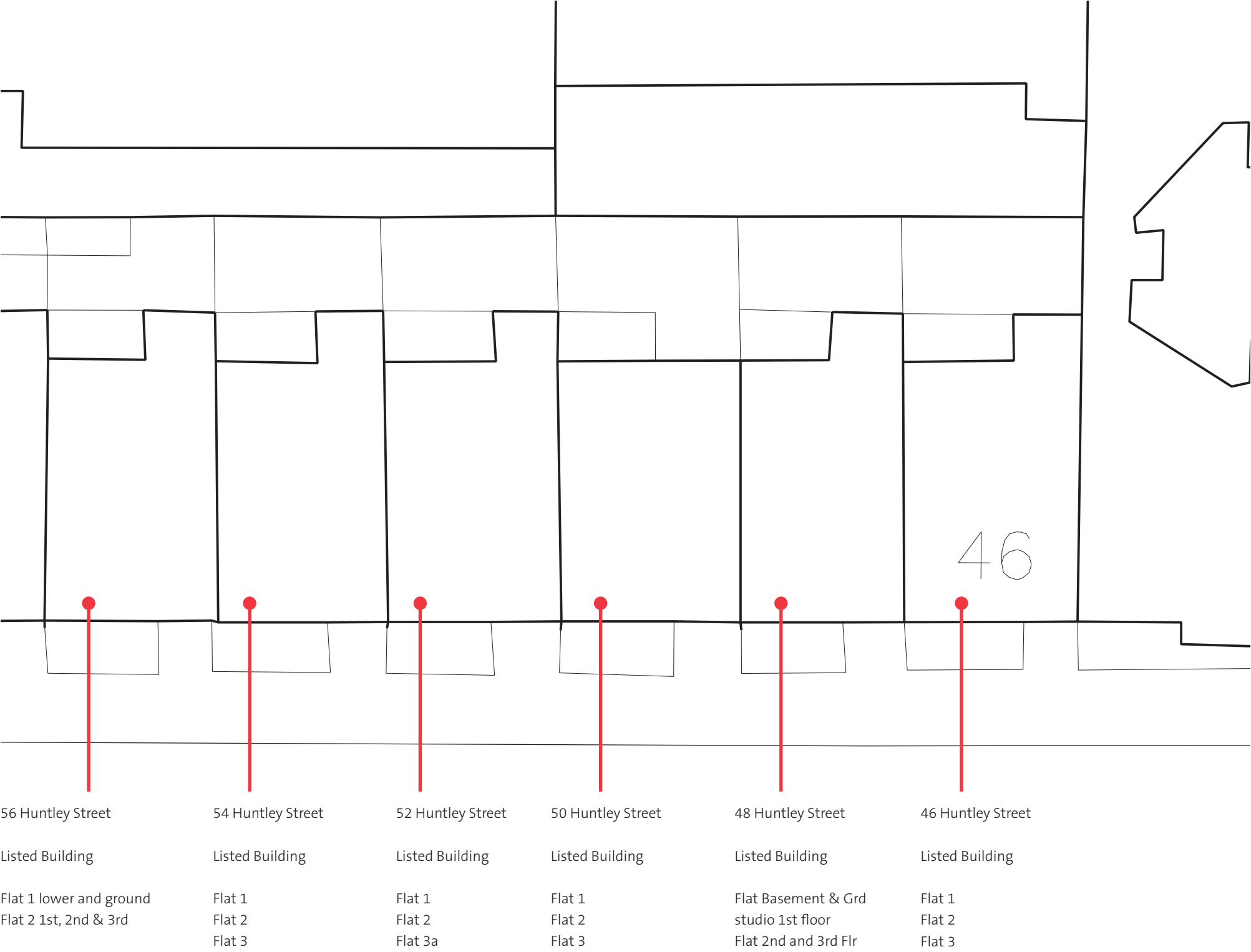


# 2.3 Heritage Statement



## Huntley Street - Existing Use

2.3.57 Based on Camden Council listed building register we have allocated the use and number of flats within each terrace house at Huntley Street.

46 Huntley Street	3 apartments
48 Huntley Street	3 apartments
50 Huntley Street	3 apartments
52 Huntley Street	3 apartments
54 Huntley Street	3 apartments
56 Huntley Street	2 Maisonettes
58 Huntley Street	3 apartments
60 Huntley Street	3 apartments
62 -66 Huntley Street	Hostel family care
68 Huntley Street	3 apartments
70 Huntley Street	3 apartments

2.3.58 This table illustrates that all of the houses on Huntley Street have been converted into apartments and 3 houses 62 - 66 Huntley Street is provide Hostel Family Care.



# 3.0 Design Analysis & Proposal



## 3.0.0 Design Analysis & Proposal

3.0.1 Within this section we have provided the following information:

- We have recorded and illustrated the existing form, characteristics, historical features and conditions.
- The existing building documented features and characteristics;
- The design concept and approach to Huntley Street properties;
- The extents of work required external, internally and the effects on the existing structure.

## 3.1.0 Existing Streetscape

- 3.1.1 As documented in section 2.3 Heritage Statement English Heritage highlight the key feature of the Grade II listing is the overall appearance of the uniformity to the terrace.
- 3.1.2 This style and approach can be found in many areas throughout Fitzrovia and Bloomsbury. As stated within Bloomsbury Conservation area and as illustrated in the historical maps this terrace represent the last remaining terraces that was originally constructed in the mid 1750s. For this reason Camden is keen to preserve and retain these historical buildings that form a key townscape element to Huntley street.
- 3.1.3 Key to altering this building will involve respecting the plan form, massing, visual appearance and its townscape presence within the urban historical context.

## 3.2.0 Existing Access

- 3.2.1 The main existing access is off the main street it fronts on Huntley Street.
- 3.2.2 A Secondary entrance is located at basement level via an external metal staircase lightwell that is also accessible off Huntley street. This also provides access to the basement vaults located underneath the existing pavement on Huntley Street.
- 3.2.3 As mentioned in Section 2.2 the site has good accessibility to public transport including bus stops, tube stations and main line stations.
- 3.2.4 There is no suitable disabled access to the existing building. Three steps up into the main doorway is required and steps at ground level within the building exist to gain access to the rear yard space. No internal lift exist within the building.
- 3.2.5 Due to the existing building configuration and access, the existing entrance and external steps that will remain for heritage and townscape visual requirements will not allow for a disabled ramp or lift into the main entrance of the building. Disabled access via the external rear yard is not possible as no external rear entrance exists.



# 3.0 Design Analysis & Proposal

## 3.3 Architectural Merit and Appearance External Features (Front Elevation)

3.3.1 The key architectural features of 68 Huntley Street as illustrated in the preceding sections is the overall appearance of the terrace and its relationship as a whole entity.

3.3.2 The block elevation is modest and understated and apart from 70 Huntley street that has a complete white stucco render to Huntley street elevation. 46 - 68 Huntley street have an overall consistent character with each terrace house.

3.3.3 68 Huntley Street (Main elevation)  
Key features are:

- Arched fanlight over main entrance with timber panelled doors
- Cast Iron Staircase with railing to basement lightwell with access to pavement vaults.
- Stucco Sill band
- Timber sash windows recessed

### 68 Huntley Street (Rear)

3.3.4 The rear yard offers little space to view the existing property but key features are:

- Facing brickwork
- Timber sash windows recessed

3.3.5 This property is part of the original Bedford Estate and forms part of this Georgian Historic townscape. These townhouse are not exemplary or bespoke examples of dwellings of this area but represent a modest property from this period in time.

