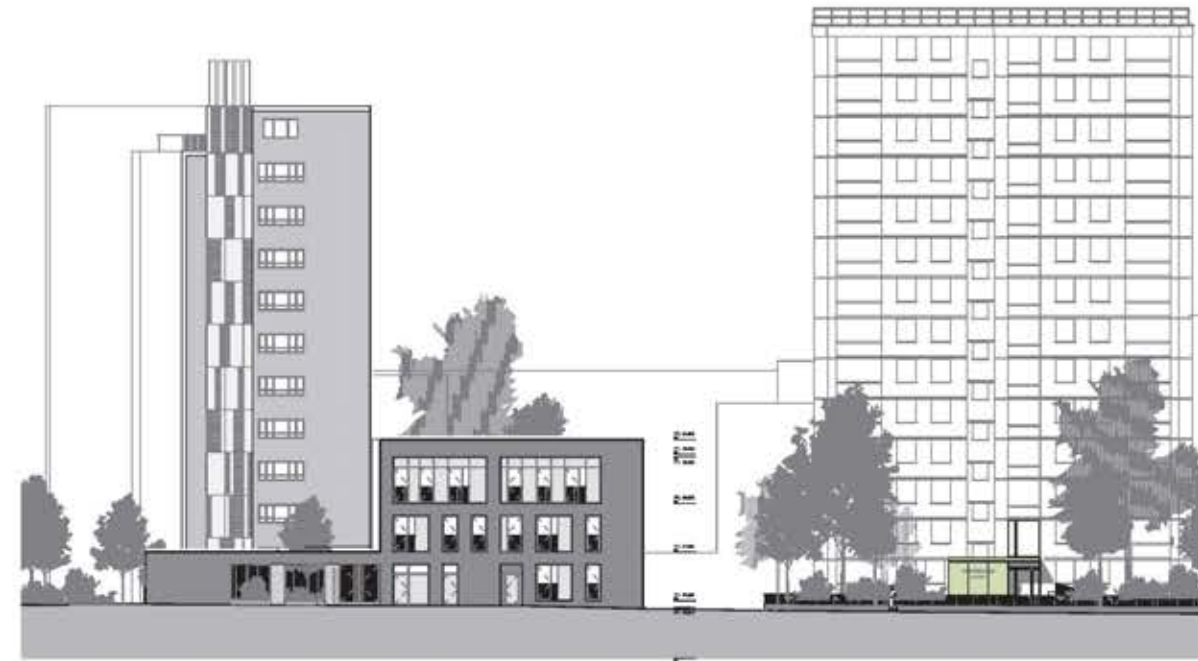
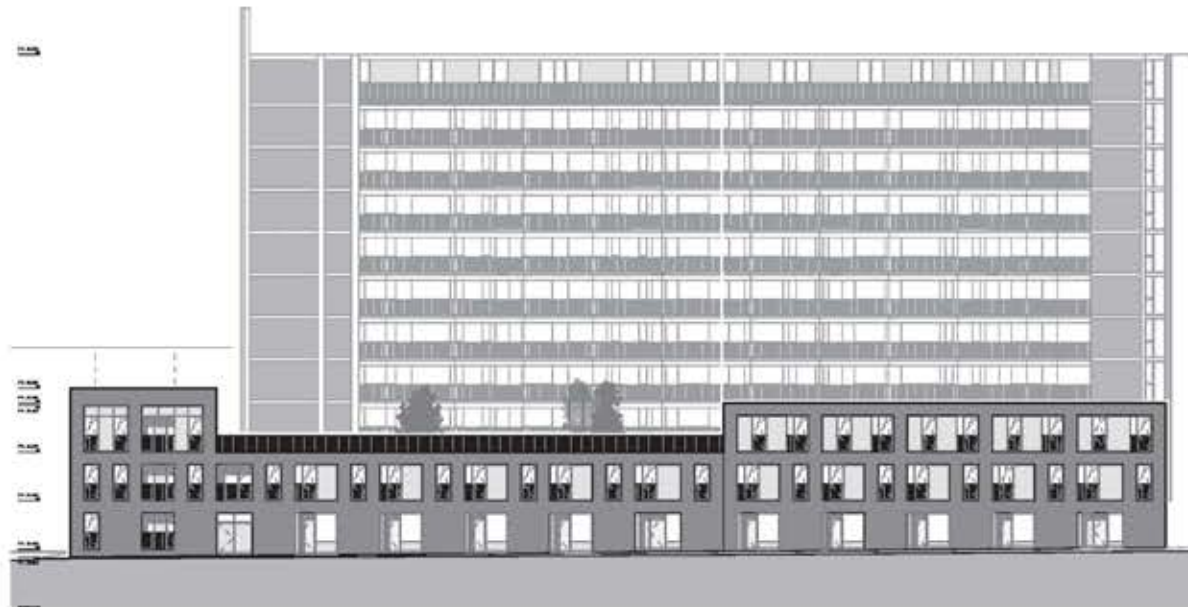




