

Replacement of 2no. generator flues, Chandler Wing

National Hospital for Neurology and Neurosurgery, Queen Square

Retrospective Planning Application

Design and Access Statement

30/11/2016



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SECTION 0: PLANNING APPLICATION

This planning application is for the replacement of 2no. generator flues. The external plant room proposal is for the National Hospital for Neurology and Neurosurgery (NHNN), Queen Square, London WC1N 3BG.

SECTION 1: EXISTING PROPERTY AND SITE

The flues are located on the roof of the NHNN, on the northern extremity of the Chandler wing (see Figure 1), as can be seen in the site location plan (see drawing RAG3353-MAA-003-ZZ-DR-A-402-P1-A SiteLocationPlan). The flues overlook a service yard that is used by both NHNN and Great Ormont Street Hospital (GOSH) for waste management and deliveries (see existing image in RAG3353-MAA-003-RF-DR-A-401-P1-B FluePlans).

The Chandler Wing building is composite, made of a brickwork clad volume towards the back and a more recent aluminium panel clad volume towards the front. The building was subject to multiple temporary and permanent alterations over history, most notably in terms of metallic temporary enclosures and service access ramps used for waste management and deliveries. We consider the building to not possess any significant features from a heritage point of view, for more details please see Section 10.

The surrounding buildings include the GOSH buildings that were erected in multiple historical periods, the modern Queen Square House, the utilitarian metallic covering of the loading bay, and various other annexes and fences. We consider that the elements of the surrounding buildings that may be impacted by the current proposal do not possess any significant features from a heritage point of view. For more details please see Section 10.

The stripping out works involve the removal of the existing flues and of any related structural fixings and support systems. Minor roof repairing and making good works may be involved. All the works have a minimal impact on the aspect of the roof.