## Elevations Opportunities & Constraints

### Location Required work

**Brickwork** Brickwork carefully re-pointed & made good

Where required match existing within the existing context of brick material and colour

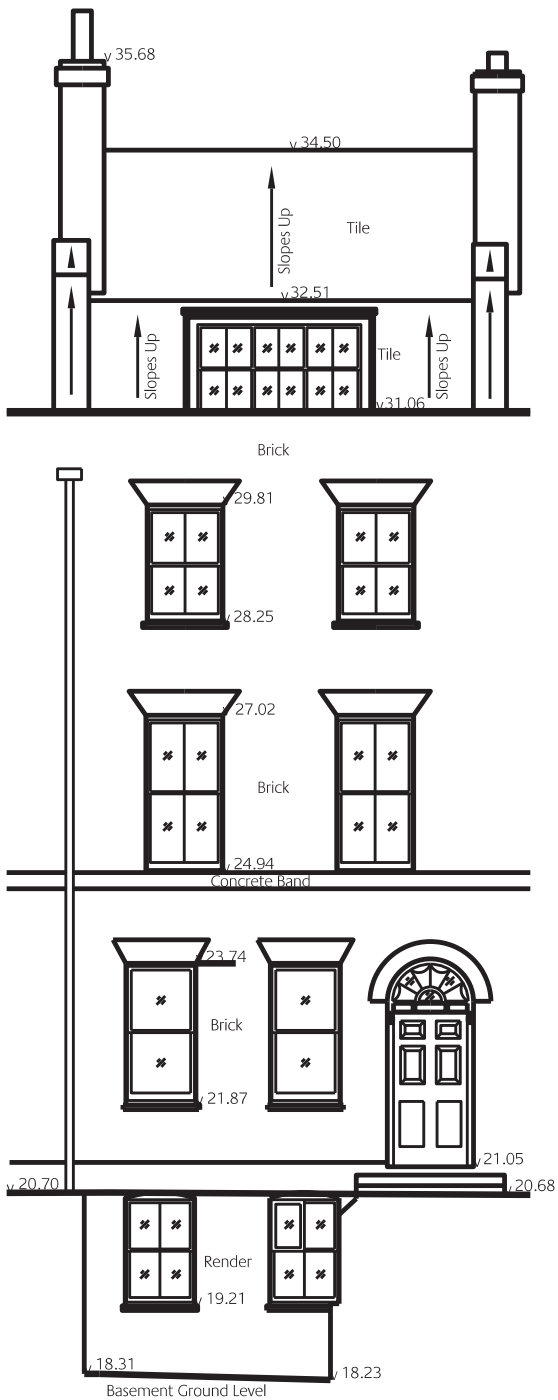
Damp proof course to basement area be assessed

**Windows** Existing Sash windows will require to be repaired, repainted and overhauled. If windows need to be replaced these will require site measuring and made to fit existing openings and match existing windows incorporating single glazing.

Sills will need to be repaired or replaced depending on existing condition.

**External Doors** All external doors to be overhauled and made good. Replacement ironmongery will be required.

**Roof** The existing roof will be renewed. Existing tiles where sound will be replaced and lead flashings renewed to ensure a weather tight roof.



Existing Front Elevation of 68 Huntley Street



# 3.0 Design Analysis & Proposal

## 3.4.0 Constraints & Opportunities

- 3.4.1 The following provides a list of constraints that apply to 68 Huntley Street.
- 3.4.2 The existing plans and photographs illustrate the key theme of the dwelling. These are the existing walls, door openings and staircase. The proposed new works needs to respond to these key themes by respecting the existing characteristics and layout. The existing layout provides a legible structure and order to the building.
- 3.4.3 The new proposed layout will respond to the existing building in a sensitive manner and try to restore the existing layout and room order that originally existed when the property was first constructed, but, to reflect current trends and tastes. The proposed new works will be kept to a minimum so as not to alter the fabric of the building. The existing features of interest will be made good and highlighted within the building.

## Opportunities

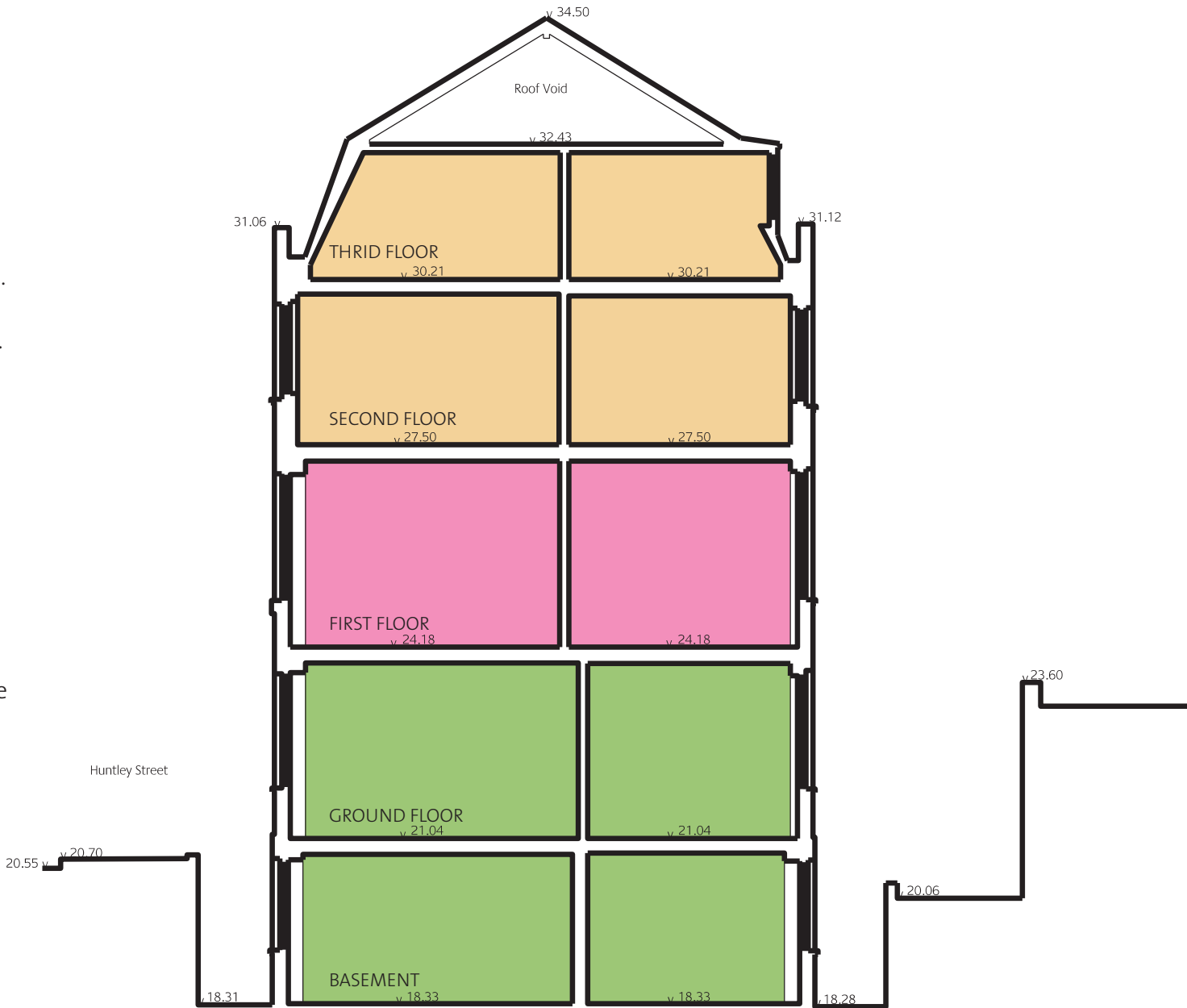
- 3.4.4 External elevations will be cleaned, the brickwork repointed where appropriate and the existing roof to be made good by replacing tiles.
- 3.4.5 Retain and enhance the use of existing rooms.
- 3.4.6 Sensitively reinstate services such as toilets, bathrooms and kitchens integrated within the existing building.
- 3.4.7 Original internal features that have been removed or damaged could be sensitively reinstated: thus enhancing the interior setting.