West Elevation of Blemundsbury block from New North Street



East Elevation of Blemundsbury, from Orde Hall Street



North Elevation of Blemundsbury block



South Elevation from internal courtyard, between existing Blemundsbury and proposed new-build block



Landscaping

Blemundsbury Courtyard

The courtyard is the space between the existing and proposed Blemundsbury buildings. It is wider than the existing ramped space and will be greatly improved in terms of accessibility, surfaces and planting. It performs a number of functions. First it is a safe residential courtyard for the existing and new residents, suitable for adults to relax and children to play. Secondly it is an entrance and spill out space for the TRA hall. Thirdly, it allows residents access to the lifts from the lower ground floor level.

- 5 The main entrance gate opens to a ramp which is broad and shallow at a gradient of 1 in 21. This improves access from street level to the lifts and the TRA Hall.
- 6 Planting between the ramp and adjacent dwellings makes green defensible space.
- 7 The open side of the ramp forms terraces which can be used for sitting outside the Community Hall.
- 8 There is a set of steps at the second gate, offering a quicker alternative to walking down to courtyard level. There is planting between the ramp and the steps which will be visible through the gates and railings.
- 9 The main part of the courtyard is paved with clay brick in a light colour to reflect daylight.
- 10 Some of the new dwellings have ground floor terraces at the higher level than the courtyard, each with a set of steps down into the courtyard.
- 11 There are two planted areas in the central part of the courtyard, each with seats at both ends. These will have small trees which would not cast too much shade.
- 12 A terraced staircase at the east end of the courtyard leads up to the Blemundsbury Entrance Courtyard.



Greenery in planters & urban furniture as in the Charles Rowan House, London



Private amenity space at higher level than communal space as in the Golden Lane Estate, London



View of the ramped courtyard to the rear of proposed Blemundsbury block

Blemundsbury South Side

This is the sunny side of Blemundsbury facing the Rose Garden. It will remain the same in character with improvements to public access and to allow light into the proposed lower ground floor apartments.

- 13 The existing steps near the Blemundsbury west entrance will be designed out. Instead the footpath from Dombey Street will slope gently up towards New North Street at a maximum gradient of 1 in 25. This will make a fully accessible public pedestrian east west route through the middle of the estate for the first time. The existing railings on both sides will be replaced.
- 14 The three new lower ground floor apartments will each have a light well terrace within the planted area at the base of the existing building.
- 15 The area of streetscape between Albion House and the Rose Garden would be reconfigured as an entrance space to the estate, with new tree planting, surfacing and steps down to the Rose Garden.



New Blemundsbury Roof Garden

The proposed roof garden of new Blemundsbury block will be overlooked by most residents of the existing 10-storey high slab and the kitchen windows of the towers. Therefore it must be treated with the same attention to detail as the main facades. The roofs also allow for some sunny amenity spaces for the residential units in the new structure.

All of the roofs that are proposed to be inaccessible to residents are to be greened.

South facing private terraces will dominate the western end of the roof garden. Pop up stair core structures, that also act as a roof light to the dwellings, will allow for access of the five 2-storey terraces in the centre of the block.

Although all of the proposed flats in the eastern end of the new block have their own balconies incorporated in their flat layout, a shared roof terrace on top of the bookend will allow for a very sunny, south-facing amenity space.

