on the garden wall along Compayne Gardens is a simple panelled timber door to match the garage entrance gates to the rear of 99 Prioory Road, further along Compayne Gardens.

The windows along the side elevation at first and second floors are given render details to match those on the more attractive original house, and at ground floor blind windows are formed directly below with similar render topped detailing to add rhythm to this at-present stark portion of facade.

The overall effect is one of a more unified side elevation contributing positively to the local area.



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Fig 18 Existing Elevation along Compayne Gardens
Fig 19 Proposed Elevation along Compayne Gardens

08 Proposals: Elevations + Materials (Cont.)

Rear Elevation

The rear elevation, at both basement and ground floor extension, will be composed of yellow London stock brickwork to match the existing rear facade.

The rear elevation of the ground floor kitchen extension will be comprised of high-quality PPC aluminium framed sliding glazed doors, whilst the side elevation will have full-height fixed glazing overlooking the lightwell, to maximise light into the new kitchen-living space and frame views from within to the garden beyond, which is of key importance to the owners who greatly enjoy the use of their garden.

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20	22

Fig 20 Proposed rear elevation with cutaway section
Fig 21 Existing rear elevation (view from garden)
Fig 22 Proposed rear elevation (view from garden)



08 Proposals: Elevations + Materials (Cont.)

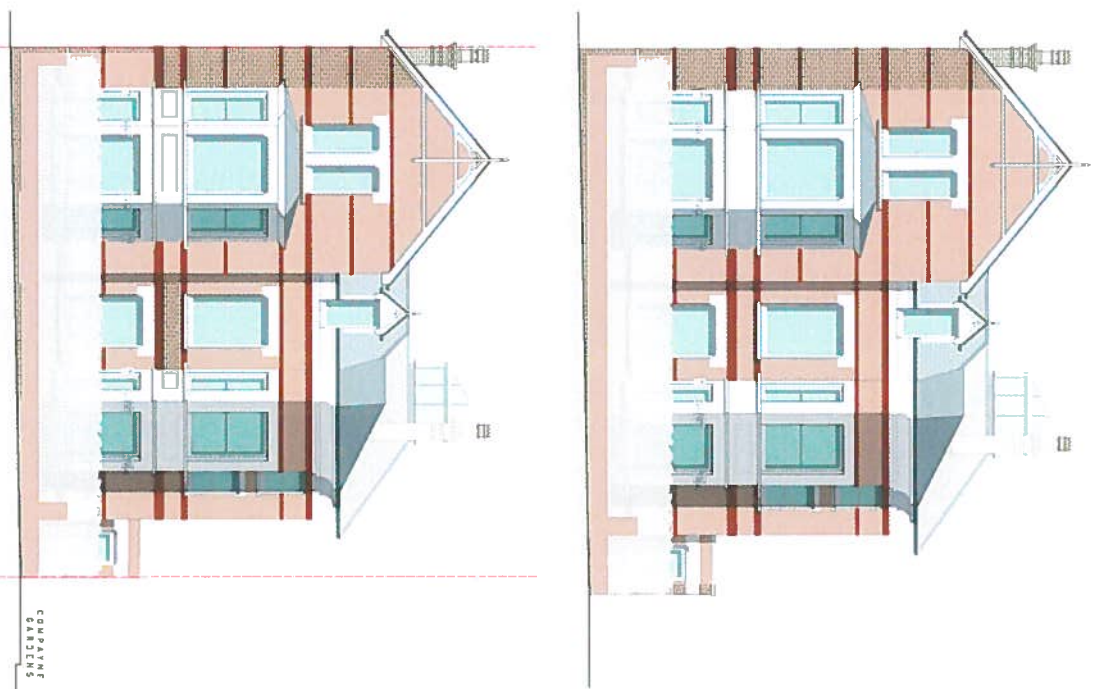
Front Elevation

There will be no change in appearance to the front elevation and therefore no impact to the streetscape and to the conservation area.

