

Queens Head and Artichoke

A Planning Statement

November 2016

Alterations and additions to 30-32 Albany Street Camden

London NW1 4EA



Introduction

This Statement accompanies a planning application for the alteration and refurbishment of 30-32 Albany Street (The Queens Head and Artichoke Public House) to provide additional residential accommodation, relocation of the kitchen to the basement, an extension to the existing living accommodation at first floor level together with a loft conversion incorporating dormer windows to the side of the existing building and a new fire escape/access stair serving the new and existing residential accommodation.

The site lies within the London Borough of Camden specifically in the Longford Street character area which is within Regents Park Conservation Area formed in 1985.

The proposal is to retain all the architectural features of the existing front and side elevations of the building (with minor alteration to existing railings), to extend within the yard area to the East of the building but to limit the scope of works to the yard and to the rear (East) elevation and East roof pitch.

This statement is set out as follows;

1. Assessment
 - a. Physical
 - b. Social
 - c. Economic
 - d. Planning Policy
 - e. Planning History
2. Design
 - a. Proposals
 - b. Use
 - c. Amount
 - d. Amenity
 - e. Character and Appearance
3. Access
4. Heritage Statement

It also takes account of the local requirements of the Council as well as setting out the appropriate planning background to the proposals.



Queens Head and Artichoke

Longford Street Elevation



Queens Head and Artichoke

Corner View from Albany Street



Queens Head and Artichoke

View from car park to Rear of Walton House

1. Assessment

a. Physical

The site consists of a corner site Public House currently used as such with a restaurant and kitchens at first floor level and an apartment above which is currently accessed through the pub at ground floor level. The building is thought to have been built around 1900.

To the rear of the existing yard at ground floor level is the washroom block serving the pub, the remainder of the yard space is currently underutilised.

To the East adjoining the yard is a Victorian apartment building; to the North is a terrace of early Victorian houses, both the apartment building to the East and the houses to the North are grade II listed.

b. Social

The key consideration is that the new arrangement allows the building to provide good quality accommodation for the current residents of the building and high quality new and varied residential accommodation for others and that the proposals do not impact on the amenity of adjoining sites.

The windows to the front and rear elevations of the adjoining terraced houses to the North of the site are parallel with the front and rear facades of 30-32; no windows look onto the site from neighbouring properties. The amenity of the gardens to the rear of the terraced houses is not affected by the new fire escape stair or the dormer extension; the fire escape stair is set well back from the North boundary of the site and the dormer roof additions are set back behind the line of the existing rear parapet.

The Victorian apartment building to the East of the site presents a flank elevation which contains no windows however to the rear of this building a projecting half-hexagonal bay contains kitchen windows. An obscured glass privacy screen is shown alongside the stair in order to control views and overlooking.

Opposite the site, to the South, is the White House Hotel. The pub courtyard, the site for the proposed extension is situated to the West of the North South building line described by the front elevation of the Hotel. It is thought that the part of the Hotel nearest to the site contains an access staircase.

c. Economic

As the area of the basement is much larger than the first floor rooms which currently house the restaurant kitchen, our clients will be able to install much larger preparation and cooking facilities; an improved, enlarged commercial kitchen is essential to the sustainability of our clients business as it will allow the current restaurant to expand its menu and to cater for the tastes of a changing and more diversified clientele.

Whilst introducing much needed residential accommodation to the area, the new apartments should help sustain the project and provide funding for the renovation of the existing building and help offset the considerable cost of relocating the commercial kitchen to the basement.

Currently, the existing apartment at 2nd floor level is accessed solely through the restaurant and pub; this arrangement is unsafe and is untenable. The provision of a new fire escape staircase to the will enable to continued use of the apartment as the primary residence of our client.

d. Planning Policy

Camden's Core Strategy

'CS1 Distribution of Growth'

- *The development is within one of Camdens preferred areas for growth; the provision of additional residential accommodation is in line with the boroughs aspiration to provide 12,250 new home before 2024/25.*

'CS6. Providing quality homes'

- *The development addresses the Councils expectation of a diverse range of housing products by providing a range of homes accessible across the spectrum of household incomes.*

'CS8 Promoting a successful and inclusive Camden economy'

- *Relocation and expansion of the kitchen accommodation will create employment both within the kitchen and within the restaurant.*

CS9. Achieving a successful Central London

- *Residential accommodation in Central London is seen as an active contributor to the life and diversity of the area.*

'CS14 Promoting high quality places and conserving our heritage

The Council will ensure that Camden's places and buildings are attractive, safe and easy to use by:

- a) requiring development of the highest standard of design that respects local context and character; Camden Core Strategy 2010 90
This is achieved by ensuring the proposals;
 - *appear visually subservient to the existing architecture,*
 - *contrast sympathetically to the style of the existing*
 - *are of a scale that does not adversely impact on the massing of the original building.*
- b) preserving and enhancing Camden's rich and diverse heritage assets and their settings, including conservation areas, listed buildings, archaeological remains, scheduled ancient monuments and historic parks and gardens;
 - *The proposals will not impact on the front facades of the existing building.*
- c) promoting high quality landscaping and works to streets and public spaces;
 - *The proposals aspire to contributing to the streetscape by the introduction of south-facing balcony spaces.*
- d) seeking the highest standards of access in all buildings and places and requiring schemes to be designed to be inclusive and accessible;

- *There will be no change to the existing access arrangements other than the provision of a passenger lift and fire escape staircase to the apartments and the installation of a new fire escape stair to the basement.*
- e) protecting important views of St Paul's Cathedral and the Palace of Westminster from sites inside and outside the borough and protecting important local views.
- *This point is not applicable.*

e. Planning History

In June 1981, consent was granted for the erection of a roof over the rear yard to provide improved toilet facilities and the installation of a new frontage to part of the Longford Street elevation (ref M11/5X/A/32213). The works to the Longford Street elevation were not carried out; however the toilet block was extended.

In August 1994, consent was granted for alterations to the Longford Street elevation comprising the replacement of existing double doors with a new window in connection with the conversion of the rear yard/store area to a covered bar seating area (ref PL/9400670). These works were not carried out.

In May 2016, an application was submitted for a three storey extension to the rear of the building incorporating fire escape staircase and lift along with an almost full length dormer extension to the main roof at rear of the property. The additional floorspace was to accommodate an extension to the existing commercial kitchen and much needed additional residential accommodation at upper levels. The application was revised following a site meeting with Robert Lester the Case Officer and on receipt of advice from Nick Baxter Senior Heritage and Conservation Officer. The application was later withdrawn.

Mr Baxter's appraisal of the first proposal concluded;

'..that the proposal is too tall for a side extension which, according to guidance, shouldn't exceed the height of the porch. More importantly, it will mask the side view of the adjacent listed building. Its design and materials are such that it will also not sit quietly in its position, instead drawing attention to itself to the detriment of the setting of the listed building and the host positive contributor. In short, the proposal is contrary to guidance, will not preserve or enhance the character and appearance of the conservation area and will harm the setting of the listed building.

As for the dormer, the existing roof is powerfully designed and prominent, on a corner site. Again, we would be unwilling to compromise the quality of the positive contributor, as would be the case if a dormer visible from the ground was attached.'

The above comments were discussed at a site meeting with Mr Lester on 8th June 16.

At the meeting, Mr Lester expanded on the Conservation Officers concerns about the following aspects of the design;

The single form dormer extension at roof level was thought to be inappropriate; it was confirmed that smaller dormers the position and size of which would relate to the existing window openings would be preferable and more in line with policy.

At its height and proposed position relative to the existing buildings, the 1st/2nd floor extension would effectively infill the existing gap between the subject building and the Grade II listed Walton House adjacent, it was thought this would have too great an impact on the streetscape.

In relation to the above, it was noted that as the building was on a corner site, the assumption that the proposed extension was to the side (as opposed to the rear) of the existing building was questioned, accordingly, it could not be confirmed that the requirement for the extension 'not to exceed the height of the porch' was applicable.

The cladding materials proposed for the elevation of the 1st/2nd floor extension were thought to be too heavy in appearance however, in support of current policy, it was confirmed that a contemporary architectural approach was acceptable in principle and that the proposal need not necessarily be traditional 'pastiche'.

In an attempt to address the concerns of the Conservation Officer, sketches showing a much reduced scheme were submitted for comment. Whilst remaining at the same height, the proposed roof extension and 1st/2nd extensions were both depicted set further back from the South elevation of the existing building. Whilst this would have resulted in a significant reduction in much needed new floor area, the further recessed proposal sought to expose more of the flank wall of the Grade II listed Walton House adjacent.

The revised proposals were thought not to overcome the original objections raised by the Conservation Officer, in particular the height of the side/rear extension and the distribution of the dormer windows were identified as still being inappropriate.

The application was withdrawn early in July 2016.