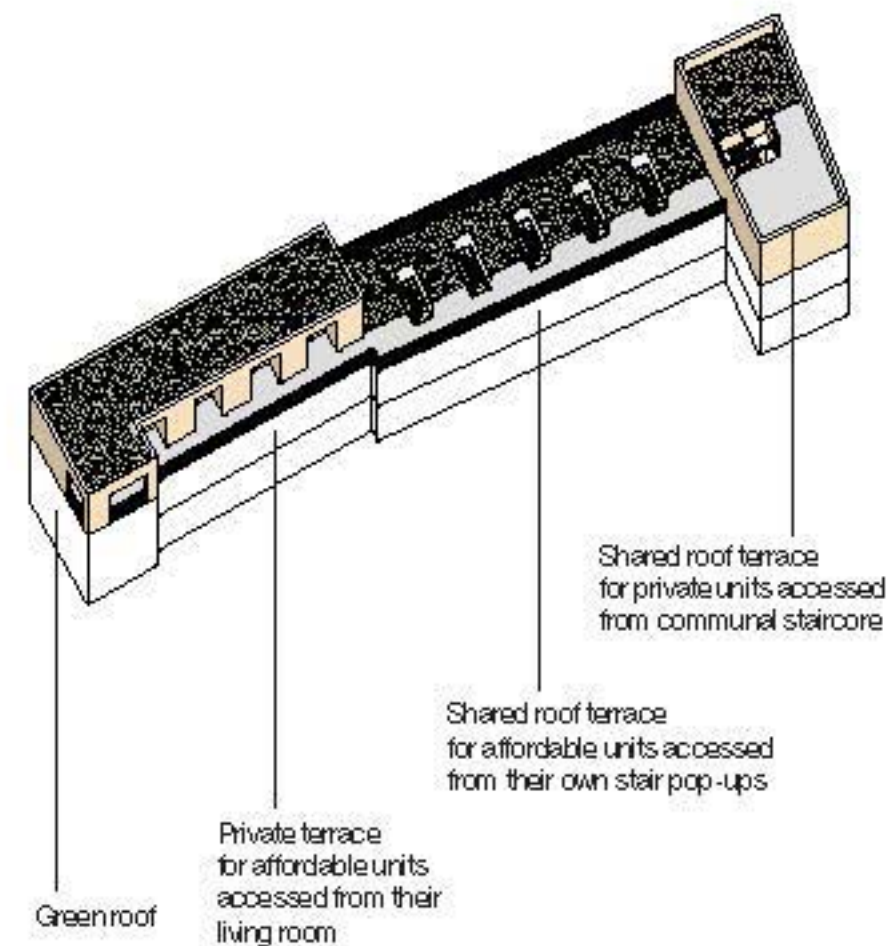
The substation in the entrance courtyard will also be topped by a green roof.



Using the roof as a third facade and an inhabitable space as seen here at Big Yard, Berlin



View looking down from the 5th floor of the existing block on to the roof garden



New Blemundsbury side extensions & overbuild

The new side extension to Blemundsbury is in the location of the existing redundant washrooms and connects to the new block to the north, forming a new active frontage to the approach lane to Tybalds Close from New North Street. A new generously proportioned glazed entrance lobby replaces the existing entrance which is directly to the staircase. This is situated at a key location where the new level access pedestrian route crossing from Dombey Street links to New North Street.

The new lobby, with a generous one-and-a-half storey high canopy formed by the balcony above, will form a welcoming entrance, which will be further enhanced by the opportunity to locate all the refuse containers currently located on the pavement within an enclosed room within the volume of the building.

The side extension accommodates ten one-bedroom apartments. These have been planned with a stepped form to ensure no impact on daylight and sunlight to the neighbouring existing apartments. These flank walls are also solid, ensuring that there is also no loss of privacy, either from the internal rooms or from the balcony.

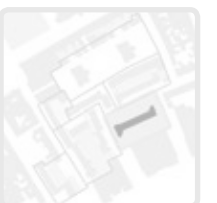
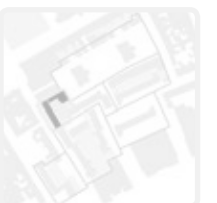
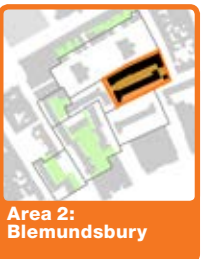
The overbuild units are set back from the roof edge on both sides and accommodate three 3-bedroom apartments and one 1-bedroom unit.

The unity of approach to materials results in the new brick forming a wrap around both new build and extension. In the extension it transforms from a larger element to a slender plane which provides a side wall to the pre-cast stone horizontals of the balconies and the roof edge. This provides a read-across with the horizontal expressed floor slab elements thin the existing elevation.

Punched window openings are set within the brick wall, reflecting the design of the new houses. These also have bronze-coloured anodized metal side panels which are distributed in an alternating panel to provide visual animation to the vertical plane. This, combined with vertical strips of recessed brickwork create a dynamic visual pattern.



New Blemundsbury Entrance



Throughout, the existing corrugated metal cladding will be replaced with materials from the new proposed palette. On the side of the washrooms, this material will be removed and replaced with the new extension. At the opposite end on the east elevation, this material will be replaced with a new brick skin and a vertical panel of pre-cast stone animated with a cast-in texture. The pattern applied to this element may be subject to further development through collaboration with local artists.



Precedent image showing the vertical expression of slender brick planes



Combination of vertical brickwork with horizontal concrete



View of existing metal cladding to be replaced with brick and pre-cast concrete



The extension proposals adopt a language of horizontal concrete slab edges seen in the existing buildings.