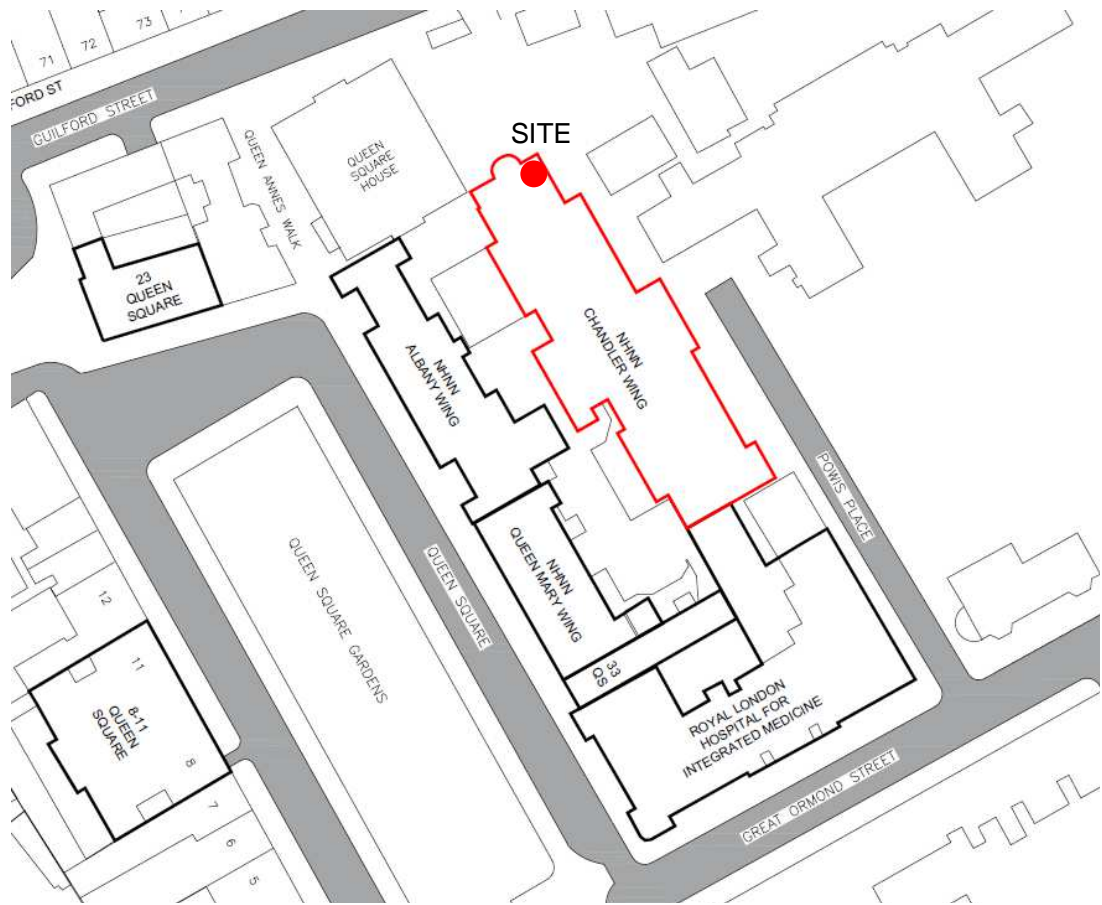


Figure 1. Plan of the NHNN wings

SECTION 2: DESIGN PRINCIPLES

The proposed works are coordinated with a larger scale generator replacement programme. The two replacement flues are to reuse the same location as the original ones, and will match both material and height of the existing flues. They will be slightly larger in diameter and will have a grey matte finish to match the surroundings. This will ensure that they blend as much as possible.

SECTION 3: INTENDED USE OF THE PROPOSED DEVELOPMENT

The intended use of the flues is to act as exhaust for the standby generators

SECTION 4: LAYOUT OF THE PROPOSED DEVELOPMENT

The layout proposes locating the two new flues in the same position as the original ones in order to minimise visual impact. See drawing RAG3353-MAA-003-RF-DR-A-401-P1-B FluePlans for details.

SECTION 5: SCALE OF THE PROPOSED DEVELOPMENT

The two new flues are slightly larger in diameter than the original ones. See drawing RAG3353-MAA-003-RF-DR-A-401-P1-B FluePlans for details.

SECTION 6: LANDSCAPING OF THE PUBLIC/PRIVATE SPACES

No landscaping of public/private spaces is proposed.

SECTION 7: APPEARANCE OF THE PROPOSED DEVELOPMENT

The proposal seeks to replicate the matte silver metal finish of the existing flues and adjacent aluminium panel cladding in order to minimise visual impact.

SECTION 8: ACCESS STATEMENT

Not applicable as these are flues. Standard roof maintenance access required and possible via existing access systems.

SECTION 9: THE INFLUENCE OF LOCAL CONTEXT ONTO THE OVERALL DESIGN

The current proposal seeks to replace existing flues.

SECTION 10: HERITAGE STATEMENT

The National Hospital for Neurology and Neurosurgery contains one listed building, the Albany Wing (see Figure 1), 1883-5 by MP Manning and J Simpson (see Figure 2 below). It is Grade II Listed with external facade and internal features, as well as its historical context mentioned. It is also identified within the Bloomsbury Conservation Area Appraisal and Management Strategy: “dating from 1885, which is richly decorated in terracotta. This building has important philanthropic and social links with the area.” (Ref 5.202).