## 3.5.0 Proposed Development

- 3.5.1 The following illustrates the proposed works for 68 Huntley Street for which listed building consent is sought.
- 3.5.2 The proposed project will provide the following accommodation:
- 2 bedroom apartment at basement and ground floor levels.
  - Studio apartment at 1st floor level
  - 2 bedroom apartment at 2nd and 3rd floor levels.
- 3.5.3 This is based on the current configuration layout.

## Design Principles

- 3.5.4 The design principles for the proposed alterations at Huntley Street incorporate the key features that have been highlighted in the previous section of the report:
- These are:
- 3.5.5 Sensitive approach to internal alterations. Where possible reinstatement of these original features to enhance existing key features of merit.
- 3.5.6 Unsympathetic elements to be removed to enhance the existing setting and fabric of the building.



Existing 68 Huntley Street - Section shows proposed location for apartments.

- Key**
- Flat 1: 2 Bedroom Apartment
  - Flat 2: Studio Apartment
  - Flat 3: 2 Bedroom Apartment

# 3.0 Design Analysis & Proposal

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## 3.6.0 Commencement of Works

3.6.1 The plans following are as the property was as surveyed by Llewelyn Davies when it became vacant in June 2016. This report has photographs taken of flats 1, 2 and 3 by Llewelyn Davies.

## 3.7.0 Structural Principles

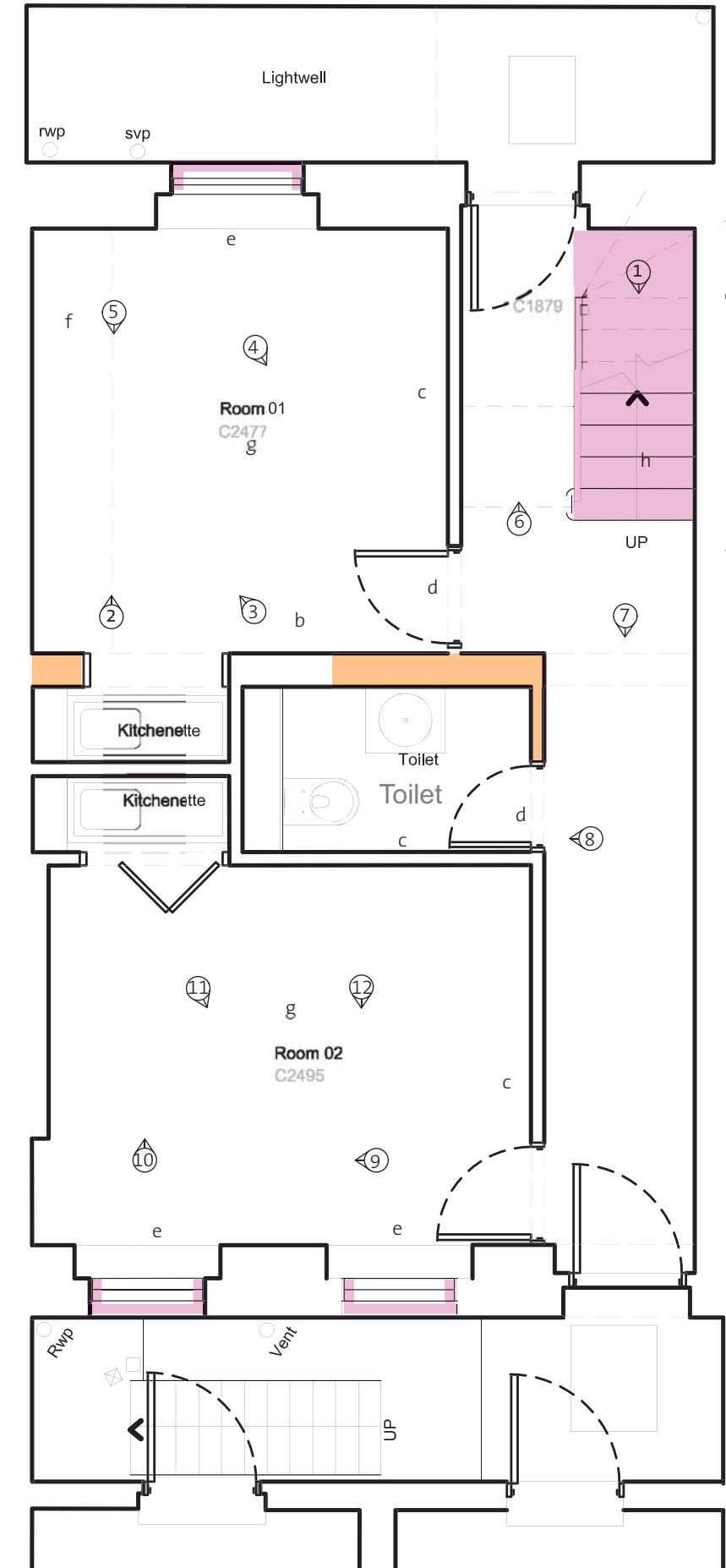
3.7.1 Steelwork will be installed at ground floor level in accordance with the attached AECOM analysis shown on page 41-45.

3.7.2 The purpose of the structural intervention is to cater for concerns about works to the spine wall at basement and ground floor levels affecting structural stability at upper levels as stated in the report. The steelwork is concealed within the zone of the spinewall.