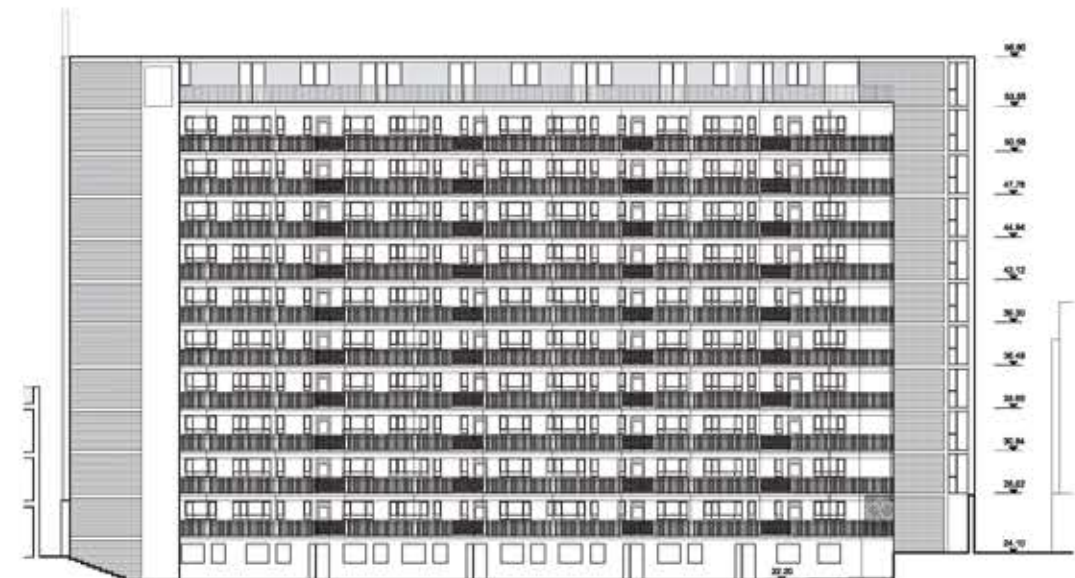
View of Blemundsbury roof and washroom extension



View from Dombey Street



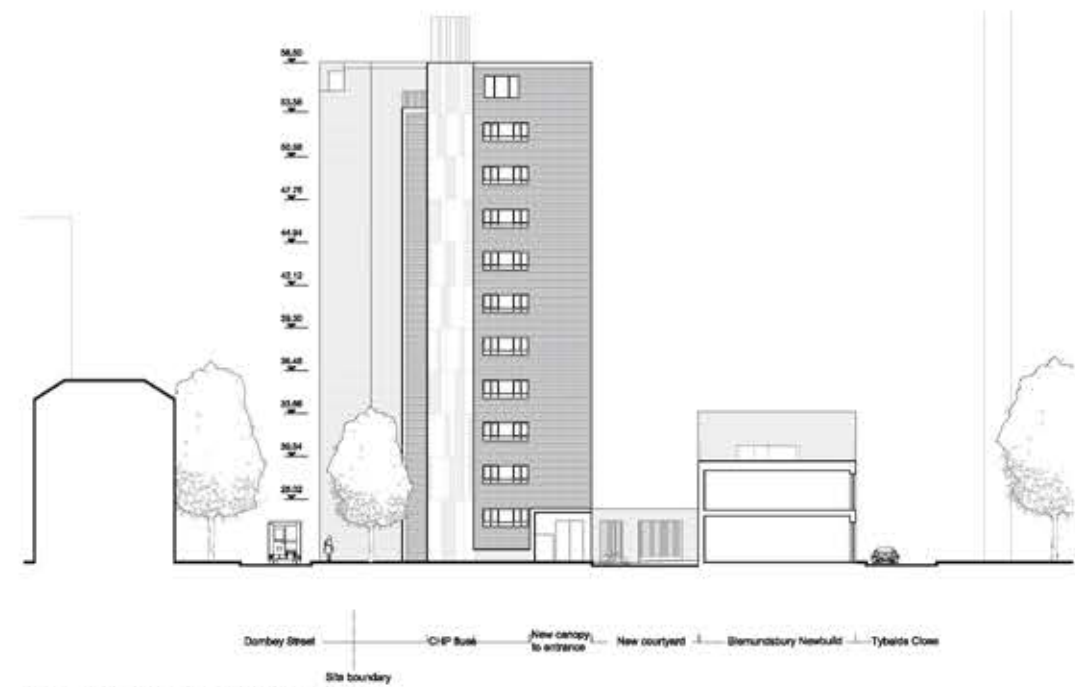
South-east elevation of Blemundsbury



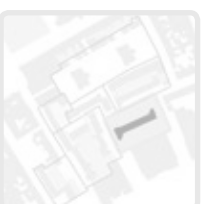
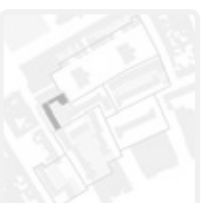
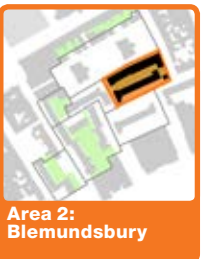
North-west elevation of Blemundsbury to the courtyard



South-west elevation of Blemundsbury



North-east elevation of Blemundsbury



5.4 Area 3: Devonshire Court

A new block is proposed at Devonshire Court that will match the height of the adjacent buildings, and help to provide frontage and overlooking onto the new close. This would also help provide an edge to the square at the rear of Babington Court.

