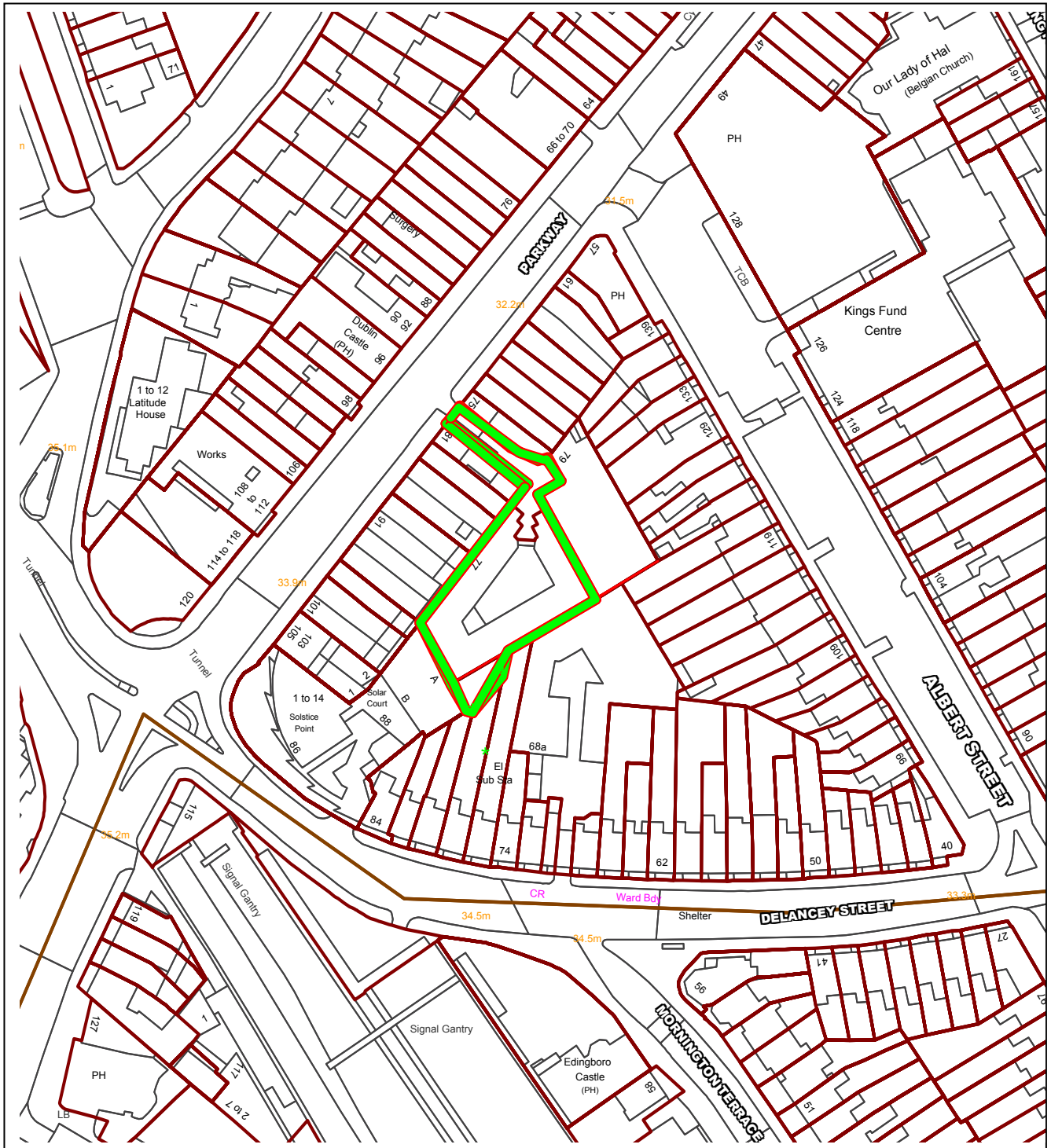


# 77 Parkway 2016/5635/P



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## 77 Parkway



Entrance from road (at right), car park, entrance to office (at left)



Main central Courtyard



Building's main entrance



Rear courtyard



Solstice Place: 86-88 Delancey Street



Views at different levels (from ground floor on the left, first floor in the middle and second floor on the right) to show the relationship to the window in Solstice Place