# 3.0 Design Analysis & Proposal

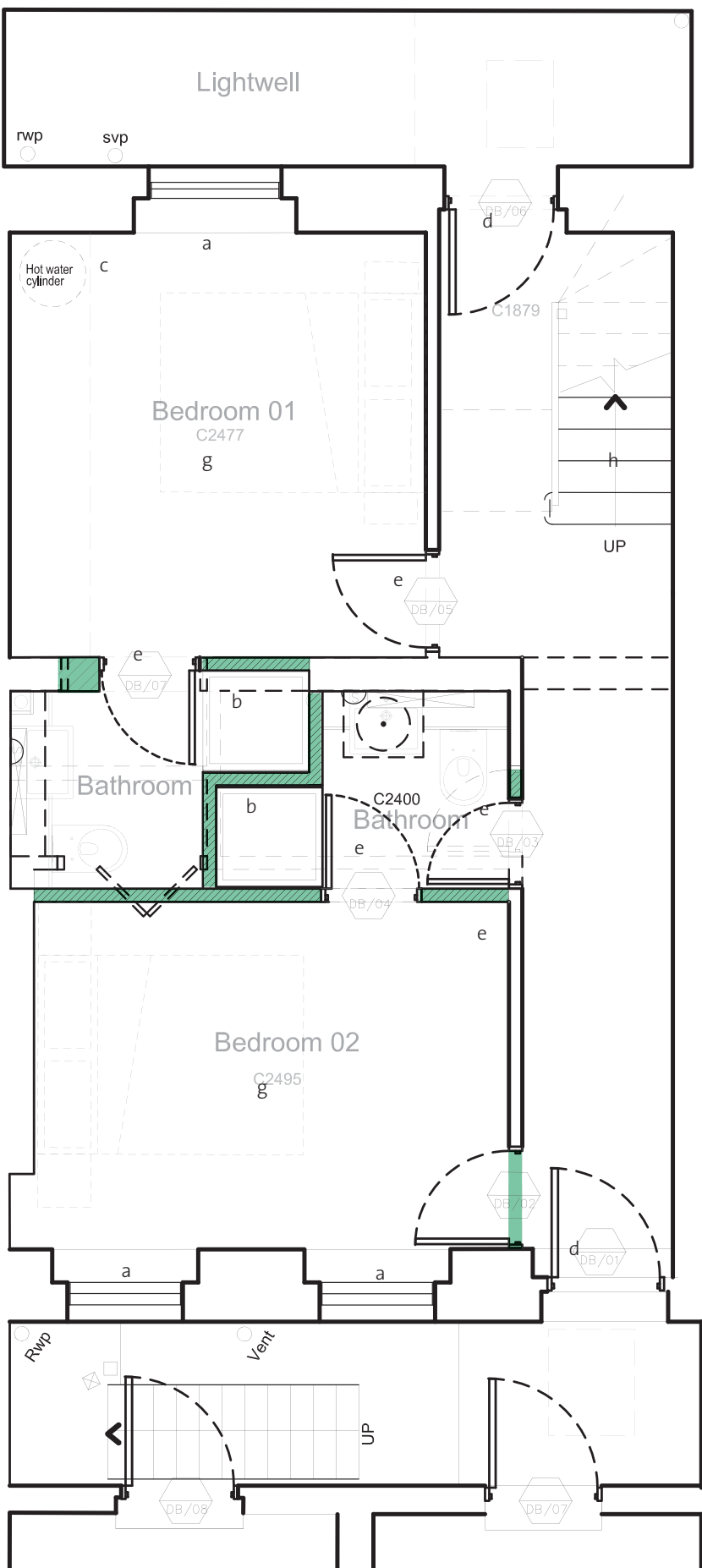
## 3.8.0 Existing & Proposed Basement Floor



### Legend - Existing

- 1 Vantage point to photographs taken on 09-06-2016
- a. Plasterboard and skim finish on timber studs
- b. Plaster on brickwork
- c. Plaster finish on non original blockwork
- d. Non original doors
- e. Radiator under window
- f. Bulkhead enclosing extract from bathroom
- g. Ceilings are plasterboard with no cornices
- h. Existing original stairs

Existing Basement floor Plan



### Key

- Original wall
- Features of Merit
- New studwork partition and door

### Legend - Proposed

- a. Repair up and down sash window to full working order
- b. New skim coat on plasterboard on timber stud partition
- c. Enclosure for hot water cylinder
- d. Doors to be refurbished and painted
- e. Other doors to be new timber panelled painted
- f. Architraves and skirting to be approved by Camden Planners
- g. Ceilings are to be made good
- h. Stairs and balustrading to be repaired and painted
- j. Proposed new finishes shown on drawing no: 68HS\_42\_02\_C1

Proposed Basement floor Plan

# 3.0 Design Analysis & Proposal

## 3.8.1 Existing Basement Photographs taken on 09-06-2016



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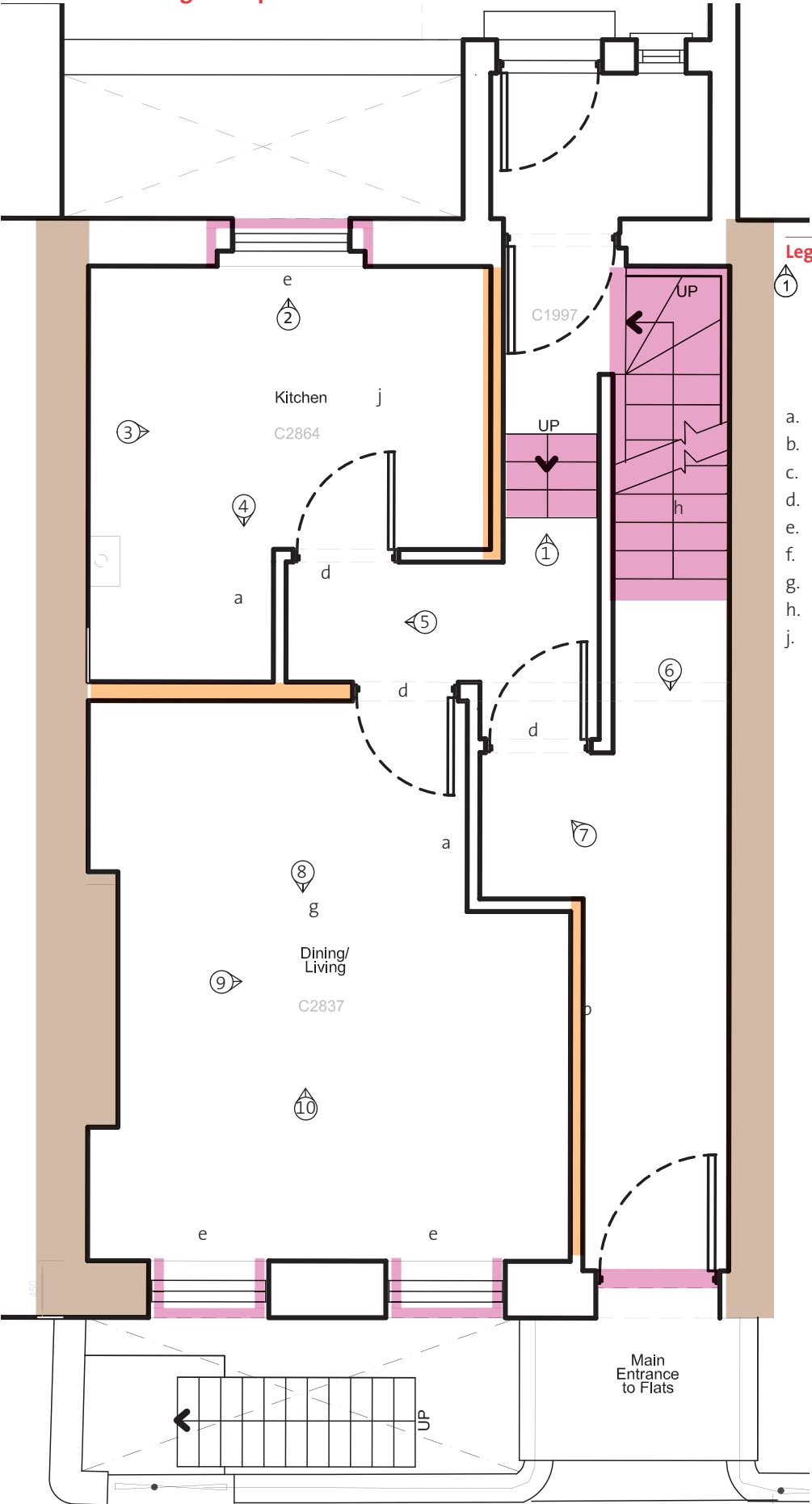
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# 3.0 Design Analysis & Proposal