The existing external space at the rear of Devonshire Court is of poor quality, and moving the existing stair core to the north end of the yard will help to improve the external space, by allowing more light in from the south, and also allow for the currently narrow pedestrian route to be widened. New low level garden walls with gates will form an enclosure to the Devonshire Yard, which will be carefully landscaped.

The new stair and lift will provide access to two recessed three-bedroom rooftop apartments, as well as serving the new-build & existing units.

1 An enclosed courtyard

A defined, overlooked square, with the back of the new block tying in with existing Boswell House

1a Core relocated to north end of the yard allowing light & views in, and broadening existing passageway

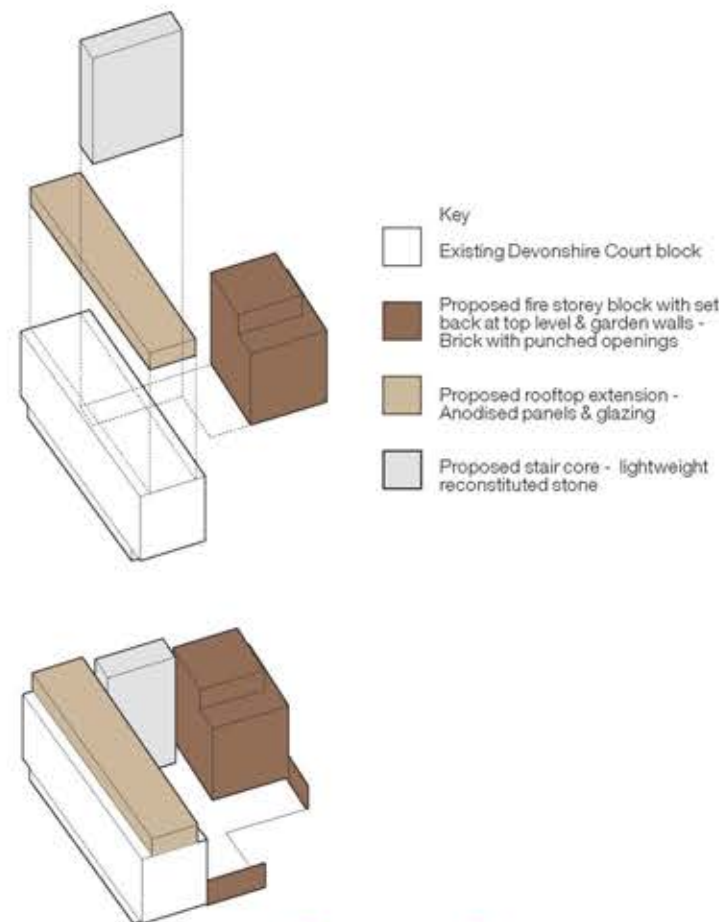
1b Garden walls help to define semi public courtyard area, at the south end this encloses the bin-store

2 A new frontage onto a public square

A new active frontage, equivalent to York House, is accessed from the public square behind Babington Court, this has maisonettes accessed at ground floor off the square.

3 Pedestrian routes through

Linking to the routes at south and west.