Model view of existing garden



Model view of the proposed garden extension

Existing rear courtyard and proposed infill extension

<b>Delegated Report</b>		<b>Analysis sheet</b>	<b>Expiry Date:</b>	<b>21/12/2016</b>
<b>(Members Briefing)</b>		N/A / attached	<b>Consultation Expiry Date:</b>	01/12/2016
<b>Officer</b>			<b>Application Number(s)</b>	
Jennifer Walsh			2016/5935/P	
<b>Application Address</b>			<b>Drawing Numbers</b>	
77 Parkway London NW1 7PU			Please refer to draft decision notice	
<b>PO 3/4</b>	<b>Area Team Signature</b>	<b>C&amp;UD</b>	<b>Authorised Officer Signature</b>	
<b>Proposal(s)</b>				
Alterations and extensions to existing office building (Class B1) to include two storey rear garden extension, extension to existing ground floor reception area with additional meeting rooms at first and second floor over reception and extension from existing bridge element to form additional meeting rooms at first and second floor level.				
<b>Recommendation(s):</b>		<b>Grant Planning Permission subject to S106 Legal Agreement</b>		
<b>Application Type:</b>		<b>Full Planning Permission</b>		

<b>Conditions or Reasons for Refusal:</b>	<b>Refer to Draft Decision Notice</b>					
<b>Informatives:</b>						
<b>Consultations</b>						
<b>Adjoining Occupiers:</b>	No. notified	<b>00</b>	No. of responses	<b>00</b>	No. of objections	<b>00</b>
<b>Summary of consultation responses:</b>	A site notice was displayed from 09/11/2016 – 30/11/2016 A press notice was displayed from 10/11/2016 – 30/11/2016					
<b>CAAC/Local groups comments:</b>	<p><b>Camden Town CAAC objects primarily to the rear extension element of the scheme. They object on the following grounds:</b></p> <ul style="list-style-type: none"> <li>- The impact of the two storey extension on Nos 74, 76 and 78 Delancey Street. <i>Officers Response: These properties are located 23.8m away from the proposed rear extension; please refer to section 4.0.</i></li>   <li>- The first floor windows of the new extension will overlook the gardens and the rear elevations. <i>Officer Response: It is accepted that the windows will overlook the gardens and the rear elevations of the properties along Delancey Street; however, there is already overlooking from this property and others in the close vicinity and, as a result of the replanting proposed and the obscure glazing recommended to be secured by condition, this overlooking is not considered to be harmful.</i></li>   <li>- The roof of the extension will be seen from the third floor storey windows in Delancey Street and roofs are rarely attractive; <i>Officer Response: A green roof is proposed as part of this application with a substrate depth of 250mm. This is considered to be sufficient depth to support a broad range of plants and create a high quality green roof.</i></li>   <li>- During winter hours all the windows will be brightly lit ruining their views. <i>Officer response: The site is already in office use and the extension proposed is not considered to worsen the impact of light pollution at night in this location.</i></li>   <li>- There is very little space for the three trees to grow and they will obscure the ground floor windows of the extension; <i>Officer Response: The proposed trees to be planted will be container grown, pleached broadleaved trees planted at a minimum of 4.5m in height, with a 2m clear stem and 2.5m of pleached canopy above. The proposed planting site has sufficient soil volume to support these trees, the pleached canopies will be maintained by regular pruning to restrict their width, and restricting the overall size of these trees in this manner will allow the trees to grow for many decades.</i></li>   <li>- The extension will also obscure some of the windows of Sheppard Robson's existing south elevation; <i>Officer Response: The proposed design and internal layout has been well considered, and due to the office use of the building, the extension would not harm the overall function of the building.</i></li>   <li>- There are many defects in this scheme.</li> </ul>					

## Site Description

77 Parkway was converted into office space from a Piano factory in 1974 and has been occupied by an architects firm since then. The site is accessed from an undercroft driveway on Parkway and sits to the rear of properties along Parkway and Delancey Street. It is a three storey building, with an internal courtyard. There is a TPO tree set within the existing courtyard.

The building is not listed, but is noted as being a 'positive building' located within the Camden Town Conservation area. The building also sits just outside the Camden Town Centre designation.