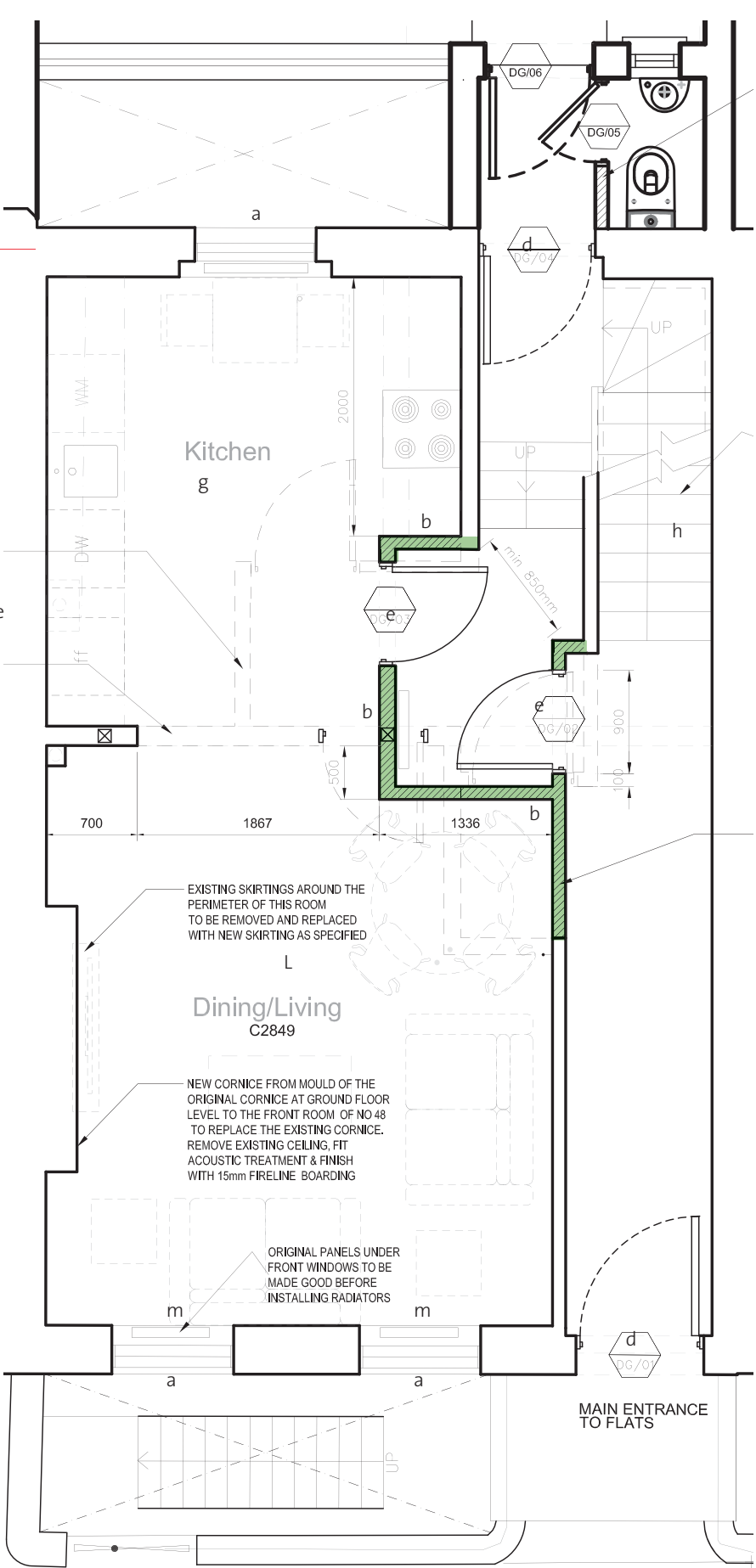
## 3.9.0 Existing & Proposed Ground Floor



Existing Ground Floor Plan

### Legend - Existing

- Vantage point to photographs taken on 09-06-2016
- a. Plasterboard and skim finish on timber studs
  - b. Lath and plaster
  - c. Plaster infill of original door opening
  - d. Non original doors
  - e. Radiator under window
  - f. Bulkhead enclosing extract from bathroom
  - g. Non original plaster board ceiling with cornice
  - h. Existing original stairs
  - j. Existing kitchen fittings.



Proposed Ground Floor Plan

### Key

- Original wall
- Features of Merit
- New studwork partition and door

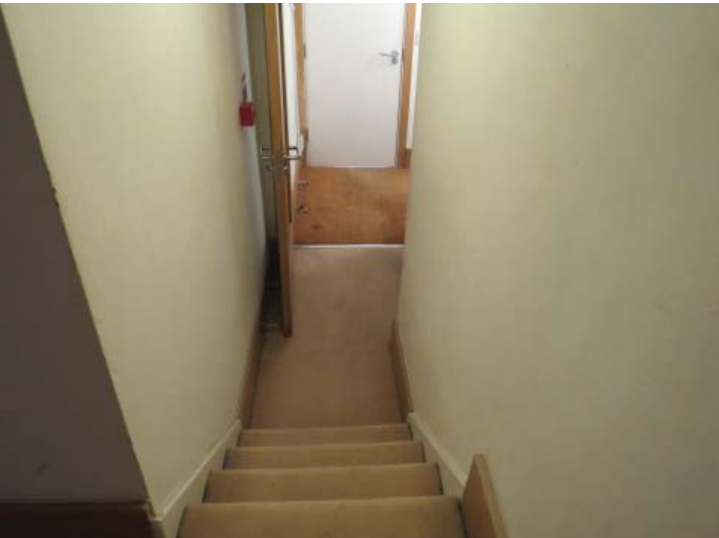
### Legend - Proposed

- a. Repair up and down sash window to full working order
- b. New skim coat on plasterboard on timber stud partition
- c. Enclosure for hot water cylinder
- d. Doors to be refurbished and painted
- e. Other doors to be new timber panelled painted
- f. Architraves and skirting to be approved by Camden Planners
- g. Ceilings are to be made good
- h. Stairs and balustrading to be repaired and painted
- j. Proposed new finishes shown on drawing no: 68HS\_42\_02\_C1
- k. Existing window and door to be repaired and redecorated
- l. New plasterboard ceiling with new cornice as template from original at 46 Huntley St
- m. Existing panels under windows to be repaired and redecorated