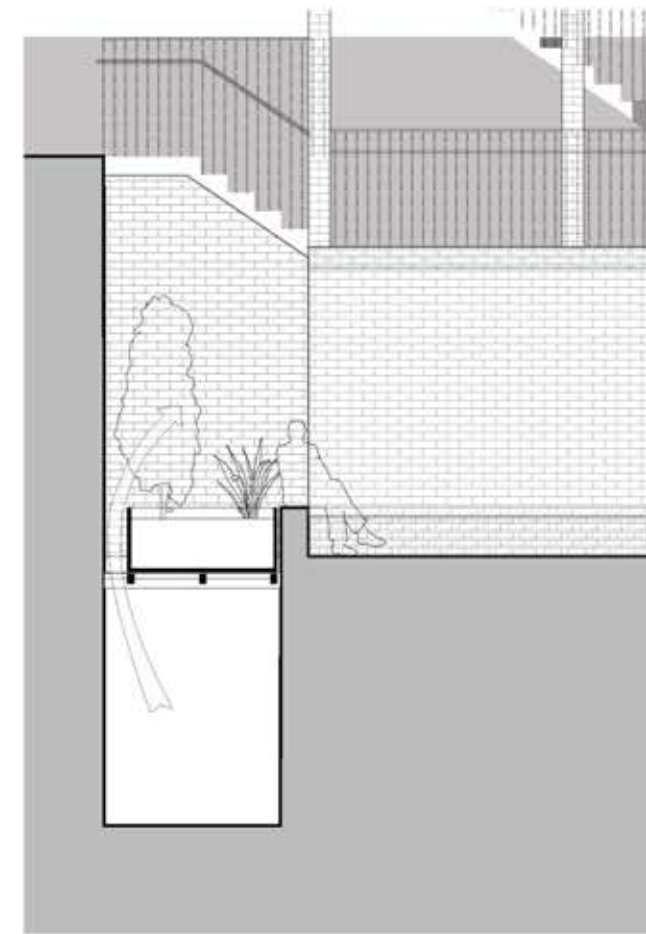
Devonshire Court in section as viewed from Boswell Court



Devonshire Courtyard as viewed from the South East



Urban design diagram showing the new building & yard space



Section showing the reconfigured garden wall & light well at the rear of Devonshire Court, this will provide an attractive green edge & seating



Photograph of existing Devonshire Court core & wall at ground floor



View looking along the new build Blemundsbury terrace towards Devonshire Court



Devonshire Court new-build

As shown on the diagram on the previous page, the new block at Devonshire Court is carefully designed to redefine the spaces both to it's front and rear, this strategy is also reflected in it's detailed design.

The front elevation echoes the other impressive, 'set piece' buildings around the square, in size, proportion & arrangement of windows. It has maisonnettes at ground floor which are accessed from the front. The flats at upper level are accessed via the deck facing the courtyard & have recessed balconies overlooking the square.

The top floor unit is stepped back in order to reduce the loss of light to Boswell Court, this provides a larger amenity space to this top floor unit, and this is taken advantage of with a large glazed opening to this south side. This south elevation has relatively few windows in order to minimise overlooking of Boswell Court, whilst still providing double aspect living spaces to the new apartments on this side. Double aspect living spaces are also achieved to the flats on the north side by inserting windows in the short return wall towards York House.

UNIT SIZE KEY

KEY:		3B5P FLAT	
1B2P FLAT		2B4P HOUSE	
2B3P FLAT		3B6P HOUSE	
2B4P FLAT		EXISTING UNITS	



Precedent image: Tony Fretton Vassal Road, buildings are carefully proportioned & have large openings in order to contribute to it's surroundings



View of Devonshire Court new-build from rear of Babington Court

Devonshire Court new core

The existing stair core will be demolished and a new stair and lift will be provided at the north end of the courtyard. It will provide stair & lift access to the new & existing units. This helps to open up the new semi public square.

Due to the site restrictions, this is a complex technical challenge, however care has been taken to make this as clear and simple as possible in terms of it's design & material treatment which has involved a number of exploratory physical & computer models as well as drawings.

The proposed stair will be constructed of slender precast concrete columns and slabs, while a brick base helps link it in with the base of existing Devonshire Court. The lift shaft will be in a light green reconstituted stone to match the tower entrance blocks.



Physical models were used to test the stair & reconciles the complex level differences between existing & proposed in an ordered & logical manner



Physical model exploring the junction of the ground floor brick walls with the precast concrete stair, creating a special condition at ground floor & ties the structure into the existing brick walls & garden wall concept



Precedent image: Diener & Diener stair



Precedent image: Caruso St John



Steel balustrade, polyester powder coated to match rainwater goods, with hardwood timber handrail behind

Green colour reconstituted stone to lift core to match new tower entrances

High quality precast reconstituted stone columns & beams & stairs to stair core structure

Brickwork plinth to match Devonshire Court new build, with large glazed doors & signage.

