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125 DOC B4
Design & Access Statement

39 Great James Street, London, WC1N
Rev B | November 2016

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Cover Image
Great James Street, 1966.
Courtesy of London Metropolitan Archives.

1.0 Introduction

This design & access statement, together with the drawings and associated documents, sets out detailed proposal for works to No. 39 Great James Street. These proposals are intended to return the building to use as a home.

This document focuses on the following items:

- Change of use of the existing building from an ‘office at basement and ground with residential flats’ to a single family home.
- Restoration and repair of external façades and the ground, first and second floor historic interiors.
- Contemporary refurbishment of lower ground and third floor.
- A contemporary rear extension.
- Creation of a courtyard garden space.

This design and access statement should be read in parallel with the existing and proposed drawings, the Heritage Statement, Room by Room Photographs and the Schedule of Proposed Works.

2.0 Context

No 39 Great James Street is a four storey, over basement townhouse located within the Bloomsbury Conservation Area, sub area 10. It is also Grade II* listed and included in Historic England’s register for heritage at risk.

It is part of a row of 14 similar townhouses constructed from 1720, which are some of the oldest surviving buildings in south-east Bloomsbury. These face an almost identical row on the opposite side of the street. Defined as the ‘third sort’ under the 1667 Rebuilding Act, this typology of house was reserved for principle streets and built for the upper-middle classes.

Great James Street is described as a secondary extension of the wider tree-lined Bedford Row, to its south. Together with Milman Street to its north, these three streets follow a classical hierarchy set out by the speculator and



Fig.2a Map of Great James Street and surrounding roads. Bing.

 Great James Street.

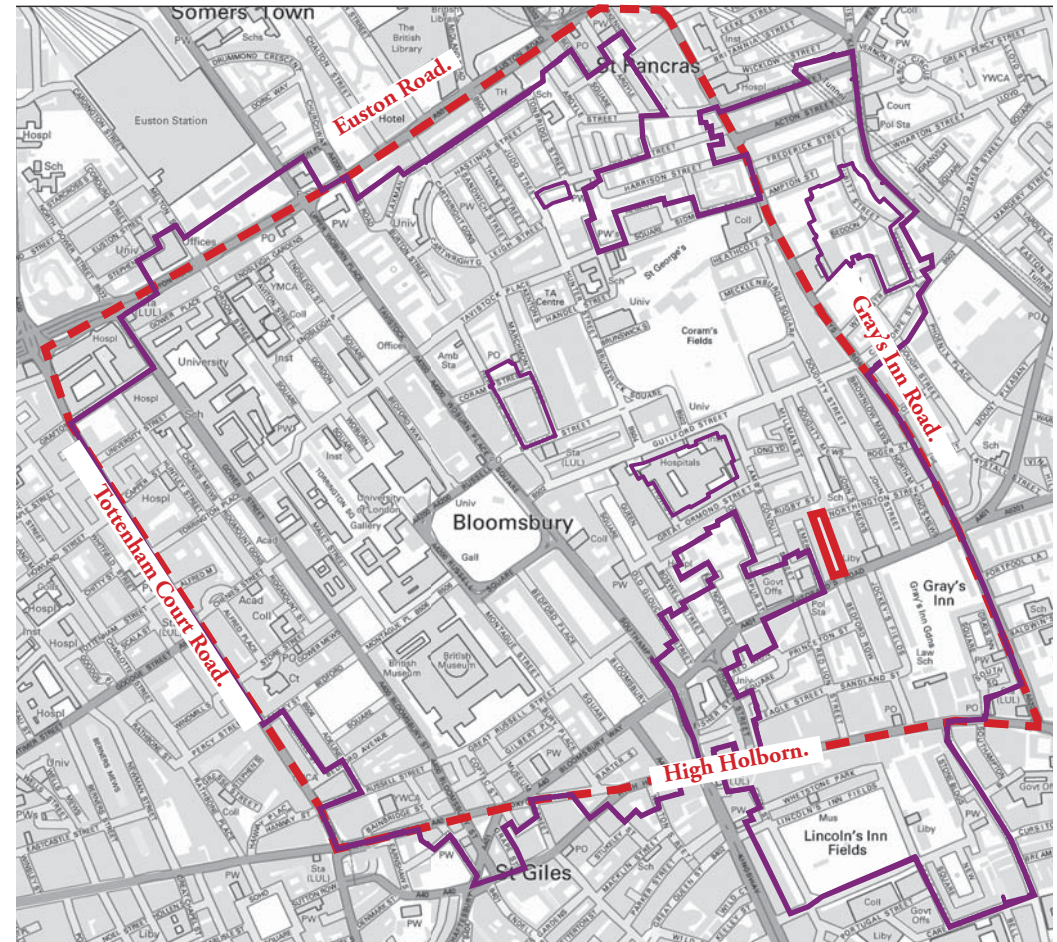




Fig.2b Bloomsbury Conservation Area. BCAA.

 Bloomsbury approximate boundary.
 Bloomsbury Conservation Area boundary.

developer Nicholas Barbon, who built Bedford Row in the 1710s.

The street was named after James Burgess, who developed it with George and Francis Brownlow–Doughty; the owners of the estate on which the street was built. No. 39 is believed to have been built for a John Metcalfe.

Today the street scene remains mainly intact, having escaped the worst of WWII bombing that destroyed most buildings to its west. Many surrounding streets are dominated by 20th century structures, including Emerald street which runs along

the rear of the proposed site. The modern apartment building, Cara Court (see Section 2.2) backs on to the rear of the site. The most noticeable nearby modern building is the Holborn Police Station, which towers over the local area.

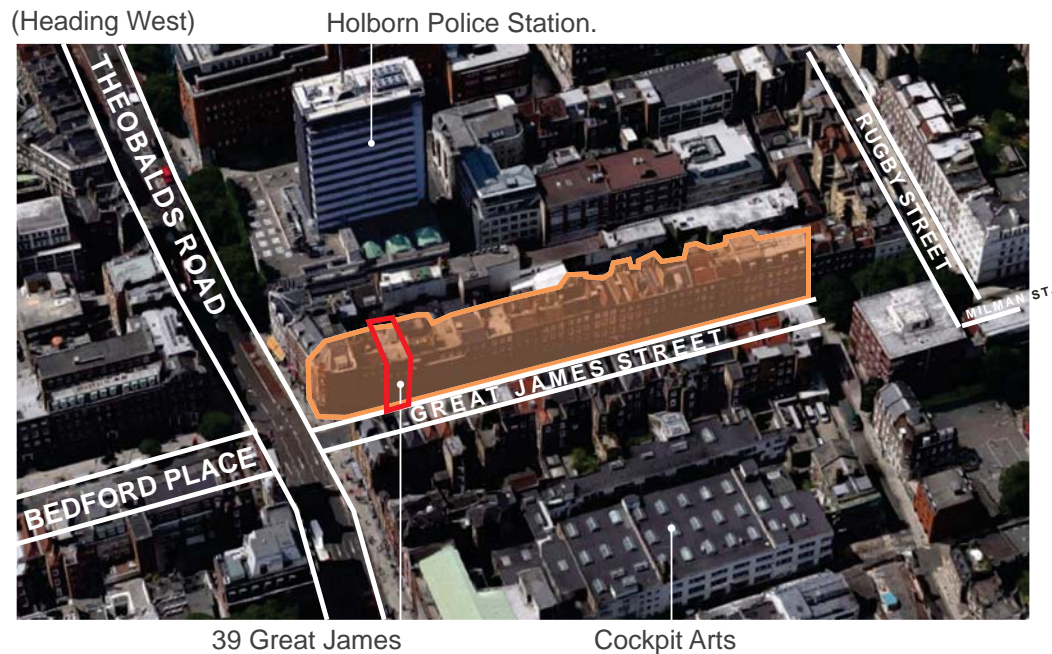


Fig 2c. Aerial view of Great James Street and the surrounding area. Google.