# 3.0 Design Analysis & Proposal

## 3.9.1 Existing Ground Floor Photographs taken on 09-06-2016



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2



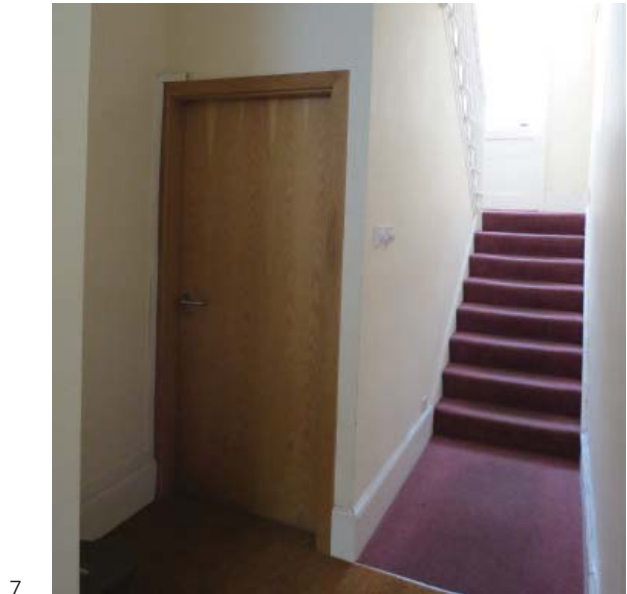
3



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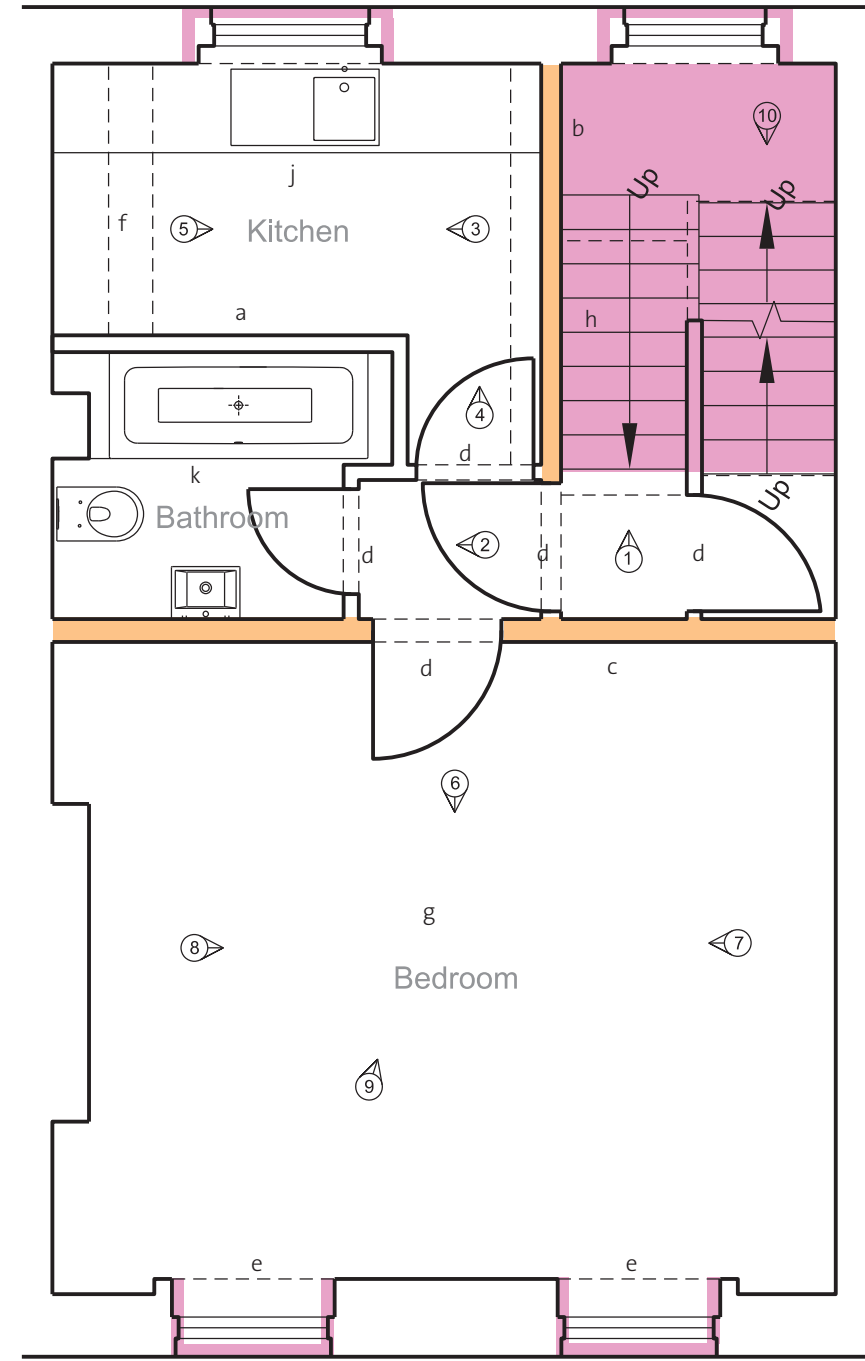
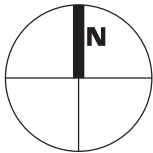
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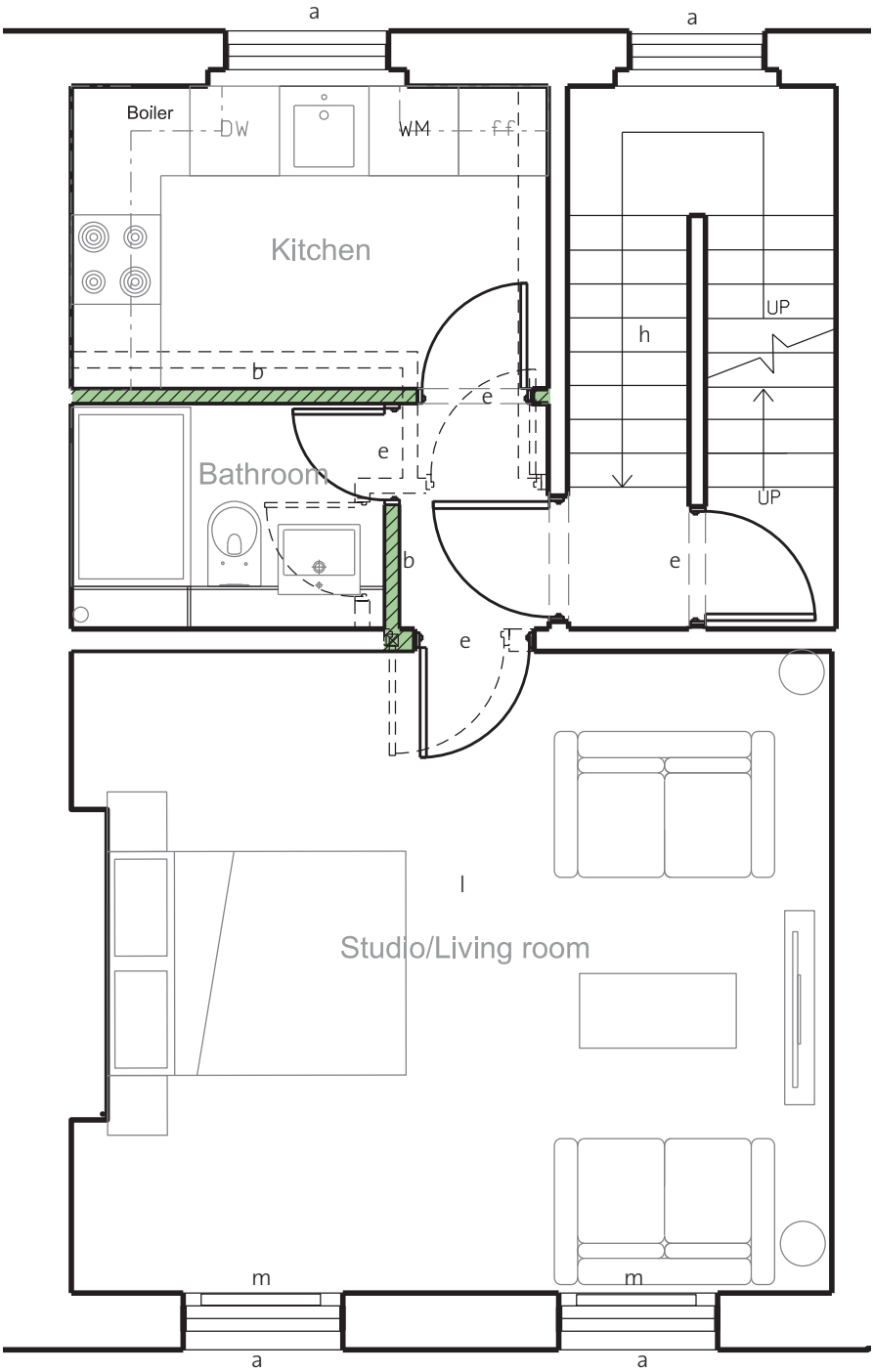
# 3.0 Design Analysis & Proposal