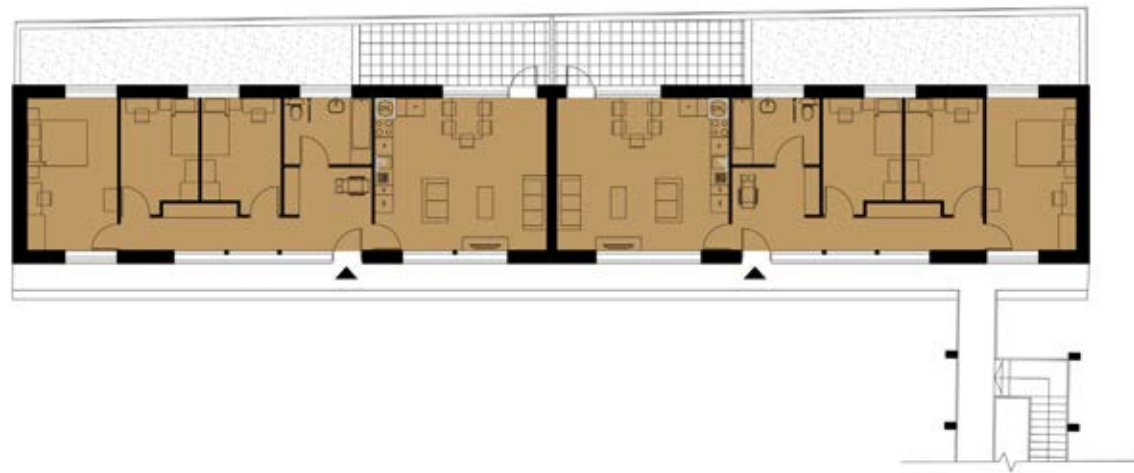


CGI showing new Devonshire Court stair core



Devonshire Court overbuild

Devonshire Court roof extension is accessed via the new lift and stair core and contains two three-bedroom wheelchair accessible apartments sized to meet the Camden Wheelchair Housing Design Guide. The units are set back from the existing roof edge and are designed using the same palette of materials as the other roof extensions including a pre-cast concrete roof-edge fascia and vertical panels of anodised aluminium cladding.



Devonshire Court landscaping

Devonshire Court Garden

This area will become a new secure entrance garden for the use of new and existing residents. The Council are investigating how to manage the access to this area and are looking at whether the space may be used by other residents in the vicinity.

The existing through route from Boswell Street through to New North Street has been associated with antisocial behaviour. The new buildings and garden would be opened up visually and fenced, taking inspiration from the private gardens on the other side of Boswell Court, tended by residents of Boswell House. The surface levels through this area will be reconfigured to remove all steps.

1. The northern part of the garden is a court paved with brick, onto which opens the new entrance to the lifts and stairs for all residents.
2. The central part of the garden is an informal gravel surfaced space for play and relaxation. There is a planting border on the west side, at the end of the Boswell Court building.
3. There is a gated entrance through the garden wall to the east. This leads onto a brick path with planting on the south facing new elevation and residents cycle parking on the other side. There is a planting screen between the cycle parking and the lower level back yards to Boswell Court.
4. The space is enclosed on the south side by a garden wall with bin stores on the inside. Refuse collection is from Boswell Street, via Boswell Court.
5. The existing mature maple tree is a poor specimen but is valued by residents for the volume of foliage it provides and so will be retained. New trees would be planted to eventually replace the maple.
6. The existing wall and gates to the rear of the retail premises will be removed and limited cosmetic improvements made to rear elevations. The concrete bridges will be retained to access the rear doors. The void below would be retained and covered over with gratings between the bridges. Large planters with bamboo would be placed on the gratings to make a strong green edge to the garden and screen the backs of the shops.

7. The private terraces at the back of the new ground floor apartments are slightly sunken behind a privacy screen of planting.
8. There is a south facing planting bed which can be seen through the gate from Ormond Court.
9. A large seat facing the paved court is part of the south facing elevation to the new stairwell building.
10. Covered and secure cycle storage for residents.
11. Cycle parking for visitors in the public area.



Precedent: The Yard, Roehampton University, Henley Halebrown Rorrison Architects.
The brick bench seat adjacent to the main entrance door & high quality textured paving to the yard space will help link the building with it's context as well as providing an attractive place to sit out & for children to play.



Precedent image: housing project with enclosed courtyard



5.5 Area 4: Windmill

A new seven storey extension to the existing washroom block is proposed at Windmill, rising to the same height as the existing lift core. This will accommodate six new one-bedroom apartments. There will be no overbuild to the existing block, and the existing basement storage units will be entirely renewed and put back into use.

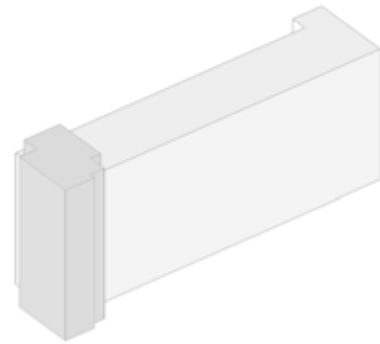
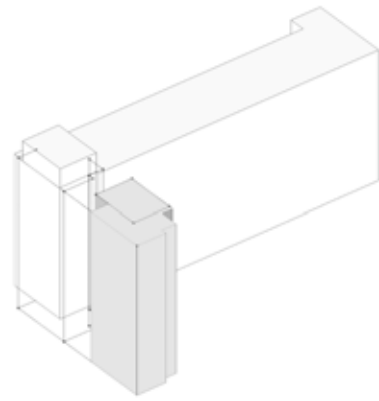
The new side extension will improve the relationship of the entrance to the street, with a generously glazed, secure lobby entered off the pavement and an enlarged space for refuse storage to ensure no overspill into new North Street. The building entrance will be signposted with a finely detailed concrete panel with the name of the block in recessed lettering.