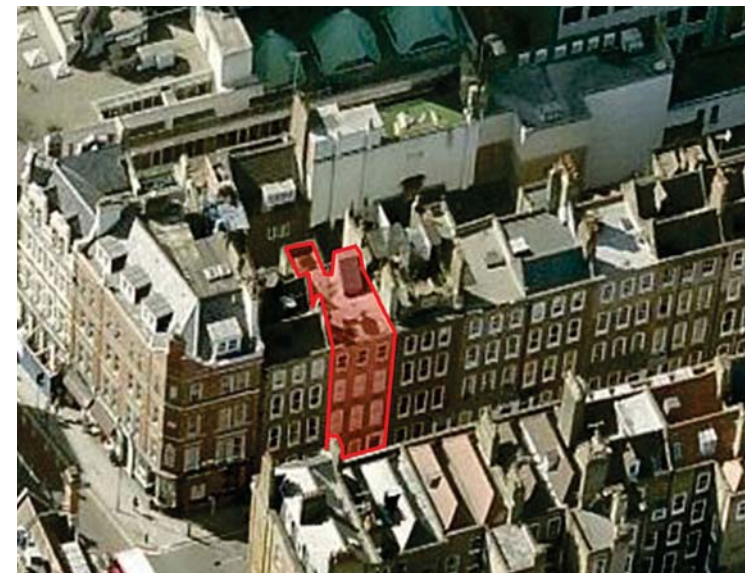
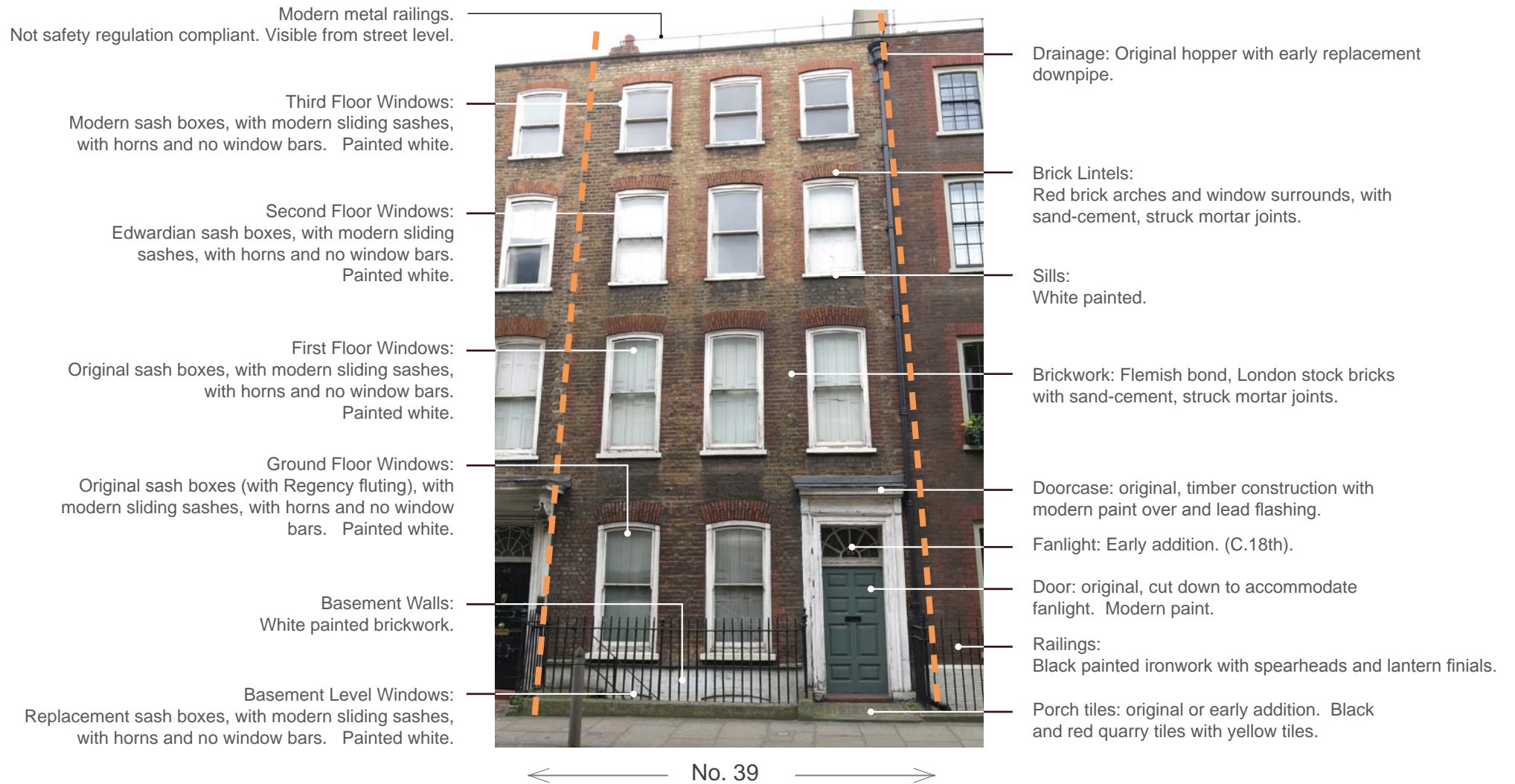


Fig. 2d. Aerial view of 39 Great James Street and its neighbours. Google.

2.1 Front Elevation.

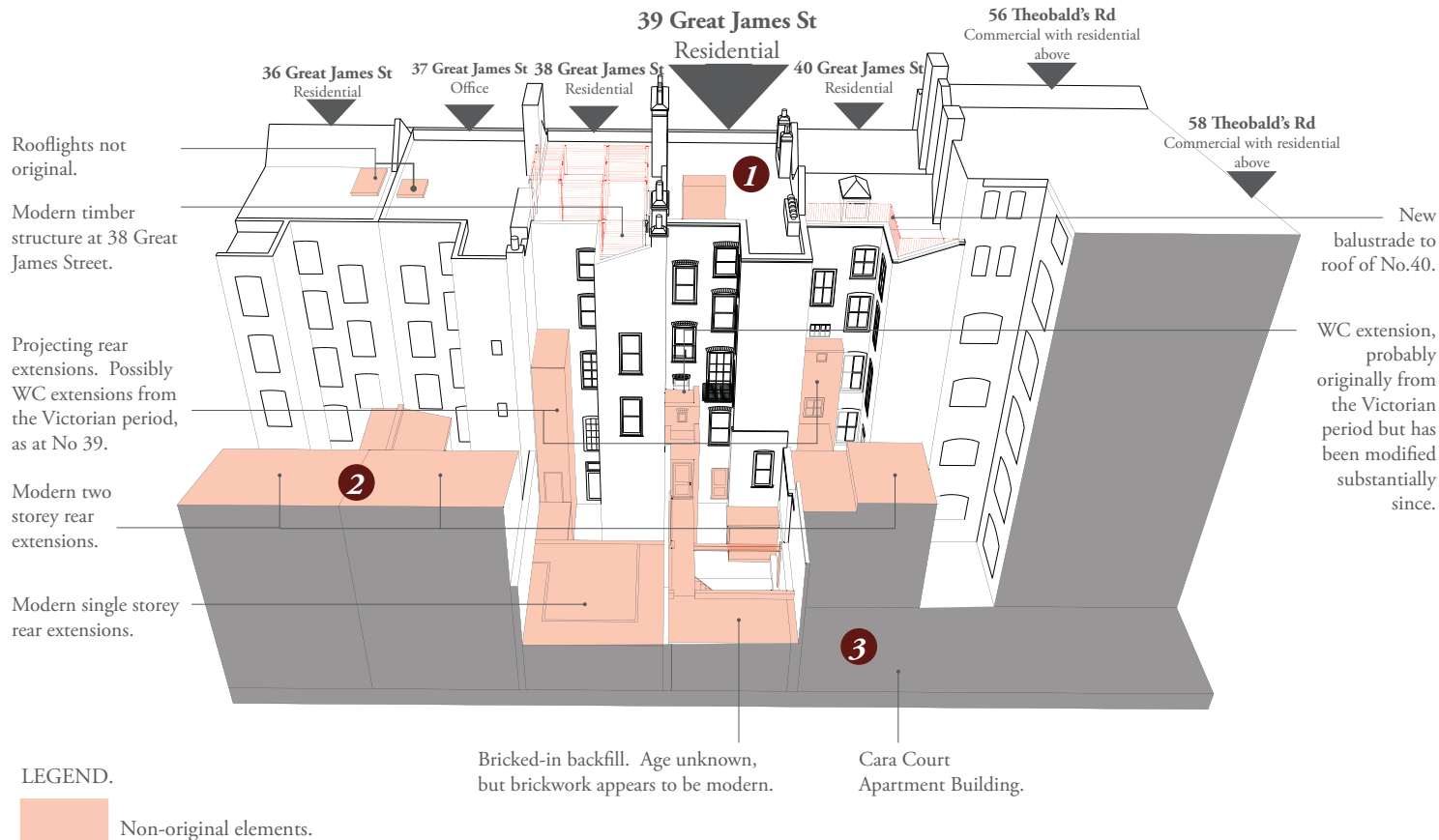
The street scene remains in principle, as originally designed. The defining local characteristics are noted in the image below and are reviewed specifically for No. 39 on the following page.