## Relevant History

**2014/7134/P:** Erection of single storey ground floor rear extension. **GRANTED 06/03/2015** – *Not implemented*

**2003/2787/P:** Renewal of 5 year permission (granted 07/01/1999 Reg. No. PE9800810) for erection of a single storey rear extension. **GRANTED 05/12/2003** – *Not Implemented*

**PE9800810:** Erection of single storey rear extension for Class B1 Office Use. **GRANTED 07/01/1999** – *Not implemented*

## Relevant policies

**NPPF 2012**

**The London Plan 2016**

### **LDF Core Strategy and Development Policies 2010**

CS1 Distribution of growth

CS5 Managing the impact of growth and development

CS8 Promoting a successful and inclusive Camden economy

CS11 Promoting sustainable and efficient travel

CS13 Tackling climate change through promoting higher environmental standards

CS14 Promoting high quality places and conserving our heritage

CS19 Delivering and monitoring the core strategy

DP1 Mixed use development

DP13 Employment premises and sites

DP16 The transport implications of development

DP17 Walking, cycling and public transport

DP18 Parking standards and limiting the availability of car parking

DP19 Managing the impact of parking

DP20 Movement of Goods and Materials

DP21 Development connected to the Highways network

DP24 Securing high quality design

DP25 Conserving Camden's Heritage

DP26 Managing the impact of development on occupiers and neighbours

DP28 Noise and vibration

DP29 Improving access

### **Camden Planning Guidance**

CPG1 Design

CPG6 Amenity

CPG8 Planning Obligations

### **Camden Town conservation area appraisal**

## Assessment

### 1.0 Proposal

1.1 The site is occupied by a single business and, due to the growing demand for space, a number of office extensions are proposed. The proposal comprises of a rear two storey extension over the rear courtyard garden, a two storey extension to the ground floor reception area and an extension to the link bridge between the entrance and the central courtyard. In addition, general works which include redecoration of the windows and increasing the amount of cycle storage in the central courtyard by 12 cycles is also proposed.

1.2 The application site is located on the east side of Parkway, approximately midway between Albert Street and Delancey Street. The site is set back from Parkway, behind a terraced row of shops with residential units above, and is accessed via a private alleyway through one of the buildings. The site comprises a series of interlinked office buildings arranged around a central courtyard. The central courtyard is accessed from the entrance courtyard under a bridge linking two sides of the main office building.

1.3 The principle considerations which are material to the determination of this application are:

- Principle and land use
- Design, appearance and conservation
- Neighbour amenity
- Trees and landscaping
- Transport

### 2.0 Principle and land use

2.1 Policy DP1 (Mixed use development) sets out the Council's detailed approach to mixed use development. The policy DP1 is a relevant consideration for all new build development and extensions involving a significant floor space increase within town centres. The application submission involves three separate extensions, which together create a proposed floorspace of approx. 320sqm.

2.2 The site is located just outside the town centre of Camden Town with only the undercroft access route falling within the designation. However, this policy must be taken account of due to the close proximity of the designation. The policy states that, where more than 200sqm (gross) additional floorspace is provided, we will require up to 50% of all additional floorspace to be housing. In considering whether a mix of uses should be sought, the council will take into account whether it can practically be achieved on the site, the most appropriate mix of uses, and the scale and nature of any contribution to the supply of housing and other secondary uses. In this instance, we have specifically take into account :

f) whether an extension to the gross floorspace is needed for an existing user;

2.3 It is considered that residential on this specific site would be difficult to incorporate within this scheme of development. Moreover, the extension is for an existing user who has been located within Camden Town for over 42 years and is needed to make the building more efficient and provide a long term home for the architects' practice.

2.4 As only the entrance to the building falls within the Town centre, and the building itself is not within the area, as well as the site constraints of accommodating a residential unit on site, it is considered that policy DP1 does not apply in this instance.

2.5 Policy CS3 (Other highly accessible areas) states that 'The Council will promote appropriate development in the highly accessible areas of: a) Central London; and b) the town centres of Camden Town....'

2.6 These areas are highly accessible by public transport. They are therefore considered to be generally suitable for a range of land uses, including those that will attract a large number of journeys and for higher density development. It is considered that this proposal for an extension to the existing office space in this town centre location is in line with policy DP1 and CS3.