## 3.9.0 Existing & Proposed First Floor



### Legend - Existing

- ① Vantage point to photographs taken on 09-06-2016
- a. Plasterboard and skim finish on timber studs
- b. Lath and plaster
- c. Plasterboard infill of original door opening
- d. Non original doors
- e. Radiator under window
- f. Bulkhead enclosing extract from bathroom
- g. Non original plaster board ceiling with no cornice
- h. Existing original stairs
- j. Remove existing kitchen fittings and services
- k. Remove existing sanitary fittings, tiling, boxing and services



### Key

- Original wall
- Features of Merit
- New studwork partition and door

### Legend - Proposed

- a. Repair up and down sash window to full working order
- b. New skim coat on plasterboard on timber stud partition
- c. Enclosure for hot water cylinder
- d. Doors to be refurbished and painted
- e. Other doors to be new timber panelled painted
- f. Architraves and skirting to be approved by Camden Planners
- g. Ceilings are to be made good
- h. Stairs and balustrading to be repaired and painted
- j. Proposed new finishes shown on drawing no: 68HS\_42\_02\_C1
- k. Existing window and doors to be repaired and redecorated
- l. New plasterboard ceiling with new cornice as template from original at 46 Huntley St
- m. Existing panels under windows to be repaired and redecorated



# 3.0 Design Analysis & Proposal

## 3.10.1 Existing First Floor Photographs taken on 09-06-2016



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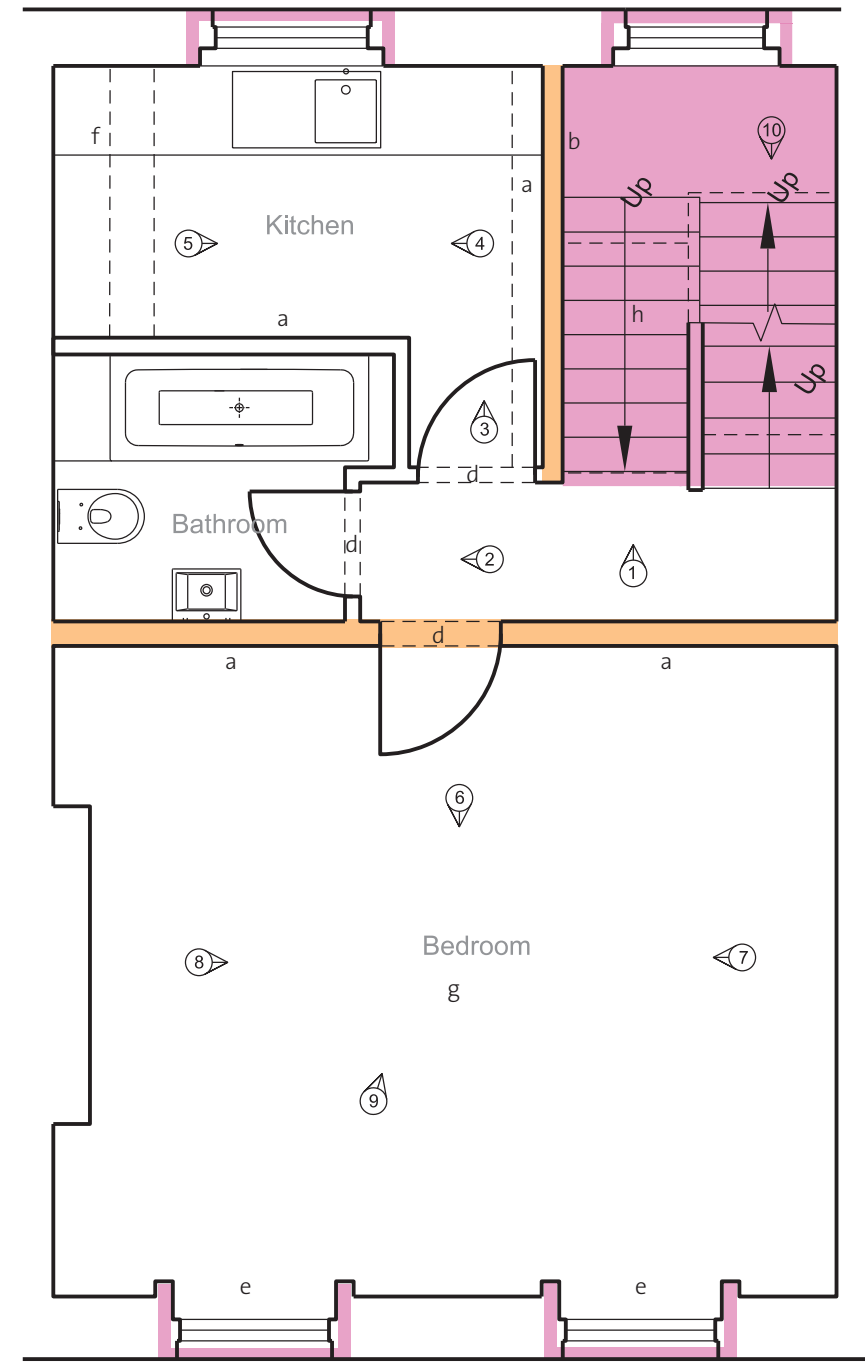
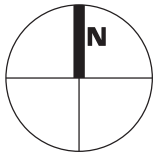
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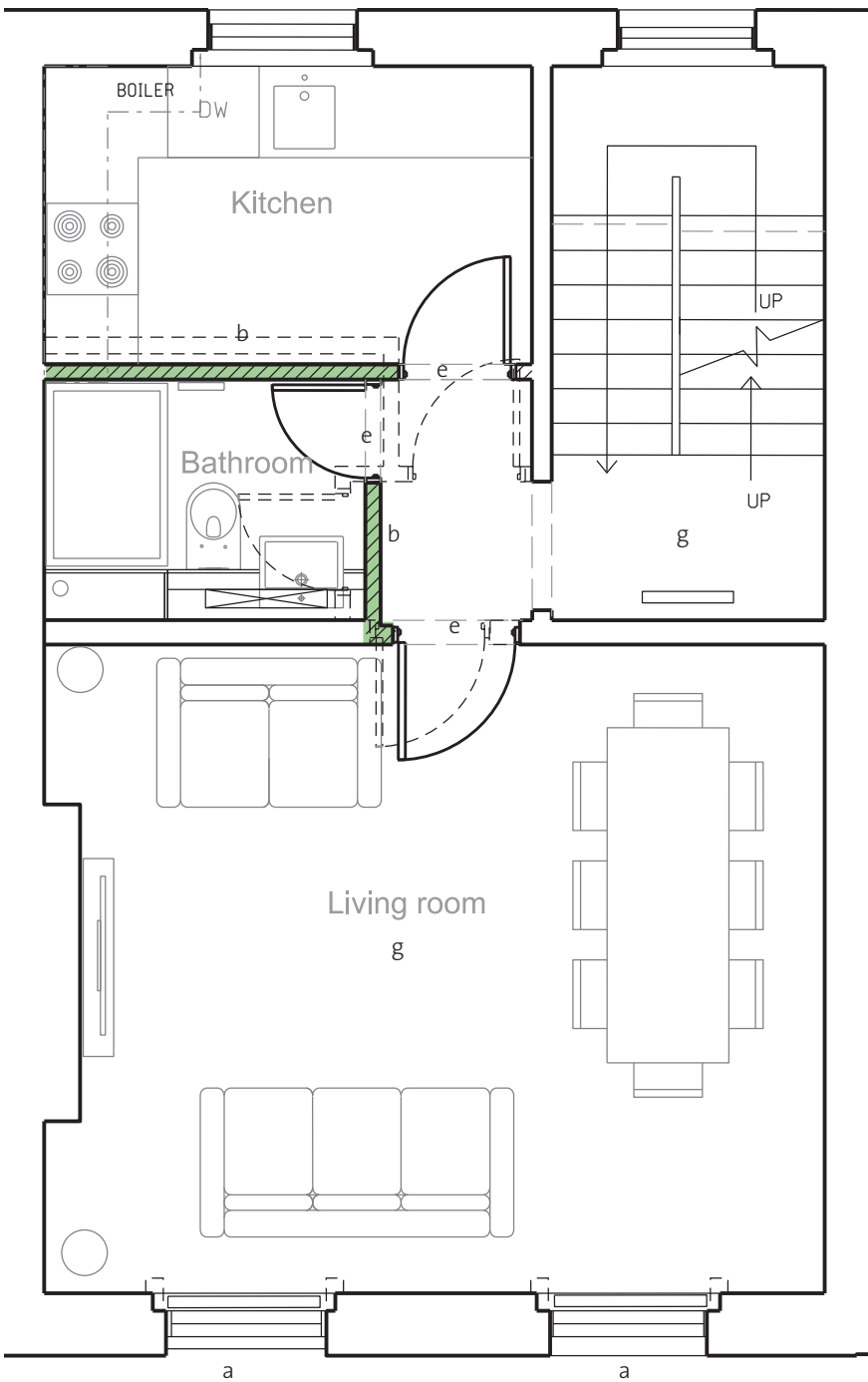
9