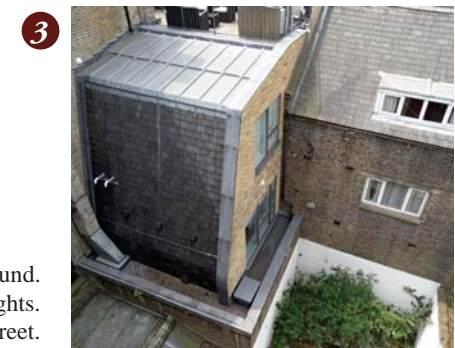


2.2 Rear Elevation.

Unlike the front elevation, the rear elevation of No.39 has been significantly modified over the lifetime of the building. This has also occurred across the row with most gardens now occupied by additional accommodation. On the following page there is a more detailed view of the rear elevation and garden of No.39. Below is a broader view of the extensions across the row.

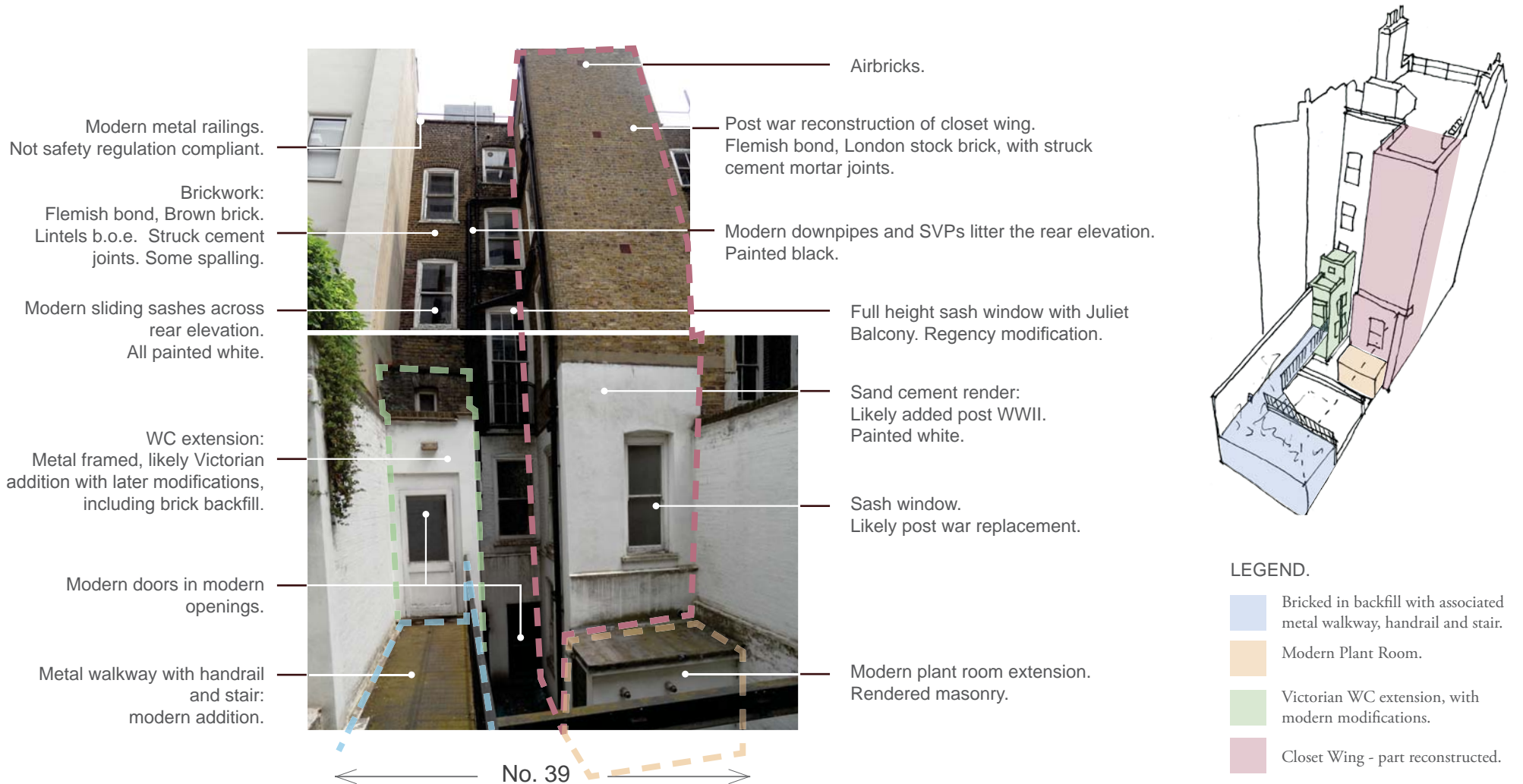


1. A view of the roof access at no. 39 and the roof terrace at no.38. Holborn Police Station is in the background.
2. A view northwards along the rear of no.38 to no.28, showing a variety of rear extensions and roof lights.
3. A view of the rear garden of no. 39 and the rear of Cara Court (No. 2) and No. 4 Emerald Street.



There are three existing extensions at the rear of no. 39 that were not part of the original building. Firstly, a WC extension that is probably Victorian in origin, but has been modified in modern times and no longer retains any elements of historic value. Secondly, a modern plant room that has no heritage value. Thirdly, a bricked in area of backfill at the rear of the site, with an associated metal walkway, railings and stair. This also has no heritage value.

The closet wing, which is part of the original building design, has been rebuilt from ground/first floor level to the roof. This probably occurred after WWII as a result of bomb damage.



2.3 Planning History and Use Designation

No. 39 Great James Street was originally built as a single family dwelling. Occupation patterns indicate that by the mid 19th century the building was used as a multi-occupancy dwelling and probably for commercial purposes as well (see Heritage statement for details). The ground and basement floor was classified as B1 before a change of use application in 1996.

A planning application from 1963 (see associated drawing, right) shows the main roof was demolished to create more head height to the third floor accommodation. It also shows that there was already a flat roof on the closet extension at this time, which was probably constructed earlier in the 20th century following WWII bomb damage.

As indicated by the planning history of the property, a planning application for works to convert the building into a basement flat with a house above was granted permission in 1996. Although the scheme was not completed and no tenants moved in, the work was partly finished. The completed works include the making good of the historic building fabric, the construction of a kitchen and bathroom and the installation of building services.

This application looks to return the use of the building to a single family home.

20th Century

- 1957 – The use of first and third floors for commercial purposes. (8045/25784(1958). **Refused**
- 1958 – Use of the ground floor. (W/M/1298). **Refused**
- 1960 – The conversion of the first, second and third floors into three flats. (TP80451/11885). **Conditionally approved.**
- 1963 – The erection of a structure at the rear and alterations to the roof. (TP80451/10257). **Granted**
- 1971 – New door opening on first floor, to unite the two premises. at 39/39 (HB301). **Conditional**
- 1995 – Demolition and alterations involving change of use from B1 office and residential upper floors to family house with basement flat (9501752). **Withdrawn**
- 1995 – Demolition and alterations involving change of use on ground and basement and residential flats to single family dwelling house and basement flat (9501752R1). **Withdrawn**
- 1996 – Change of use from B1 office use on ground and basement and residential flats to single family dwelling house and basement flat, (9501752R1). **Granted.**
- 1997 – Submissions of details of various alterations, including elevations, joinery, external rear metalwork, new brickwork & pointing of brickwork & temporary security (LS9704558). **Granted.**
- 1998 – Erection of a new steel staircase to front well area, involving re-use of existing front gate to railings. (LS9804277). **Granted.**

21st Century

- 2011 – Erection of a full width, single storey rear extension at basement level with green roof and terrace above (2011/3027/P). **Granted.**
- 2011 – Works associated with erection of full width, single storey rear extension (2011/3030/L). **Granted.**
- 2011 – Details pursuant to condition 2 of permission granted on 13/09/2011 (2011/5836/P). **Granted.**
- 2012 – Erection of a single storey rear extension at basement with newly created courtyard, new staircase enclosure between basement & ground floor; installation of light well to rear elevation at basement level; installation of new infill extension to rear at 1st floor level; installation of balustrade at roof level; alterations to fenestration at 2nd floor level; associated internal alterations to include new layouts; removal & addition of partitions to dwelling house (Class C3) (2012/5170/L). **Withdrawn.**
- 2012 – Erection of a single storey rear extension at basement level with newly created courtyard; new staircase enclosure between basement and ground floor, installation of a light well to rear elevation at basement level; installation new infill extension to the rear at 1st floor level; installation of balustrade at roof level; alterations to the fenestration at 2nd floor level; associated internal alterations to include new layouts; removal and addition of partitions to dwelling house (Class C3) (2012/5463/P). **Withdrawn.**
- 2013 – Erection of a single storey rear extension at 1st floor level (2013/6429/P). **Granted.**
- 2014 – Internal & external alterations associated with rear extension (2013/6431/L). **Granted.**
- 2016 – Removal of steel walkway and rear most cross wall and infill at rear basement yard area; construction of single storey extension at basement level with a green roof at rear ground level; forming a new rear access stairway from basement to ground level; forming new balustrading and associated internal alterations (2015/6926/L). **Granted.**