### 3.0 Design, appearance and impact on the conservation area

3.1 There are three extensions proposed across the site as follows.



- Rear two storey extension

3.2 The steel framed, brick clad two storey rear extension is proposed to infill the whole of the existing rear garden. This space currently comprises informal cycle storage and patio areas. There are two large trees along the boundary with the Delancey Street. Whilst it is accepted that the rear extension is large in plan form and takes up the majority of the rear courtyard/garden space, the design matches that of the existing building, it does not project higher than the neighbouring properties and would benefit from an intensive Green Roof. Due to the use of the building being an office, the loss of the garden in this instance is considered acceptable, as the requirement for a garden is not the same as if it were in residential use. The green roof to the extension compensates for the loss of the external courtyard area.

3.3 Due to the location of the site itself, the rear of the site cannot be seen from the public realm. The site boundary is flanked by two storey boundary walls and the proposed extension would not sit higher than these existing walls. To the south west of the site there is a garden fence where two trees are located. It is proposed to rebuild this fence to the same height.

3.4 The proposed extension would be brick clad and have four sets of double doors to the ground floor elevation and four windows, which match those of the existing building on the first floor. A large green roof with a single diamond shaped rooflight also forms part of the application.

3.5 Due to the unique site constraints and the proposed extension matching the detailed design of the existing building, it is not considered that the extension would harm the character and appearance of the host property nor the wider conservation area. The bulk and mass of the extension is considered acceptable due to the positioning of the extension within the site and due to the high boundary walls which would flank the extension.

3.6 Whilst it is proposed to clad the extension in brick, a condition is recommended to ensure that the proposed brick matches that of the host property and is one which complements the wider conservation area. This also applies to the glazing detail of the extensions to ensure the detailed design of the proposed extensions match those of the intricate detail of the existing glazed elements in the building. The green roof is considered to be a benefit to the scheme as the roof would be attractive and add to the drainage of the site. A condition is also recommended for this element to ensure that the detail of the substrate is fully considered.

- Central Courtyard two storey extension

3.7 The central courtyard is not visible from the public realm nor private vantage points; however it does form an integral part of the design of the whole development. The main entrance space is an important element of the existing building, as it is lightweight in form and doesn't dominate the inner courtyard.

3.8 The proposal involves a ground floor extension and two storey addition in this location. The existing ground floor entrance would be extended by approx. 3.6m with a revolving door and pass door being included. First and second floor meetings rooms are proposed to be extended over part of the enlarged reception. The detailed design of this element has been carefully considered to match the architecture of the original building and, due to the design being a predominately glazed lightweight element, it would not harm the character or appearance of the building. The roof of the additional ground floor element would be a green roof which is welcomed in both design and sustainability terms. This element of the proposal is considered acceptable.

- Additional meeting rooms of link bridge

3.9 To the front of the building, it is proposed to extend the existing bridge link to create two new meetings rooms at first and second floor. The proposed design is one which complements this existing feature, yet does not overpower it. Again, whilst this element cannot be seen from the public realm, it could be seen from some rear windows which front Parkway. The design of this element is glazed and matches the architectural elements of the existing bridge form and sits within the two existing brick walls of the existing building. Whilst it is proposed to create a deeper extension at these levels, the building is pinched and infilling it would not create a dominant addition. It would be read as a lightweight addition which complements the host property, due to the detailed design matching the architectural features of the existing bridge level. This element of the scheme is therefore considered acceptable.

#### 4.0 Neighbourhood amenity

4.1 The application site is accessed via an undercroft entrance from 77 Parkway, therefore, the building and the extensions are not visible from the public realm. They are however visible from private vantage points

(excluding the courtyard extension which is not visible from public or private vantage points).

4.2 The rear elevation of the office block is visible from the rear of properties along Delancey Street. Currently there are two trees to the rear of the site which create visual screening into the site from these properties. As part of the application, these trees are to be removed (please see section 5.0 Trees) and the extension is to be built 2.0m set back from this rear boundary wall. Whilst the proposed extension would be 2 storeys in height, due to the unique built up nature of this environment and the proposed extension being set 23.2m away from the rear elevations of Delancey Street, it is not considered that the proposed extension would harm the neighbouring amenity in this instance. There is also a new build residential development to the west of the site. However, their windows are also located 18.8m away and the extension would not add any additional windows to the elevation which face this setback part of Solstice Place. Therefore, it is considered there will be no harm to this development in terms of overlooking. The proposed rear extension would be built up again two flank walls of the immediate properties. Due to the properties along Delancey Street being located 23.2m away from the proposed rear extension, there would be no impact on sunlight or daylight or outlook to their windows.