# 3.0 Design Analysis & Proposal

## 3.11.0 Existing & Proposed Second Floor



- Legend - Existing**
- ① Vantage point to photographs taken on 09-06-2016
  - a. Plasterboard and skim finish on timber studs
  - b. Lath and plaster
  - c. Plasterboard infill of original door opening
  - d. Non original doors
  - e. Radiator under window
  - f. Bulkhead enclosing extract from bathroom
  - g. Non original plasterboard ceiling with no cornice
  - h. Existing original stairs
  - j. Lath and plasterboard ceiling with no cornices



- Key**
- Original wall
  - Features of Merit
  - New studwork partition and door
- Legend - Proposed**
- a. Repair up and down sash window to full working order
  - b. New skim coat on plasterboard on timber stud partition
  - c. Enclosure for hot water cylinder
  - d. Doors to be refurbished and painted
  - e. Other doors to be new timber panelled painted
  - f. Architraves and skirting to be approved by Camden Planners
  - g. Ceilings are to be made good
  - h. Stairs and balustrading to be repaired and painted
  - j. Proposed new finishes shown on drawing no: 68HS\_42\_02\_C1
  - k. Finishes to existing extension to be made good and redecorated



# 3.0 Design Analysis & Proposal

## 3.11.1 Existing Second Floor Photographs taken on 09-06-2016



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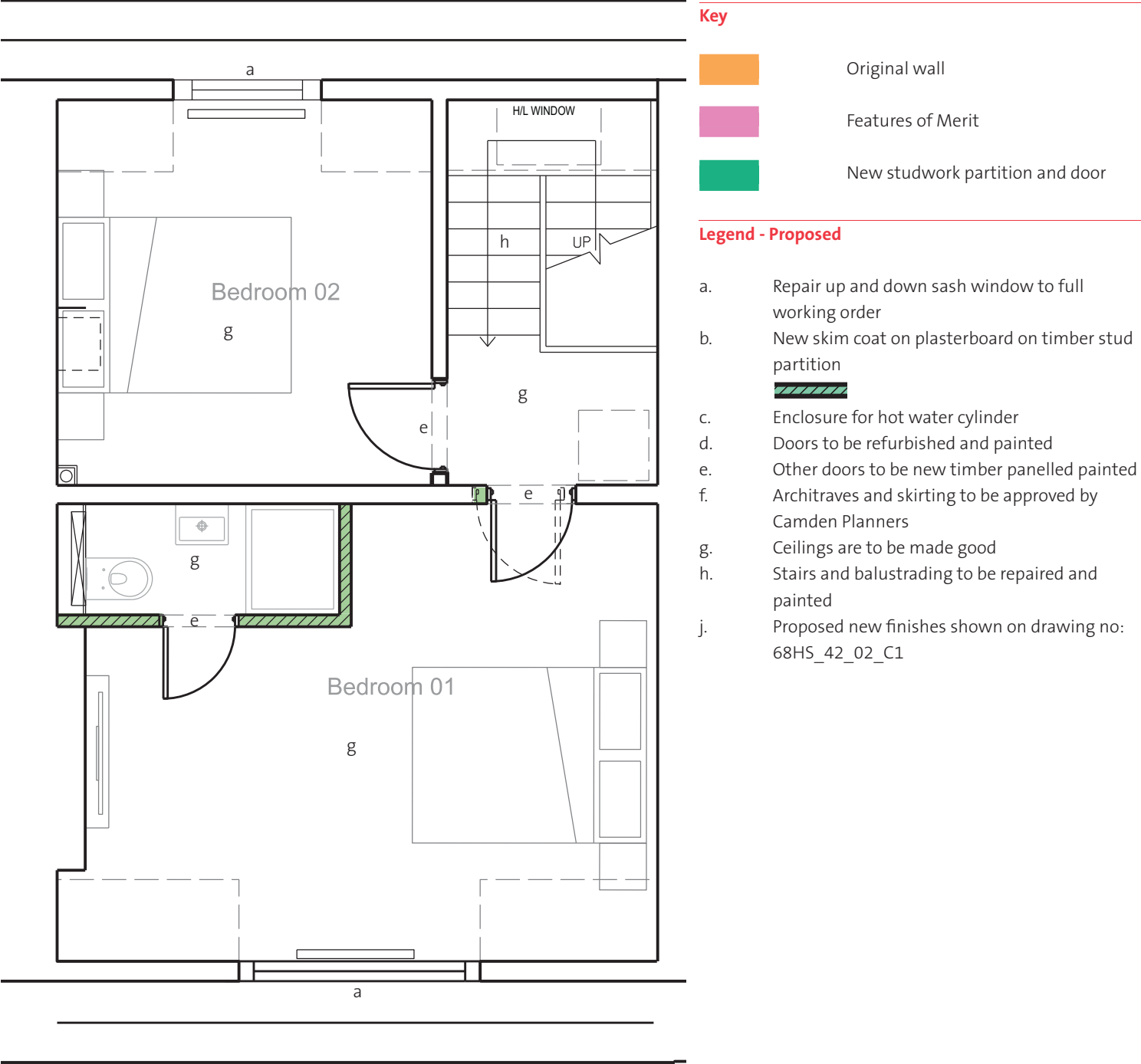
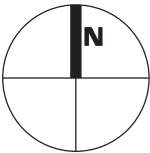
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# 3.0 Design Analysis & Proposal

## 3.12.0 Existing & Proposed Third Floor





# 3.0 Design Analysis & Proposal

3.12.1 Existing Third Floor Photographs taken on 09-06-2016



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