2016 –

Removal of steel walkway and rear most cross wall and infill at rear basement yard area; construction of single storey extension at basement level with a green flat roof at rear ground level; forming a new rear access stairway from basement to ground level; forming a new balustrade and associated internal alterations. (2015/6926/P). **Granted.**

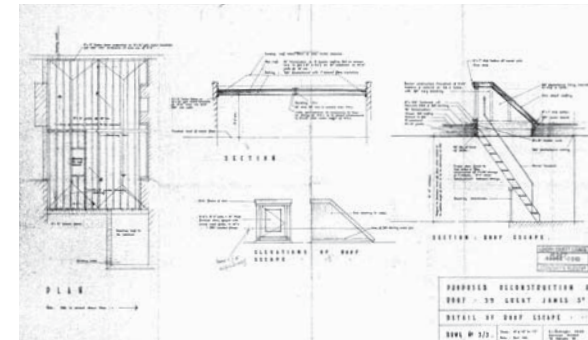


Fig 2e. 1962 application drawing for alterations to the main roof. TP80451/11885

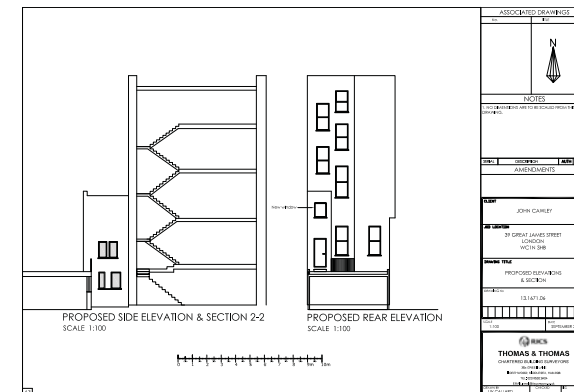


Fig 2f. 2013 application drawing for alterations to WC wing.

2.4 Planning Precedents.

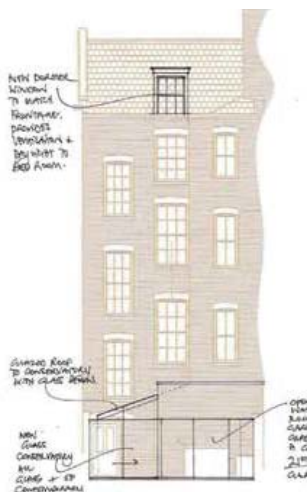
The following recent applications for extensions and modifications to neighbouring buildings along Great James Street have been granted planning permission.



14 Great James Street

'Erection of a two storey rear extension at lower ground and ground floor level, with a terrace and meeting room at first floor level following demolition of the existing two storey extension, alterations to rear facade, associated internal restoration and erection of dormer and terrace at rear roof level'

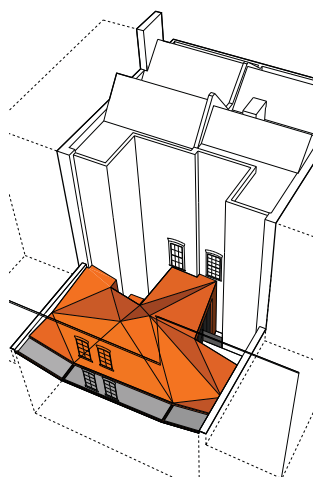
Latis, May 2015.



28 Great James Street

'Change of use and conversion from current mixed use to residential, to be used as a single dwelling; undertake sympathetic refurbishment works; a glazed extension and new fenestration to the rear elevation; remodelling of the third floor to make use of the loft space.'

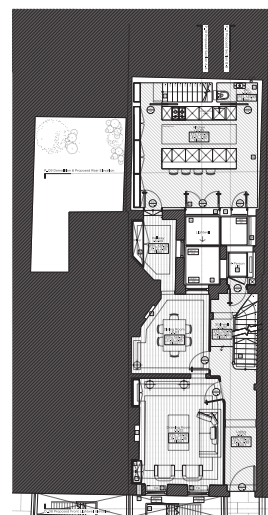
Chris Dyson Architects LLP, April 2014.



32-33 Great James Street

'This proposal rationalizes the office accommodation on the ground and lower ground floors of the property with the upper floors remaining unaltered.'

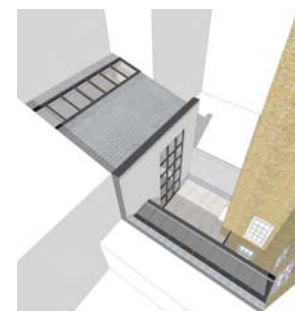
Emrys Architects, Feb 2012.



35 Great James Street

'Change of use and refurbishment of the property from B1 office use to C3 residential use, to provide a single family dwelling.'

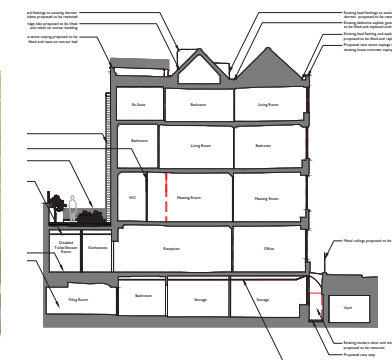
Marek Wojciechowski Architects, July 2015.



36 Great James Street

'Redecoration and restoration of existing historical fabric; rebuilding and extension of the later addition annex building and rebuilding of the link to provide new kitchen and family room; updating of mechanical and electrical services in line with the needs of modern requirements.'

Quinn Architects, December 2015.



40 Great James Street

'No.40 will be redecorated and an apartment introduced into the basement. Offices & meeting rooms will introduced on the ground and first floors. The 2nd and 3rd floor will retain residential use. The modern kitchen on ground floor will be replaced with a terrace.'

Iceni Projects LTD, July 2015.

3.0 Design

The proposed design includes elements of restoration, renovation, refurbishment and extension, to return No.39 to a single family dwelling suitable for 21st century living. A room by room schedule of proposed works is supplied in a separate document (see 125/DOC/7), included with the planning submission. The following section provides a general overview of the proposals. These can be broadly divided into:

1. Historic Elements: Restoration and repair.
2. Contemporary Elements: Renovation, refurbishment and extension.

This section should be read in close conjunction with the submitted drawings and heritage statement.

3.1 Historic Elements.

The historic elements of the building are reviewed in detail in the heritage statement, and are found in the following areas:

- The front elevation.
- The rear elevation (including the closet wing but excluding modern extensions).
- Ground floor interiors.
- First floor interiors.
- Second floor interiors.

3.1.1 Front Elevation

The front elevation is, in principle, as originally designed, but has lost some of the finer detailing that differentiates Georgian townhouses from later Victorian and Edwardian types. Most noticeably, this includes the original sliding sash windows (with window bars) and tuck pointed brickwork. The proposals therefore include a detailed renovation and restoration of the front elevation, to return the building closer to its original design.

Brickwork

The brickwork is in fair condition with some accumulated dirt under the window sills (see photos in section 2.1). The mortar joints have been re-pointed with struck cement. These joints will be raked out and replaced with lime mortar. The joints will be tuck pointed, similar to No. 31 (seen right).

At basement level the brickwork is currently painted. This paint will be removed and replaced with a mineral based, breathable masonry paint, coloured off-white.

Windows

The sliding sashes are not original. Authentic replica sliding sashes, with no horns and with window bars, will be installed in repaired and repainted, off-white sash boxes.

Door

The main entrance door, door case and fanlight will be repaired and redecorated with heritage paint. The porch tiles will be lightly cleaned and repaired.

Ironwork

The metal railings, downpipes and hopper will be repaired and repainted as required.



Existing.



Proposed.



Fig 3a. Example of restored tuck pointing and sash windows with authentic window bars at no.31 Great James Street.



Fig 3b. Example of tuck pointing.

3.1.2 Rear Elevation.

The rear elevation has undergone many modifications since it was first constructed. This includes a number of extensions and some adjustment to the original openings.

Brickwork

The brickwork is in fair-to-poor condition. It has also been re-pointed with cement mortar and the bricks are spalling in places. Damaged sections will be repaired and carefully colour matched to the existing brown-bricks. The pointing will be repaired locally, as required.

Painted lower sections of the brickwork will be repaired as the front elevation.

At lower ground and ground level the walls of the closet wing have been rendered with sand-cement render. This will be removed and lime render will be applied.

Windows

All sliding sash windows (excluding W1-5) will be repaired and restored as the front sash windows. The full height Regency window (W1-5) will be carefully repaired and repainted, along with the associated Juliet balcony railing.

Modern Extensions

There are two extensions at the rear of the building that detract from its heritage value. The first is a modern plant room at the base of the closet wing. This will be demolished. The second is an area of bricked-in backfill at the rear of the site, with an associated metal walkway, railings and stair. This metal walkway, railings and stair will be removed.