4.3 The Council's Tree officer has recommended the inclusion of Pleached trees along the rear boundary of the site to create some screening from the Delancey Street properties. This is further discussed in section 5.0.

4.4 Whilst the distance is in excess of that recommended by policy DP26 to protect privacy, it is considered that overlooking could occur to the rear gardens of Delancey Street and therefore it is recommended that a condition is added to secure obscure glazing on the first floor level windows to an internal height of 1.7m. This would be applied to the glazing and would ensure that there were no overlooking concerns from the proposed windows. The double doors to the ground floor level would not be higher than the existing rear boundary wall and therefore there is no requirement to apply the obscure glazing at this level.

## 5.0 Trees and Landscaping

5.1 The application includes the proposed removal of T1, a category C sycamore tree, situated within the rear garden of the property. T1 is of zero/minimal visibility from the public realm; however, it can be viewed from private vantage points. However the tree has been assessed by the Councils Tree officer and is in poor form. A major structural defect at the base of the stem is considered to reduce the safe, useful life expectancy of the tree. As such it is considered that the removal of T1 is acceptable in planning terms and the loss of visual amenity and canopy cover that the tree provides could be mitigated through replacement planting. There is a second tree T2, category U ash tree, also in the rear garden of 77 Parkway. This tree is in poor structural condition with advanced decay at the base of the stem. The removal of T2 is considered acceptable in planning terms due to its poor condition. During the process of the application, Pleached trees have been discussed as being the ideal replacement tree in this location. Therefore, a condition is recommended to ensure the size and specific location is carefully considered.

5.2 The proposed development includes a green roof on both the rear extension and the internal courtyard extension with a substrate depth of 250mm to both. This is considered to be sufficient depth to support a broad range of plants and create a high quality green roof. A green wall is also proposed to the east elevation of the rear extension. No further details regarding the green roof and wall have been included with the application. Large semi-mature pleached trees of a species to be confirmed are proposed along the rear boundary. These trees, in conjunction with the other greening, are considered to provide sufficient mitigation for the trees to be removed and to enhance the biodiversity of the site. The pleached trees are proposed to be of sufficient height at the time of planting to reach the top of the proposed first floor windows which will go some way to ensuring the privacy of the residents in properties to the rear on Delancey Street is protected.

5.3 There is a tree which is covered by a TPO in the central courtyard of the site. Details have been submitted as to how this tree would be protected through construction, and the councils Tree Officer is happy within the details provided in this respect.

5.3 It is recommended that replacement tree details and green roof details are secured via conditions.

## 6.0 Transport

6.1 The site has a PTAL rating of 6a which indicates that it has an excellent level of accessibility by public transport. The nearest station is Camden Town, located to the northwest of the site, whilst numerous bus services are available from Parkway, Delancey Street and Camden High Street.

6.2 A total of 3 car parking spaces are currently provided in the entrance courtyard. There are no proposals to alter this level of provision. A total of 8 Sheffield cycle stands (16 spaces) are currently provided within the

central courtyard and it appears that these are well used. It is proposed to increase the number of stands by 6 (12 spaces) to meet the existing and future demand for cycle parking, giving a total of 28 spaces.

6.3 Cycle parking at new developments should be provided in accordance with London Plan standards. For the proposed increase in office space of 320sqm this would give a requirement for 4 spaces, whilst for the total proposed floor space of 2,217sqm this would give a requirement for 24 spaces. The proposed level of cycle parking at 28 spaces meets this requirement.

6.4 Camden LDF Development Policy DP20 states that Construction Management Plans should be secured to demonstrate how a development will minimise impacts from the movement of goods and materials during the construction process (including any demolition works). Camden Development Policy DP21 relates to how a development is connected to the highway network. For some developments this may require control over how the development is implemented (including demolition and construction) through a Construction Management Plan (CMP). The site would be accessed from Parkway. Traffic flows are likely to be fairly low; however due to the amount of construction required for the various extensions and the sensitive nature of the local streets, as well as the limited access across the site itself, a CMP must therefore be secured as a Section 106 planning obligation. A CMP Implementation Support Contribution of £1,140 would also need to be secured as a Section 106 planning obligation.