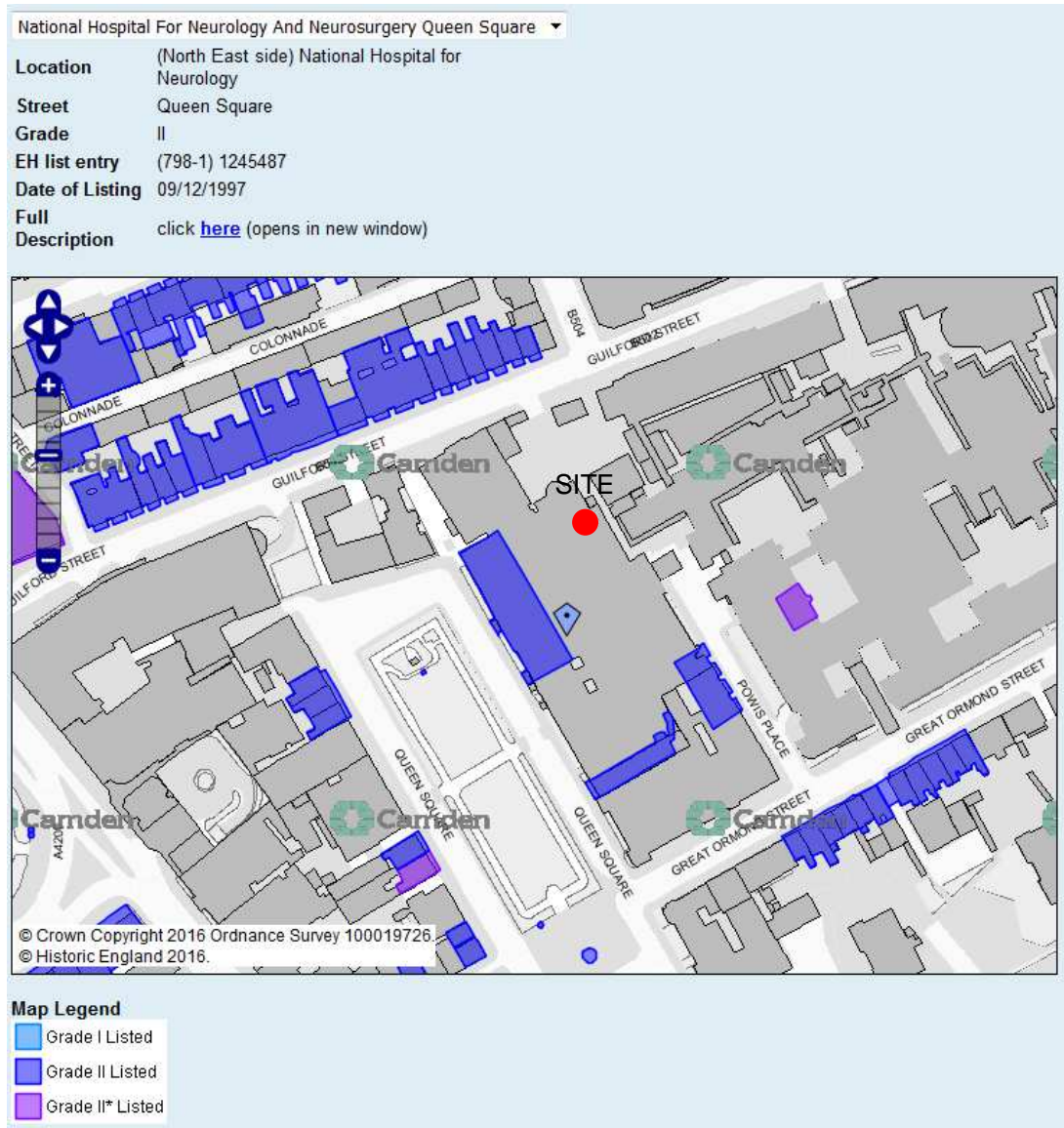


Figure 2. Camden Council Map of Listed Buildings.

<http://www.camden.gov.uk/ccm/content/environment/planning-and-built-environment/two/conservation-and-listed-buildings/find-a-listed-building-in-camden/>

As can be observed from Figure 2, the area contains a number of listed buildings that are considered to be in proximity of the current site:

- No. 33 Queen Square – grade II listed, south of site
- No. 2 and 3 Hahnemann House, Powis Place – grade II listed, south of site
- Great Ormond Street Hospital Chapel – grade II* listed, south-east of site
- 75-82 Guilford Street – grade II listed, north of site

As mentioned in Sections 2, 4, 7, the design and the appearance of the proposal seek to minimise the visual impact of the flues by using the same location and replicating adjacent finishes and colours. The scale of the proposal is significantly reduced when compared to the surrounding buildings (see section 5). In addition, there is no direct visual corridor between the proposal and the above mentioned listed buildings. Therefore, we consider that the current proposal has no impact on the surrounding listed buildings.

Furthermore, Figure 2 map of listed buildings clearly excludes Chandler Wing as well as neighbouring GOSH and the Queen Square House. We therefore consider that the visual impact of the proposal on the existing building and the surrounding area to be minimal.

A study of the Bloomsbury Conservation Area indicates that the current site is excluded from any conservation area requirements. See Figure 3 below.