There is also a 2 1/2 storey WC extension projecting from the main rear elevation. Although perhaps Victorian in origin this structure has many modern modifications and no elements of significance remain. It is also decaying, relates poorly to the host building and provides ill proportioned interior spaces. It is also proposed this be removed as part of the works.

All these structures (excluding the backfill) will be replaced with a contemporary two storey extension, discussed in Section 3.2.

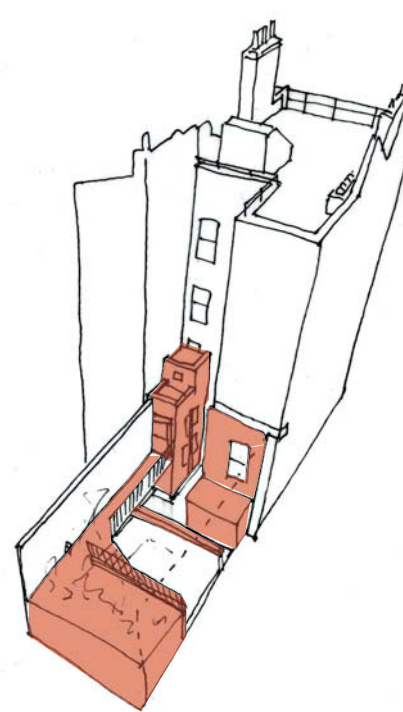


Fig 3c. Existing
Sketch of existing extensions scattered across the rear of the site. All are proposed for removal.

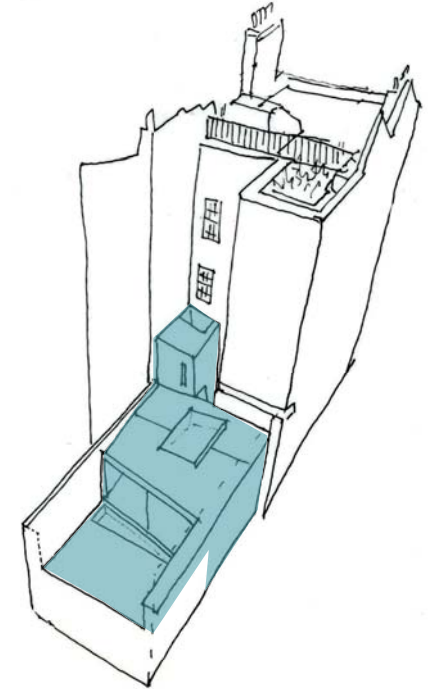


Fig 3d. Proposed
Sketch of proposed single, coherent extension at the rear, discussed in more detail in section 3.2.

3.1.3 Ground, First & Second Floor

These three levels retain many original and later historical features. It is therefore proposed that these spaces be carefully restored.

Internal arrangement

The internal spaces have been planned in a manner that reflects their original purpose when first constructed, as much as is practicably possible. This is based on research into typical interior arrangements of buildings of the period, as no original plans exist on record.

Ground Floor

On the ground floor the front room is returned to a dining room. The rear room, which may have been an informal dining space, is converted to reception room. The closet wing space, which may have been a serving room, will become an 'ante room' between the contemporary kitchen and reception room. An existing window, which contains a modern sash, will be extended to provide access. This new access allows the kitchen to be located within the proposed extension and not in the original house. This approach means that kitchen units do not need to be installed within the existing timber panelled rooms and associated services for the kitchen do not need to be installed within the listed building. Extending the window opening is therefore much less intrusive than locating the proposed kitchen within the existing building.

First Floor

On the first floor – the principle floor – the front room will be restored to a living room. The rear space, which may have originally been an informal parlour, will become a study/office space. The closet wing space no longer contains any original features and will be transformed into a library.

Second Floor

On the second floor, a master bedroom will be restored in its originally intended location. The rear room is converted into a dressing area serving the master bedroom. The closet wing, which no longer retains any historical features, will be converted to an en-suite bathroom.

Within the closet wing is an existing service riser that will be utilized to minimize intrusive works for services.



Fig 3e. *Example of Georgian restoration in Bloomsbury.*
Prewett Bizley Architects.



Fig 3f. Image courtesy of Laurel Bern Interiors.



Fig 3g. *Example of Georgian restoration.*
Image courtesy of RT Architects.

Walls

The majority of the walls are panelled (with the exception of the closet wing on first and second floor). Some of this panelling is original and other elements are historical or modern modification and additions (see the Heritage Statement for details). Regardless, all the panelling will be light sanded and repainted. A small section of panelling in the ground floor closet extension will be removed. It is believed this panelling was installed following the post war repairs to the rear of the building.

Floors

All the floors have been boarded over with hardboard. This will be removed and the existing floor boards beneath will be lightly sanded, repaired and oiled.

Ceilings

Plasterboard ceilings have been installed throughout. These will be lightly sanded and repainted. Existing coving will be repaired as required and repainted.

Chimney pieces

There are five existing chimney pieces on these three levels that are in a varying condition and date from the 18th–20th century. All will be restored. There are also three chimney peices that have been boarded over. These will be reinstated.



Fig 3h. 39 Great James Street.
Existing interiors on First floor showing double doors from the 1970s.



Fig 3i. 39 Great James Street:
Boarded over chimney piece, ground floor closet wing.



Fig 3j. *Restored Georgian Interior, Soho.*
Image courtesy of Location Works.



Fig 3k. *Example of Georgian restoration at the Handel Museum, London.*
Image courtesy of www.artfund.org



Fig 3l. *Restored chimney piece and painted out sockets.*
Courtesy of L.Kae Interiors.

Windows

All sash boxes, shutter boxes and window boards will be lightly sanded, repaired as required and repainted. In the closet extension, secondary glazing will be installed in the en-suite window reveal on the second floor. See external works for more information.

Stairs

The stair treads, risers, strings, balusters and painted handrails will be lightly sanded, repaired as required and repainted. The existing latex screed will be removed.



Fig 3m. 39 Great James Street.
Existing first floor shutter boxes.



Fig 3n. 16 John Street. Restored windows and shutter boxes.
Courtesy of Prewett Bizley Architects.



Fig 3o. 29 Great James Street.
Existing barley twist balusters and view of first-to-second floor stair.



Fig 3p. Example of restored panelled hallway and stair.

3.2 Contemporary Elements.

In areas that retain no features of historical significance, a more contemporary approach has been adopted. This is concentrated in the following areas:

- An extension in the rear garden.
- The roof
- Basement interiors.
- Third floor interiors.

3.2.1 Rear extension

It is proposed to rework the back of the home to provide a set of contemporary spaces that meets the needs of a 21st century family with minimum impact on the historic interiors of the main house. This reworking will also help delineate between historic and modern architectural elements and thereby strengthen the building's aesthetic value.

The proposed rear extension is set below existing parapet walls and separated from the existing house by a lightwell and glass sided walkway.

At ground level, it will accommodate an contemporary open plan kitchen and dining space that looks on to a courtyard garden. This space is accessed via a glass sided walkway that replaces the existing WC extension at ground and basement level. This helps visually separate the historic and contemporary elements of the building. The walkway overlooks a lightwell that draws daylight down to the basement level rooms. Over the kitchen/dining space is a large roof light to bring daylight into the space.

At the rear two large sliding doors open out to the courtyard garden. These increase the connection between outside and inside spaces.

At the ground-to-first floor stair half landing level the WC extension is replaced with an extended structure to the proportions permitted under granted planning application 2013/6429/P.

At basement level the extension provides additional amenity space away from the more formally arranged historic spaces. It also houses a replacement plant space.



Fig 3q. Existing view from back of site.