6.5 There is also the need to secure a financial contribution for highway works (repaving the vehicle crossover and adjacent footway) at the site entrance on Parkway as a Section 106 planning obligation. This would allow for any damage caused during construction of the proposed development to be repaired and enable the proposal to comply with Development Policy DP21. An estimate request has been submitted to our Highways team and will form part of the S106 Agreement if planning permission is granted.

6.6 The scheme will be subject to Mayor and Camden CIL.

Recommendation: Grant planning permission subject to section 106 legal agreement on CMP and highway works contribution.

***The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 19<sup>th</sup> December 2016, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to [www.camden.gov.uk](http://www.camden.gov.uk) and search for 'Members Briefing'.***

Sheppard Robson Architects  
77 Parkway  
London  
NW1 7PU

Application Ref: **2016/5935/P**

15 December 2016

Dear Sir/Madam

**DRAFT**  
**FOR INFORMATION ONLY - THIS IS NOT A FORMAL DECISION**  
Town and Country Planning Act 1990 (as amended)

**DECISION SUBJECT TO A SECTION 106 LEGAL AGREEMENT**

Address:  
**77 Parkway**  
**London**  
**NW1 7PU**

Proposal:

**DECISION**  
Alterations and extensions to existing office building (Class B1) to include two storey rear garden extension, extension to existing ground floor reception area with additional meeting rooms at first and second floor over reception, and extension from existing bridge element to form additional meeting rooms at first and second floor level.

Drawing Nos: Site Location Plan, 5621-00-101; 5621-00-102; 5621-00-103; 5621-00-104; 5621-00-121; 5621-00-122; 5621-00-250; 5621-20-101 Rev P01; 5621-20-102; 5621-20-103; 5621-20-104; 5621-20-250; 5621-20-121; 5621-20-122; 5621-SK-001; 5621-SK-002; 5621-SK-003;

The Council has considered your application and decided to grant permission subject to the conditions and informatives (if applicable) listed below **AND** subject to the successful conclusion of a Section 106 Legal Agreement.

The matter has been referred to the Council's Legal Department and you will be contacted shortly. If you wish to discuss the matter please contact **Aidan Brookes** in the Legal Department on **020 7 974 1947**.

Once the Legal Agreement has been concluded, the formal decision letter will be sent to you.



Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policies DP24 and DP25 of the London Borough of Camden Local Development Framework Development Policies.

- 3 The development hereby permitted shall be carried out in accordance with the following approved plans- Site Location Plan, 5621-00-101; 5621-00-102; 5621-00-103; 5621-00-104; 5621-00-121; 5621-00-122; 5621-00-250; 5621-20-101 Rev P01; 5621-20-102; 5621-20-103; 5621-20-104; 5621-20-250; 5621-20-121; 5621-20-122; 5621-SK-001; 5621-SK-002; 5621-SK-003;

Reason: For the avoidance of doubt and in the interest of proper planning.

- 4 Detailed drawings, or samples of materials as appropriate, in respect of the following, shall be submitted to and approved in writing by the local planning authority before the relevant part of the work is begun:

- a) Details including sections at 1:10 of all windows (including jambs, head and cill), and external doors;
- b) Manufacturer's specification details of all facing materials (to be submitted to the Local Planning Authority) and samples of those materials (to be provided on site).

The relevant part of the works shall be carried out in accordance with the details thus approved and all approved samples shall be retained on site during the course of the works.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policies DP24 and DP25 of the London Borough of Camden Local Development Framework Development Policies.

- 5 Full details of the green roofs and green walls, including species, planting density, substrate and a section at scale 1:20 showing that adequate depth is available in terms of the construction and long term viability of the green roofs and green wall, and a programme for a scheme of maintenance shall be submitted to and approved in writing by the local planning authority. The green roof shall be fully provided in accordance with the approved details prior to first occupation and thereafter retained and maintained in accordance with the approved scheme of maintenance.