2. Design



South elevation as proposed

a. Proposals

The proposals are as follows;

- Relocation of the commercial kitchen to the basement and the installation of a fire escape stair to the lightwell (West elevation).
- Provision of self-contained residential accommodation; 3 new apartments at 1st and 2nd floor levels with an extension at 1st floor level (only) together with amenity space.
- Extension of the existing residential accommodation at 3rd floor (former roof) level in the form of individual dormer windows.
- The installation of a new fire escape staircase and mini-lift within the existing yard.

b. Use

Works to the upper floors of the building will provide the following residential accommodation;

1st floor

1 double bedroomed 2 person self-contained apartment

1 double 1 single bedroomed 3 person self-contained apartment with private amenity space

2nd floor

1 double bedroomed 1 person self-contained apartment

3 double bedroomed 6 person self-contained apartment (formally 1 bedroomed aptmnt)

As illustrated, the residential accommodation complies with the space and storage requirements set out in CPG 2.

The provision of ground floor residential accommodation is not possible within these proposals.

Provision of residential accommodation for the disabled is not possible as the use of the lift in the case of fire would be prohibited under current Building Control legislation.

The ground floor use as a pub and restaurant will remain unaltered, the rear yard of the building will remain as an open courtyard and will be used for access to the apartments, bin and cycle storage.

The basement will become the commercial kitchen area staff welfare and office accommodation.

c. Amount

In order to limit potential visual impact on the existing building, the proposed rear extension is single storey above ground and occupies the smallest possible footprint.

At roof level, the new residential accommodation sits within the existing footprint of the building and does not extend into the yard area.

Approximate additional internal floor areas are as follows;

- First floor extension (GIA) - 11.6m²
- Third floor (within existing footprint) - 46.9m²

d. Amenity

Communal external amenity space is proposed at 2nd floor level in the form of a South-facing balcony above the 1st floor rear extension and also at ground floor level within the entrance courtyard.

The larger of the two apartments at 1st floor level will have access to a private South-facing balcony.

e. Character and Appearance

Dormer Roof additions

The dormer window extensions have been designed and detailed as traditional timber sliding sash windows set in simply detailed lead-clad dormers. It is proposed that where possible, the dormer windows align with and therefore reflect the distribution of the existing openings in the rear elevation. Befitting of a rear elevation, the distribution is deliberately asymmetrical and by contrast to the front and side elevation, is also informal.



Aerial view showing distribution of new dormer windows

South Elevation rear extension

In accordance with planning policy CPG 1, the height of the rear extension has been restricted to single storey above ground with parapet to ensure that it is subordinate to the existing architecture.



South Elevation as proposed

To enhance the prominence of the existing gateway, the decorative masonry features and the decorated main South elevation and to acknowledge the status of Walton House (a grade II listed building), the front elevation of the proposed infill extension is set well back behind the existing building line. An alignment with the chimney breast of Walton House has been achieved by setting the lift shaft and stair as far back behind the existing building as possible.

Before deciding to pursue a contemporary approach to the design of the rear extension, a number of elevational studies were completed; some of these are shown on drawings submitted with the application (see drwg 02-16).

The use of traditional materials such as coursed brickwork, tiled roofing and timber sliding sash windows was considered however as illustrated, all solutions appeared to be awkward and compromised.

It was also found that the addition of a tiled pitched roof set at the same slope as the existing main roof, severely compromised the communal outdoor amenity space. In summary, it was felt that the traditional approach failed to enhance or celebrate the architecture of the existing building.

Although in all elevational studies the extension was shown set back from the South elevation, it was concluded that the creation of a façade with a neutral character would be more respectful of the existing architecture and existing decorative brickwork.

Examples of this approach can be found throughout Camden; 44 Willoughby Road is within the Hampstead Conservation Area (planning ref 2005/4581/P). The house built on the site is considered by many to be extremely successful presenting itself in stark contrast to its context of mid-victorian terraced brick houses.



44 Willoughby Road (from the East)



44 Willoughby Road (from the West)

The proportions of the existing façade at 30-32 Albany Street were carefully analysed and referenced in the composition of the South elevation of the new addition. In particular, the vertical proportions of the existing windows at first floor level were employed to set the proportions of the new vertical glazed panels. The vertical glazed panels create a visual break or flashgap between the existing building and the section of new solid wall adjoining.

The top of the new façade is aligned with the cill of the existing 2nd floor windows and, within these constraints, the golden section proportioning system has been employed to set the size of the new solid wall.

The glass panel proposed to run beneath the solid wall helps to define its proportions; recessing the glass panels allows the thickness of the wall to be read as a box.

Although the lift shaft, located at the far end of the rear yard will not be seen from the street, its own proportions were considered as part of the composition.

Ground Floor

The painted timber doors to the yard at ground floor level will remain unaltered; the existing stonework and brickwork will be restored using original materials and methods.