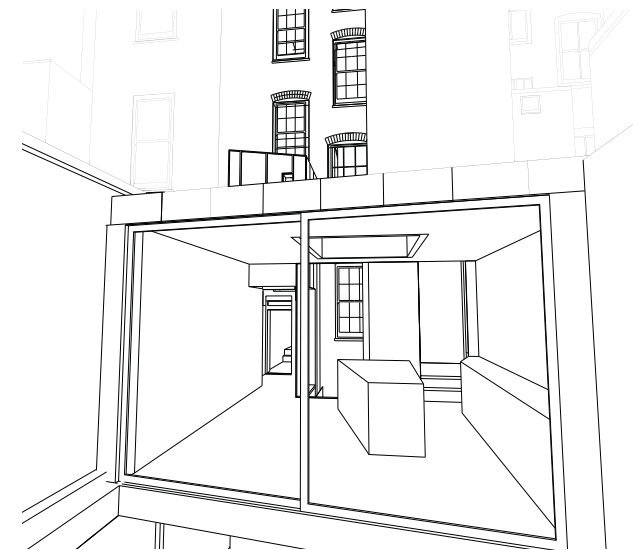
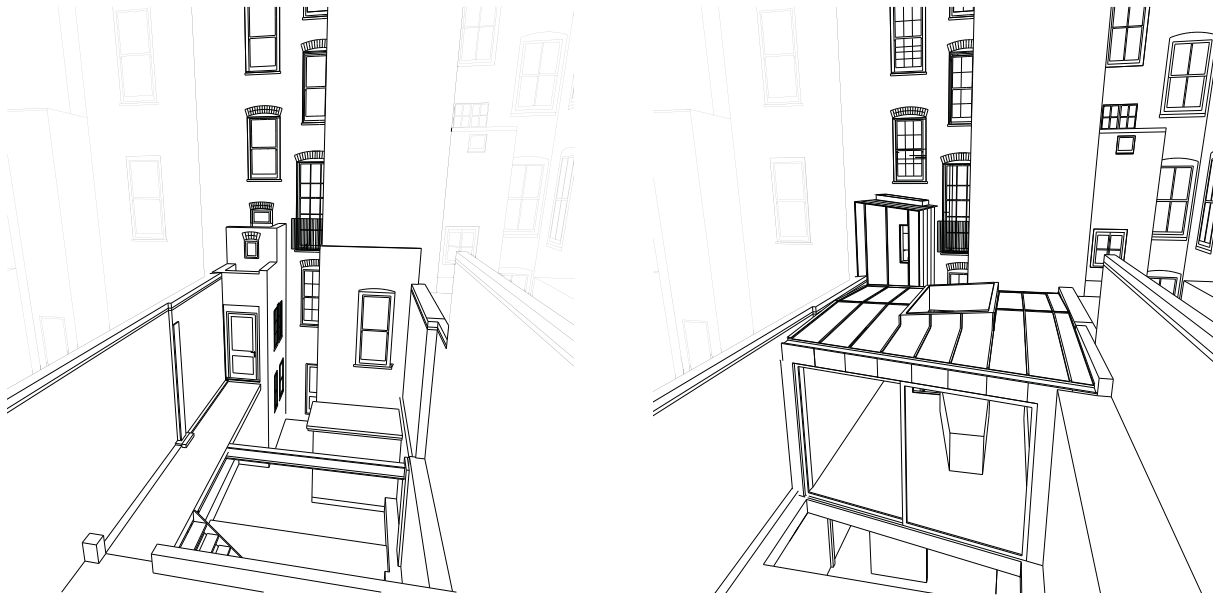


Fig 3r. Proposed view from back of site.



The rear extension will be clad in zinc with standing seams. This echoes the traditional lead roofs of London and several other extension across the row (as noted in Section 2). The zinc will also wrap over the replacement WC and in so doing provide a clear visual connection between all contemporary elements. This will strengthen the delineation between new and old elements.

Fig 3s Existing and proposed views of rear of site. Shows the disconnected and haphazard nature of the existing modern extensions, which distract from the host building. The proposed extension offers a single coherent approach that clearly marks out the old and new elements.



Fig 3t Emrys Architects' rear extension at No32-33 Great James Street.

Fig 3u Contemporary extensions to historical buildings in London. Courtesy of Belsize Architects.

3.2.1 Garden & Roof Terrace

Amenity space is retained at the rear of the property at ground floor level, with a remodelled courtyard style garden flowing out from the new kitchen/dining area. This includes a glazed lightwell that supplies daylight to the lower ground floor.

At roof level it is proposed that the existing flat roof be made into a decked terrace. This is set back from the street in order to not visually impact on the street scene. The roof terrace will be accessed from a thermally improved stair access building, to match the existing 1960s addition in appearance.

At the front and the rear of the roof are two areas for living roofs, providing much needed green space in an area of London deficient in vegetation.



Fig 3v Existing views of the roof (left) and rear garden space (right)

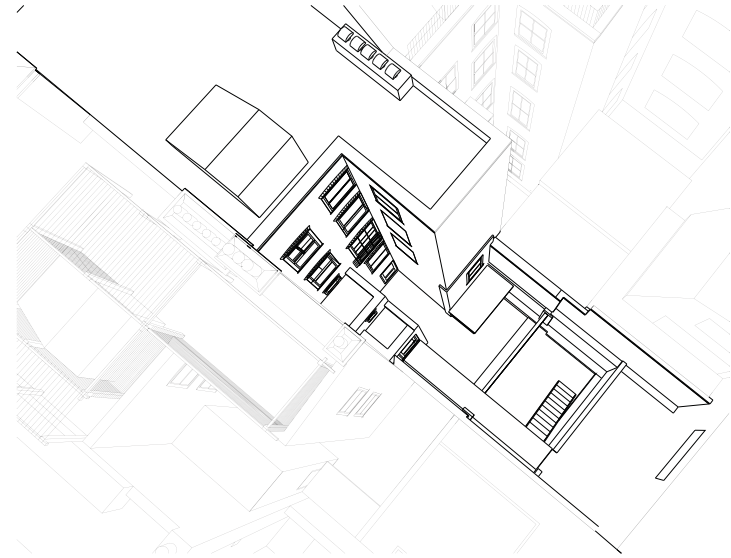


Fig 3w. Existing birds eye view.



Fig 3x. Proposed birds eye view.

3.2.2 Lower Ground Floor & Third Floor

These two floors no longer contain any historic interior features (excluding the main staircase discuss in Section 3.2). This presents the opportunity to improve the thermal properties and condition of the building fabric, whilst also providing modern accommodation for the occupants.

The lower ground floor has been divided into bedrooms, a utility space and home cinema space. All habitable rooms have access to daylight.

The second floor is divided into three bedrooms and two bathrooms.

The windows will be treated as those on the ground, first and second floor. En-Suites in the closet wing will also have secondary glazing installed.

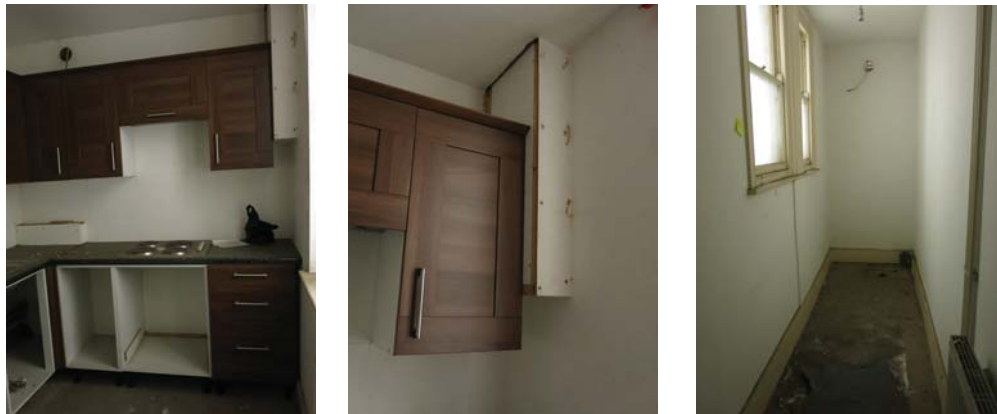


Fig 3y. 39 Great James Street
 Left: Modern kitchen installed in lower ground floor closet wing.
 Right: Existing 'WC extension' - proposed for conversion to a glass sided hallway.



Fig 3z. Examples of lightwells bringing daylight into lower levels.
 Images courtesy of Jacobs-Yaniv Architects (left) & Horibe Naoko Architect Office (right)



Fig 3aa. Light scoop bringing natural light into lower floors.
 Prewett Bizley Architects



Fig 3bb. Beechdale House Rooflight.
 Image courtesy of Paul Archer Design.

3.3 Materials

The proposed palette of materials are drawn from the existing architecture but are also designed to create a clear architectural delineation between the historic and new elements, in order to protect the original form and architectural language of the existing building.

Brickwork & Pointing

All existing exposed brickwork to the front elevation will be repaired and re-pointed with tuck pointed, lime mortar. Number 31 Great James Street is a good example of successfully restored brickwork.

On the rear elevation the existing brickwork will be locally repaired and patch pointed as required.

Lime Render

All existing cement render is proposed for removal and will be replaced with lime render, which is more in keeping with buildings of this period. The new render will be painted with breathable, off-white paint.



Fig 3i. Existing brickwork to front elevation of property.

