

**12 Carol Street, Camden Town NW1 0HU - Planning Application supporting documentation**

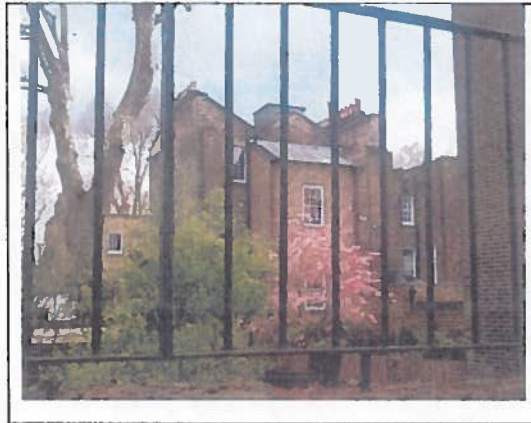
The property is set within a terrace of houses on Carol Street, two of the adjacent properties have had the building extended into the roof space to create a mansard roof, which would normally allow an immediate precedent to set regarding our design proposal.

The owners of the property have lived in Camden for over fifteen years, and adore the local area however with a recent change in family circumstances they have decided to improve the property to accommodate their enlarged family.

Our scheme comprises the installation of a contemporary mansard roof loft conversion which with glazed Metal French doors to the front of the property, whilst the roof will be covered in either lead sheet distressed aluminium sheet material. All brickwork used in the scheme will be sourced to match with the existing brick stock.



1. Adjacent property with Loft conversion



2. Rear of adjacent property showing Existing Mansard roof.



3. Rear Carol St ,adjacent property showing extent of ... Mansard roof



4. Property at the end of Carol Street junction with Camden Street with existing Loft conversion.

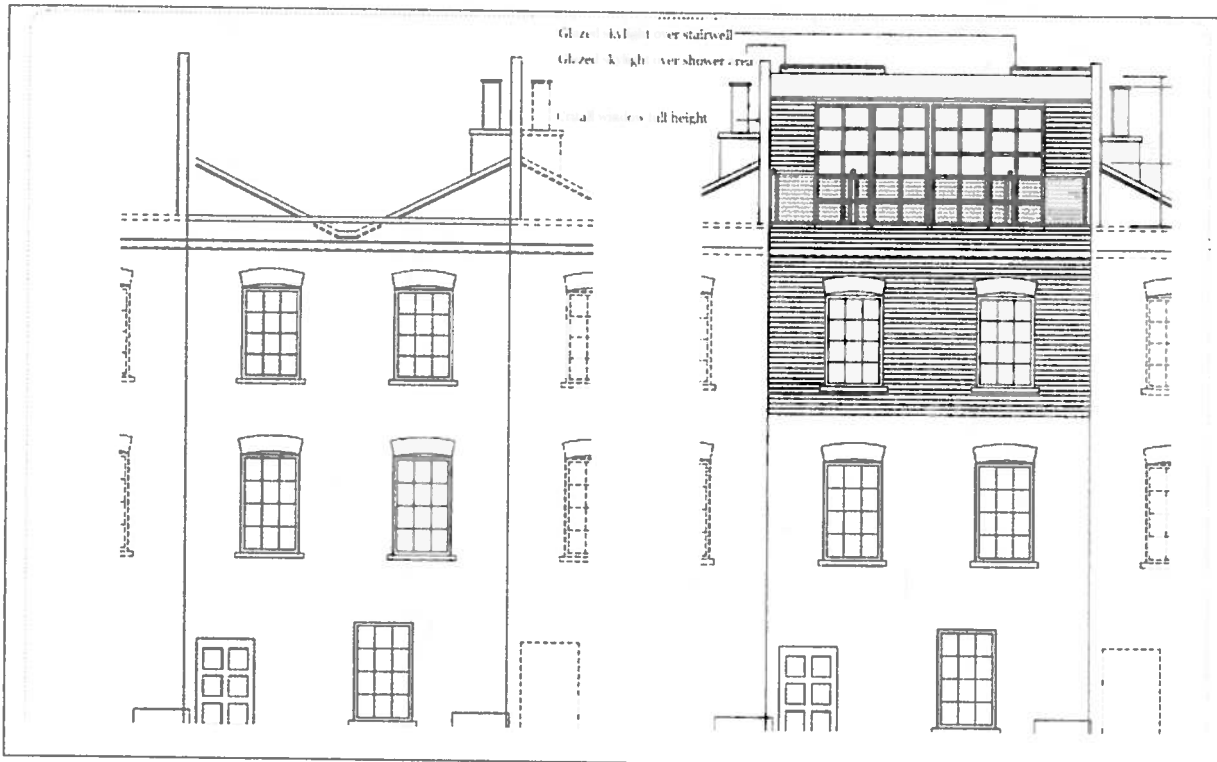
We feel that our proposal treats the façade of the building in a more sensitive manner and we are seeking to enhance the street frontage with a modest but stylish design in keeping with the language of the architecture, while at the same time creating something new and exciting that aims to add and give a new appreciation to the appearance of the property.



No.12-Existing Front Elevation



No.12-Existing Rear Elevation



No. 12 - Existing Rear and Proposed Front Elevation

Please refer to the attached documents in support our planning application, and if anything is unclear or you have any questions please email our offices at [modelspace@mail.com](mailto:modelspace@mail.com). Thank you

Kind regards

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