The existing decorative iron railings on the Albany Street elevation will be modified to allow a section of the railing to become a gate to the new basement fire escape staircase. Modifications will be detailed to ensure that the composition and design of the existing railings is not compromised visually; the intension is that the gate will be 'secret'; all hinges

and catches will be concealed; when closed the gate will appear to be seamlessly jointed to the remainder of the railings. An example of this can be seen on the railings to the house immediately to the left on Albany Street.

Materials

The reflective quality of the proposed minimally framed glass enhances its visual lightness and is presented as a counterpoint to the existing heavy brick and stone façade of the main building.

An example of a contemporary glass and steel framed infill building between two listed structures recently granted consent has been constructed at 15a Warren Street (planning ref 2011/2890/L).



15a Warren Street from the West



15a Warren Street front elevation



15a Warren Street detail

It is noted that this infill is 3 storeys in height and that its appearance is quite prominent on the street as it is not significantly set back from the façade of its context buildings.

The extensive use of glass contrasts strongly with the brick of the existing buildings and reflects the architecture of its surroundings.

Design development

As illustrated by drawing 02-17, a number of alternative materials were considered for the cladding of the new solid wall;

A single panel sandblasted silver backpainted glass.

This option was considered because of the reflective qualities of glass however, it was felt that a more tactile material would be more suitable for cladding the wall panel.

A single panel backpainted glass with monogram

The existing building features a monogram which is carved in stone on the corner turret of the building (see below). The monogram has been 'revived' by the current owners of the Queens Head and Artichoke and has been used as a motif on pub signage and menus. The option of having the monogram sandblasted on the face of the glass wall was considered as a way of visually softening the glass and introducing layering. The approach was dismissed as it was thought not to be sufficiently contextual.



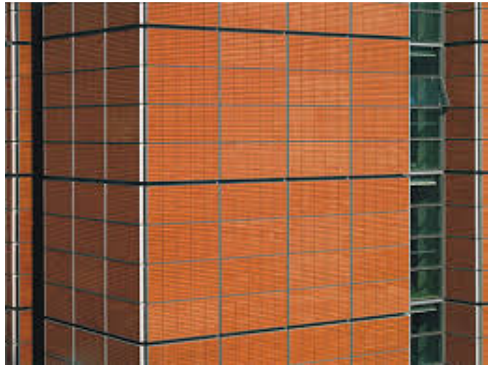
Dressed sandstone cladding incorporating monogram

Stone plaques incorporating signage are a fairly common features on London pub buildings of this era (see below). In this proposal, the proportions and detailing of the existing first floor window surrounds were scaled-up to suit the dimensions of the solid wall section. It was thought that this proposal was too ostentatious and that it detracted from the impact of the existing dressed stonework.



Vertically coursed red brick/terracotta cladding.

In this proposal, cladding panels formed of a brick to match the existing would be applied to the solid wall panel; by vertically stacking the brick, the material honestly reflects its function as a non-structural layer. The concern here was that the material may appear too heavy.



Vertical standing seam zinc wall cladding

Zinc as a cladding material is in common use throughout London; its application is often associated with lesser parts of a building befitting, we thought of a rear extension. As a non-reflective surface, there is a sense of neutrality about the material; it also has the tactile qualities inherent in the materials of the existing building.

Vertical flush seam zinc wall cladding

In order to give an impression of solidity to the wall section and to create a cleaner simpler look, the particular type of zinc cladding selected has inverted joints rather than standing seams.



Whilst currently the interior of the QH&A itself does not feature a zinc bar, there is an inextricable link between this material and pubs.



3. Access

Access arrangements will be altered to facilitate direct entry to the residential accommodation above the pub/restaurant.

Access to the commercial kitchen will remain as it is which is via the restaurant.

All other access arrangements will remain as existing.

4. Heritage Statement

Dating from the 16th Century, the Queen's Head & Artichoke was once a Royal Hunting Lodge on the site of what is now The Regent's Park. It is mentioned in the Crew's Survey in 1753 as 'a ramshackle old tavern'. When The Regent's Park was created, several well-known Inns were demolished, one of which was the Queen's Head & Artichoke. It was re-established at its present site in 1811, although the current building dates from around 1900. The licence itself dates from the time of Queen Elizabeth 1st reign. The origin of its name is attributed to Daniel Clark, Master Cook & Head Gardener to both Elizabeth 1st & James 1st.

As described previously in this report, the proposed building interventions have been designed to be subservient to the features of the existing building and no alterations are proposed to the existing elevations.



Buildings adjoining the Queens Head and Artichoke 1929
London Metropolitan Archives



The former Queens Head and Artichoke Regents Park

C 1750

Keith Tillman
Tillman Architects