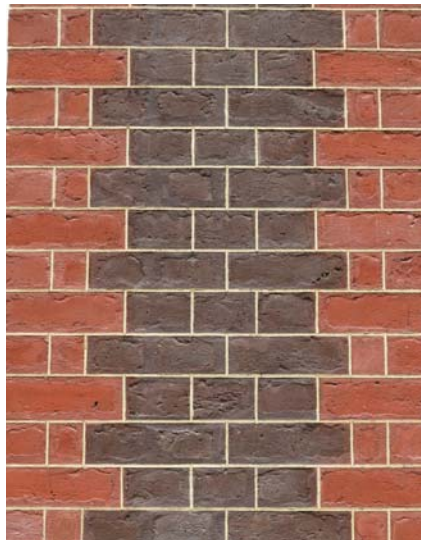


Fig 3ii. New tuck pointing at No.31 Great James Street.



Fig 3iii. Photograph of white painted cement render at rear of property.



Fig 3iv. Photograph of off white painted lime render at John Street, Bloomsbury.

Sliding sash windows

All existing sliding sashes (excluding W1–5) are modern. These will therefore be replaced with authentic replica, sliding sashes with window bars in repaired sash boxes. All will be painted off-white.

The full height regency window on the rear elevation will be retained and carefully repaired, lightly sanded and repainted off-white.

Timber framed modern windows

The large windows proposed to the rear extension are inspired by the large openings of the Georgian host building. The triple glazed, timber framed windows will aim to draw light deeper into the plan.

They are of a contemporary style and the use of glazing bars would be inappropriate in this instance. The windows aim to capture the spirit of the original building whilst expressing their separation from the historic fabric.



Fig 3v. Photograph of existing sash windows without glazing bars.



Fig 3vi. Photograph of sash windows with glazing bars at No.38 Great James Street.



Fig 3viii. Example of timber framed sliding doors. Left: Copper lane, Henley Halebrown Rorrison



Zinc

To echo the lead roofing traditionally found in the area, and tie all new elements together, the proposed rear extension and WC replacement will be clad in zinc with standing seams. The zinc will delineate the new rear addition from the host building in a sensitive way and visually tie in with other extensions along the row.



Fig 3ix. Copper roof to new extension at 32-33 Great James Street.

Image courtesy of Emrys Architects.



Fig 3x. Zinc clad extension.

Image courtesy of Bere Architects.

Metalwork

Existing original downpipes and railings and the regency Juliet balcony railing will be retained, and locally repaired and repainted as required.

The modern railings on the roof will be removed and replaced with new black painted railings set away from the front facade.

The modern downpipes and SVPs at the rear will be replaced with new, black painted metal, heritage style downpipes and SVPs.



Fig 3xii. Photograph of existing metal rainwater hopper and downpipe.



Fig 3xiii. Photograph of existing metal railing to front of property.

Paint

Existing painted brickwork will be removed and replaced with off-white, breathable mineral paint. The front door will be light sanded and repainted in a heritage coloured paint to match the existing 'Georgian blue' colour.



Fig 3xiv. 39 Great James Street
Existing painted brickwork and render to rear of property



Fig 3xv. 39 Great James Street
Existing front door



Fig 3xvi. *Examples of white painted brickwork, KEIM breathable paint and existing door colour.*

3.4 Appraisal of proposed external works.

Insensitive railing distracts from original facade design. To be removed and replaced with railing set back from the front facade.

Sliding sashes with no bars are not original. To be replaced with authentic replica windows with bars to enhance the heritage value of the property.

Struck cement mortar pointing to be removed and replaced with lime mortar and tuck pointing over whole front facade, above ground floor level.

Railings, doorcase, door, fanlight and porch to be repaired.



Rear Elevation.

Closet wing repaired following WWII bomb damage. All existing pointing to be repaired as required.

Unsightly gutters and SVPs to be removed.

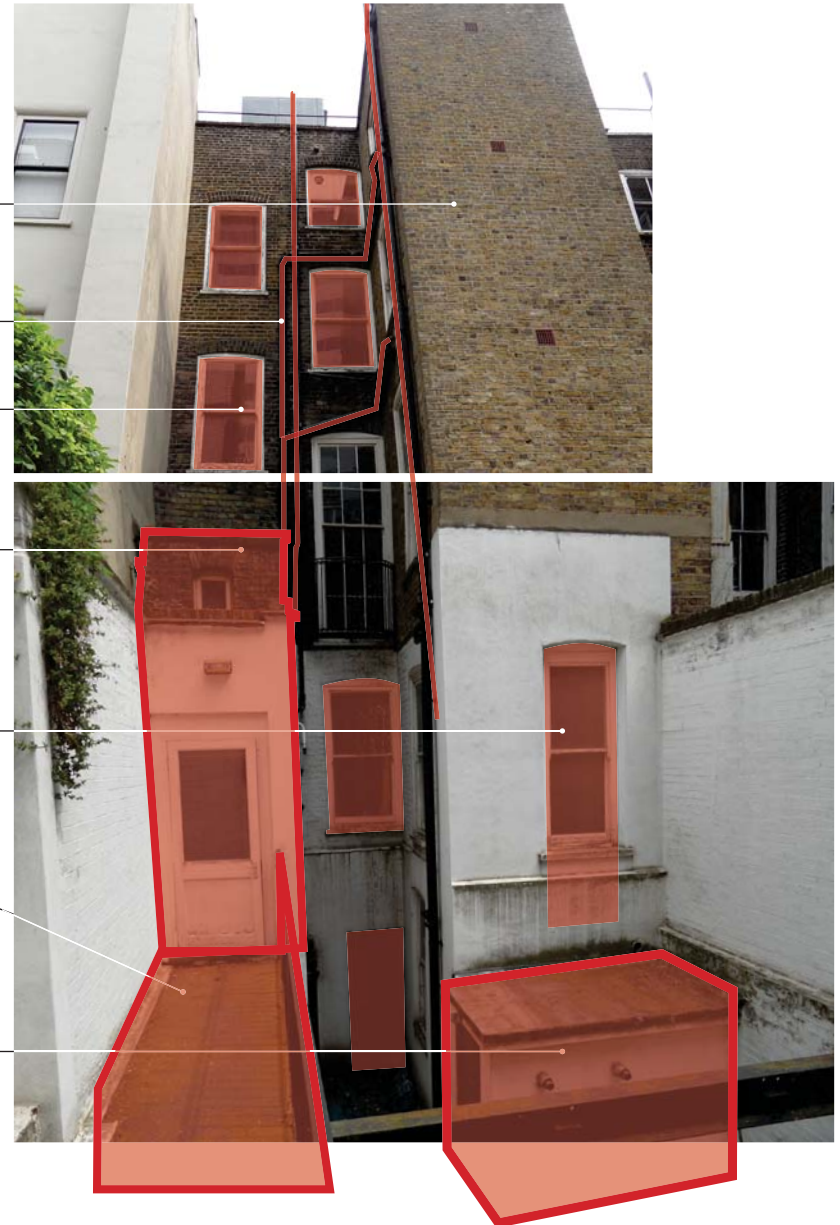
Sliding sashes with no bars are not original. To be replaced with authentic replica windows with bars.

WC extension in brick. Possible Victorian addition with multiple later modifications. In very poor condition with rusting structures and leaking roof. To be replaced with zinc clad structure.

Window removed and opening extended to create new access from restored 'Ante' room to contemporary kitchen dining space.

Metal plate walkway with metal balustrade and stair. Currently used to access lower ground level, but can be hazardous in wet conditions. It is an insensitive addition and is proposed for removal.

Plant room containing two boilers. Insensitive 20th century addition that is proposed for removal.



3.5 Services Strategy

The services strategy rationalises the M&E approach and aims to sensitively integrate pipework into the building fabric in order to improve the appearance and experience of the original listed building.

External service

The visual appearance of the property will be greatly improved by the removal of all the existing surface mounted pipework, flues and service boxing from the rear elevation.

All rainwater and foul water pipework on the rear elevation will be replaced by just two black painted metal pipes.

The zinc clad extension will include integrated downpipes on both elevations.