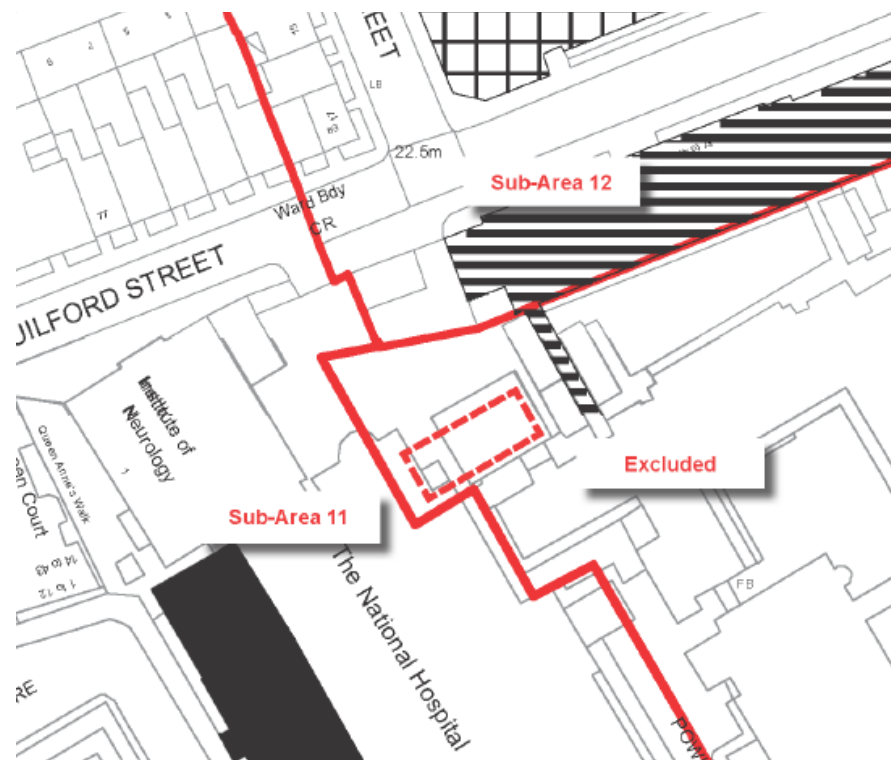


Figure 3. Bloomsbury Conservation Area Study, dashed area indicates approximate location of the switch room.

SECTION 11: PLANNING CONTEXT

Town and Country Planning Order 2015

The following relevant extracts from Town and Country Planning Order 2015 have been commented on in the context of this application.

Schedule 2, Part 7, Classes M and N of The Town and Country Planning (General Permitted Development) (England) Order 2015.

- M.1 – Development not permitted by class M
 - o (a) – Not applicable as not extension
 - o (b) – Closest boundary of the service yard fencing is at approximately 30m
 - o (c) – land not used as playing field in the past 5 years
 - o (d) – not applicable as these are flues
 - o (e) – same height or that required by fire safety norms
 - o (f) – not in the curtilage of a listed building
 - o (g) – enclosure does not obstruct the provision of any medical or health services
- M.2 – Conditions
 - o (a) – development is in the curtilage of the hospital
 - o (b) – the development is used for supporting the emergency standby generator of the hospital
 - o (c) – no new building erected
 - o (d) – similar materials used, see section 7
- N.1 – Development not permitted
 - o (a) – Not applicable as not extension
 - o (b) – land not used as playing field in the past 5 years
 - o (c) – not in the curtilage of a listed building
- N.2 – Conditions
 - o (a) – no risk of groundwater contamination
 - o (b) – not applicable as not extension

Camden Planning Guidance CPG1 - Design

The following relevant extracts from Camden's Planning Guidance have been commented on in the context of this application.

Camden Development Policies 2010-2025, Local Development Framework

The following relevant extracts from Camden's Local Development Framework have been commented on in the context of this application.

Improving and protecting our environment and quality of life

Development Policy DP24 – Securing high quality design.

Policy: "The Council will require all developments, including alterations and extensions to existing buildings, to be of the highest standard of design and will expect: e) the appropriate location for building services equipment."

Design principles and standards defined in sections 2, 4, 5 and 7. Location is the same as initial flues

Incorporating building services equipment

24.18: "Building services equipment, such as air cooling, heating, ventilation and extraction systems, lift and mechanical equipment, as well as fire escapes, ancillary plant and ducting should be contained within the envelope of a building or be located in a visually inconspicuous position."

The new flues use the same location as the initial flues. We seek to avoid any envelope so as not to increase the visual impact of the flues by increasing the overall volume.

Development Policy DP28. Noise and Vibration

Policy: "The Council will seek to ensure that noise and vibration is controlled and managed and will not grant planning permission for: a) development likely to generate noise pollution; or b) development sensitive to noise in locations with noise pollution, unless appropriate attenuation measures are provided."

Please see Noise, Vibration and Ventilation Assessment for details.