Reason: In order to ensure the development undertakes reasonable measures to take account of biodiversity and the water environment in accordance with policies CS13, CS15 and CS16 of the London Borough of Camden Local Development Framework Core Strategy and policies DP22, DP23 and DP32 of the London Borough of Camden Local Development Framework Development Policies.

- 6 Prior to occupation of the rear extension, the first floor windows shall be obscure glazed and fixed shut up to an internal height of 1.7m and they shall be permanently retained and maintained as such thereafter.

Reason: In order to prevent unreasonable overlooking of neighbouring premises in accordance with the requirements of policy CS5 of the London Borough of Camden Local Development Framework Core Strategy and policy DP26 of the London Borough of Camden Local Development Framework Development Policies.

- 7 No development shall take place until full details of hard and soft landscaping, replacement trees and means of enclosure of all un-built, open areas have been submitted to and approved by the local planning authority in writing. The relevant part of the works shall not be carried out otherwise than in accordance with the details thus approved.

Reason: To ensure that the development achieves a high quality of landscaping which contributes to the visual amenity and character of the area in accordance with the requirements of policies CS14 and CS15 of the London Borough of Camden Local Development Framework Core Strategy and policy DP24 of the London Borough of Camden Local Development Framework Development Policies.

- 8 All hard and soft landscaping works shall be carried out in accordance with the approved landscape details by not later than the end of the planting season following completion of the development or any phase of the development, whichever is the sooner. Any trees or areas of planting which, within a period of 5 years from the completion of the development, die, are removed or become seriously damaged or diseased, shall be replaced as soon as is reasonably possible and, in any case, by not later than the end of the following planting season, with others of similar size and species, unless the local planning authority gives written consent to any variation.

Reason: To ensure that the landscaping is carried out within a reasonable period and to maintain a high quality of visual amenity in the scheme in accordance with the requirements of policies CS14, CS15 of the London Borough of Camden Local Development Framework Core Strategy and policy DP24 of the London Borough of Camden Local Development Framework Development Policies.

- 9 Before the development commences, details of secure cycle storage area for 12 cycles shall be submitted to and approved by the local planning authority. The approved facility shall thereafter be provided in its entirety prior to the first occupation of the rear extension, and permanently retained thereafter.

Reason: To ensure the development provides adequate cycle parking facilities in accordance with the requirements of policy CS11 of the London Borough of Camden Local Development Framework Core Strategy and policy DP17 of the London Borough of Camden Local Development Framework Development Policies.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts which cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Argyle Street WC1H 8EQ, (tel: 020-7974 6941).
- 2 Your proposals may be subject to control under the Party Wall etc Act 1996 which covers party wall matters, boundary walls and excavations near neighbouring buildings. You are advised to consult a suitably qualified and experienced Building Engineer.
- 3 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Compliance and Enforcement team [Regulatory Services], Camden Town Hall, Argyle Street, WC1H 8EQ (Tel. No. 020 7974 4444 or on the website <http://www.camden.gov.uk/ccm/content/contacts/council-contacts/environment/contact-the-environmental-health-team.en> or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.
- 4 You are advised that this proposal will be liable for the Mayor of London's Community Infrastructure Levy (CIL) and the Camden CIL as the additional floorspace exceeds 100sqm GIA or one unit of residential accommodation. Based on the information given on the plans, the Mayor's CIL Charging Schedule and the Camden Charging Schedule, the charge is likely to be £16,00 (320sqm x £50) for the Mayor's CIL and £8000 (320sqm x £25) for the Camden CIL.

This amount is an estimate based on the information submitted in your planning application. The liable amount may be revised on the receipt of the CIL Additional Information Requirement Form or other changes in circumstances. Both CIL's will be collected by Camden after the scheme has started and could be subject to surcharges for failure to assume liability or submit a commencement notice PRIOR to commencement and/or for late payment. We will issue a formal liability notice

once the liable party has been established. CIL payments will also be subject to indexation in line with the construction costs index.

- 5 Your attention is drawn to the fact that there is a separate legal agreement with the Council which relates to the development for which this permission is granted. Information/drawings relating to the discharge of matters covered by the Heads of Terms of the legal agreement should be marked for the attention of the Planning Obligations Officer, Sites Team, Camden Town Hall, Argyle Street, WC1H 8EQ.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

Yours faithfully

**DRAFT**

Supporting Communities Directorate

**DECISION**