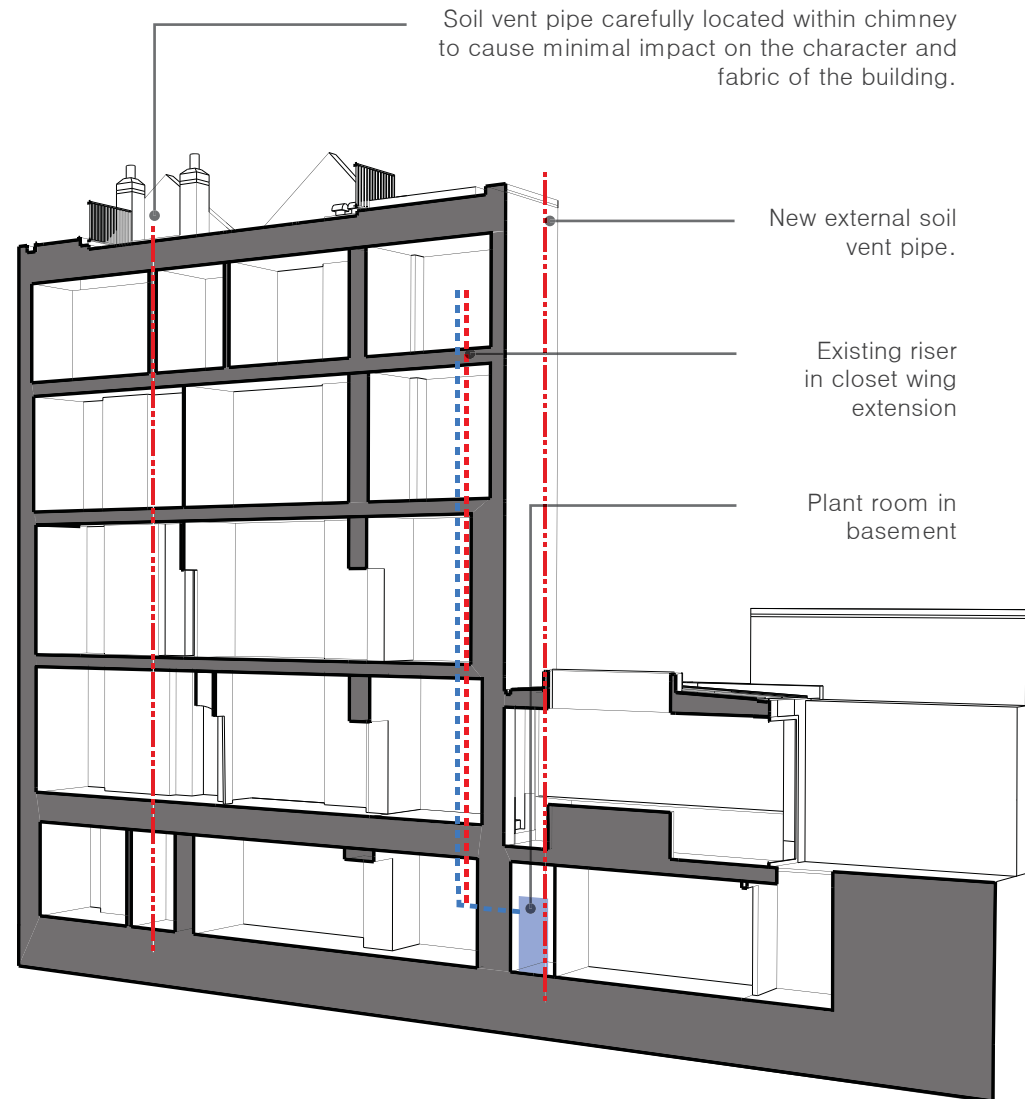
Internal services

Main plant will be located in a similar area as the existing. This will enable existing utility connections to be used.

The existing riser in the closet extension will be utilized to service the proposed en-suite bathrooms in this section of the building. Bathrooms located in the middle of the plan (in the basement and third floor) will be serviced by a new SVP located in a redundant chimney flue.

All new radiators will utilize existing pipework, to limit invasive works.

Replacement wall mounted switches and sockets will be painted out to match the panelling.



4.0 Planning Policy

The following sets out the ways in which the proposals meet key planning policy.

Meeting Housing Needs

Camden Local Plan 2016 (CLP) Policy H1- Maximising housing supply

(b) The currently vacant property will be returned to use, in line with policy H1.

Amenity

CLP Policy A1 - Managing the impact of development.

(e) Visual privacy is unaffected for residents of either No.39 and the surrounding buildings.

(f) The rear extension is set below existing boundary walls, and has no negative affect on access to sunlight, daylight, nor overshadowing for either the occupants nor neighbours.

(i) A construction management plan will be produced prior to the commencement of works to ensure the impact of each phase is addressed and planned for in advance.

(j) No high vibration works are proposed. The noise will be within a normal range associated with domestic refurbishments and extensions.

(n) Water will drain into an existing sewage network. There is no change to the amount of hard-surfacing.

Design

CLP Policy D1- Design.

- (a) The proposals respect the local context and character of the area.
- (b) The reparations will better preserve heritage elements of the building.
- (c) The new extension will be constructed to meet building regulations in terms of thermal performance. The lower ground floor, third floor and roof – all of which have lost their historic internal features – will be thermally upgraded to reduce the heat demand. This also helps address Policy CC1, without compromising protection of historic elements.
- (e) Restored elements will be of the highest hand crafted quality.
- (l) The new landscaped garden and roof space provide ideal amenity space for the well being of occupants. They also provide opportunity to add vegetation to the area, which is noted as deficient of green space in the CLP.
- (m) Protected views along Great James Street are unchanged by the proposals.
- (o) Building services are carefully integrated to ensure minimum impact on the buildings heritage features.

Heritage

No 39 Great James Street lies within the Bloomsbury Conservation area. It is also Grade II* listed by Historic England. A detailed appraisal and impact assessment has been provided within the Heritage Statement that accompanies this document. A more brief overview of the relevant policies addressed is provided here.

Camden Local Plan 2016 (CLP) Policy D2 - Heritage.

(e) The proposals seek to conserve the retain historic interior features found on the ground, first and second floor. It is also proposed that the external fabric be repaired – including new tuck-pointing and replacement sash windows – to return the building closer to its original state. These works will enhance the character and appearance of the building and area.

(f) The proposals do not include the loss of any historic elements of significance.

(k) The proposed extension at the rear is at lower ground and upper ground level has no impact on the special architectural or historic interest of the building.

Bloomsbury Conservation Group Appraisal.

The Bloomsbury Conservation Area Appraisal (BCAA) notes the building as being at risk and 'vacant'.

Paragraph 5.18 of the BCAA encourages owners of listed buildings to keep them 'occupied and in an appropriate use'. The use the BCAA considers 'most appropriate' is the building's 'original use'. Repairing the building and returning it to a habitable single family dwelling is therefore in line with policy.

The building is not within an Archaeological Priority Area.

4.1 Lifetime Homes.

The following points outline how the proposal sets out to comply with the 16 Lifetime Home criteria and whether they have been met. As per Camden Planning Guidance: Housing (CPG 2 section 5), which states ‘the standards will be applied flexibly to existing buildings, but applicants should justify failure to meet any of the criteria’.

Some criteria are not possible to meet due to the constraints of working with the protected fabric of the listed building.

- 1. Parking:** No parking is proposed. Presently there is resident’s parking along one side of Great James Street.
- 2. Access from car parking:** No parking is proposed.
- 3. Approach gradients.** Not met. There are presently two steps to the front entrance hallway, from street level. Existing, retained railings will provide some support for people using the stairs, despite not meeting current access guidance. Alteration of the steps or railings would greatly impact on the character and appearance of the listed building and is unacceptable.
- 4. Entrances:** Not met. None of the entrances have level thresholds, nor is the main entrance illuminated or covered. This cannot be modified without detrimental impact on the appearance and character of the building and group.
- 5. Communal stairs and lifts :** N/A
- 6. Doorways and hallways:** Not met. The main entrance does meet the criteria, but the openings in the panelled walls provide a clearance of less than 750mm. This cannot be changes without detrimental impact to historic elements.
- 7. Wheelchair Accessibility –** Not met. Due to the layout of the historic fabric at first floor.

- 8. Living Room:** Not met. The living room is on the first floor, in keeping with the buildings original layout.
- 9. Entrance Level Bedspace:** Not met. All bedrooms are accessed from the main staircase. Adding a bedspace on the ground floor would be detrimental to the historic internal fabric.
- 10. Entrance Level WC & Shower Drainage:** Not met. Adding a WC on the ground floor would be detrimental to the historic internal fabric.
- 11. Bathroom and WC walls:** Yes. Bathrooms are located in areas no longer containing historic interior features and so will be capable, in principle, of taking handrails.
- 12. Stair lift/through floor lift:** Not met. Adding a lift would be detrimental to the historic internal fabric.
- 13. Tracking hoist route:** Not met. Adding a hoist to the main bedroom, which contains original wall panelling, would be detrimental to the historic fabric.
- 14. Bathroom layout:** Not met. The bathroom sizes are directed by the existing fabric, which cannot be altered without a detrimental impact to the buildings heritage value.
- 15. Window Specification:** Not met. The window height is set by the buildings existing layout.
- 16. Controls, Fixtures and Fittings:** Not met. The location of sockets is dictated by those currently present, to ensure minimum damage to the internal panelling in existing areas.

5.0 Conclusion

The proposals are for the repair, restoration, renovation and extension of 39 Great James Street to return the building use to a single family dwelling. The proposed works have been carefully planned to ensure the enhancement and protection of all external and internal historic elements, to safeguard the heritage value of the building. Contemporary additions seek to help protect the historic interiors and visually and aesthetically strengthen the delineation between old and new elements.

We believe the proposals would be a positive contribution and trust that Camden will support the application.