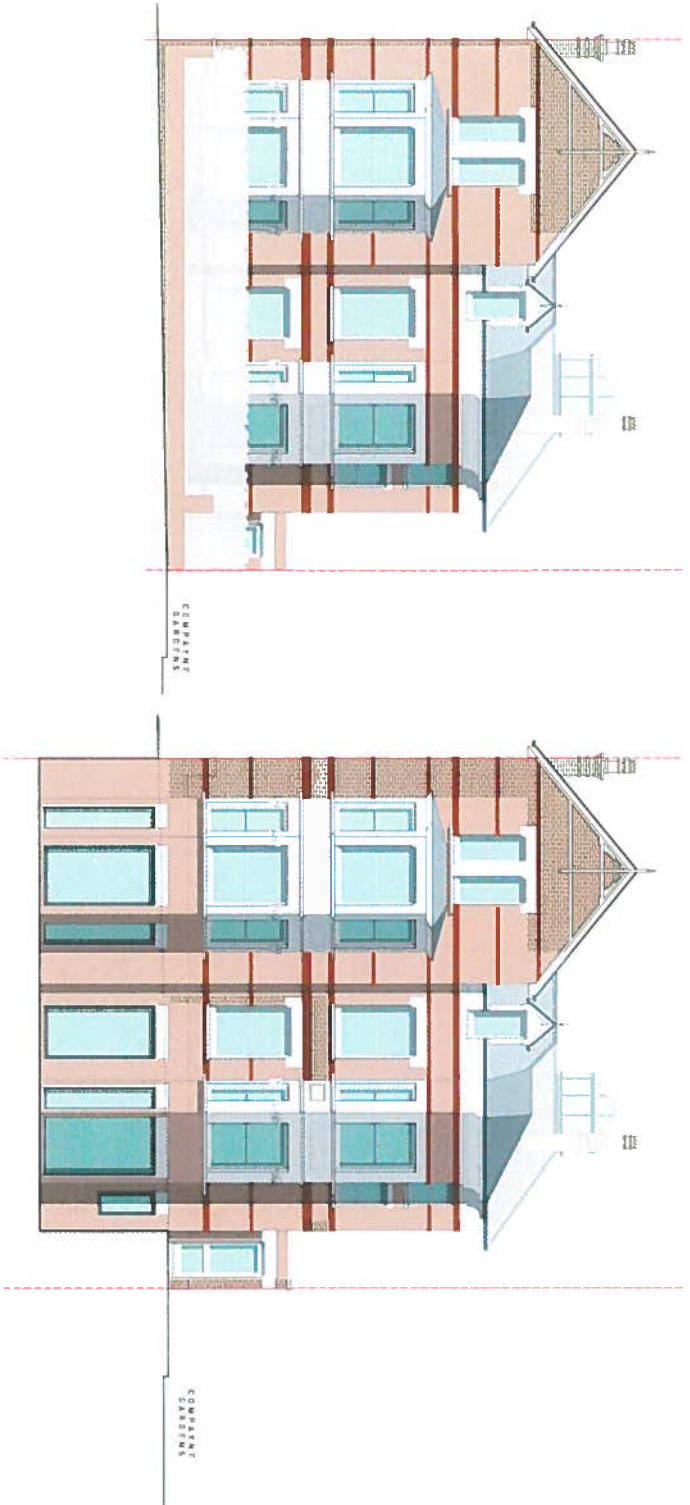


23	24	25
26		

Fig 22 Existing front elevation
Fig 23 Proposed front elevation
Fig 24 Existing front elevation
Fig 25 Proposed front elevation



08 Proposals: Elevations + Materials (Cont.)



27

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Fig 26 Proposed front elevation - Street view
Fig 27 Proposed front elevation - Section through proposed lightwell

09 Conclusion

This Design & Access Statement aims to demonstrate how the proposals for alteration and additions to No. 99 Priory have been carefully considered in order to comply with the requirements of the London Borough of Camden Local Plan and the South Hampstead Conservation Area.

The scale and proportion of the extension will be sympathetic to the existing dwelling and the conservation area at large, with the basement extension being invisible from any point on the public street, and with the elements which are visible from the street (entrance porch and rear extension) being of a quality, thoughtfully designed architectural solution that respects and enhances the integrity of the existing original dwelling and the local area.