The brick wall facing New North Street will be extended at ground level to the south to enclose the recycling bin storage at the entrance to the existing car park and provide an improved appearance on approach to the estate from Theobalds Road. New planting within the car park will provide added visual amenity and provide a pleasant foreground to the building when approached from the south.

The new extension is stepped to avoid any impact on the daylighting to the existing windows adjacent. The balconies are integrated into the volume of the extension to give visual depth and to tie in with the inset balconies in the main building with horizontal white pre-cast concrete edges and soffits.



Birds eye view of the Windmill extension





Existing Windmill Block 
Proposed side extension 



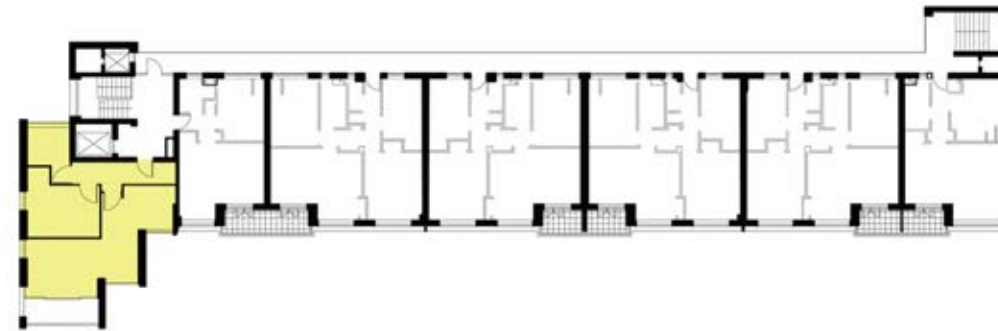
Photo showing the existing setting of the Windmill entrance with the car park and recycling compound in the foreground. The new proposals will include a continuation of the main brick elevation in the form of a low brick wall to enclose and conceal the car park and bins.



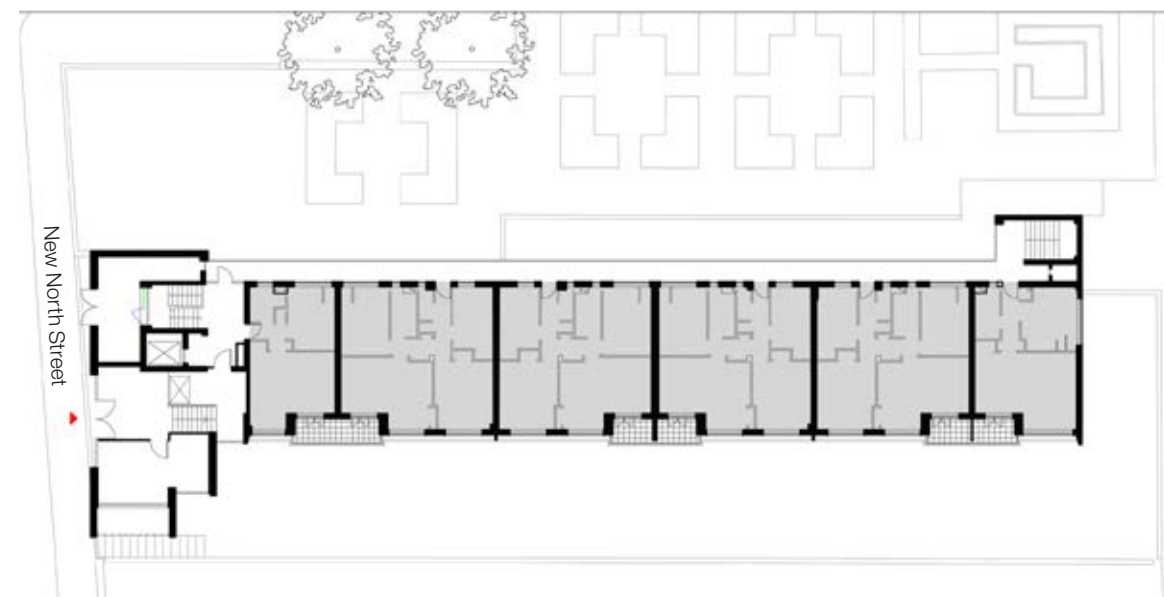
The existing entrance arrangement next to the bin store will be revised with a new entrance lobby separated from the bin enclosure which will be enlarged to ensure no overspill into the pavement.



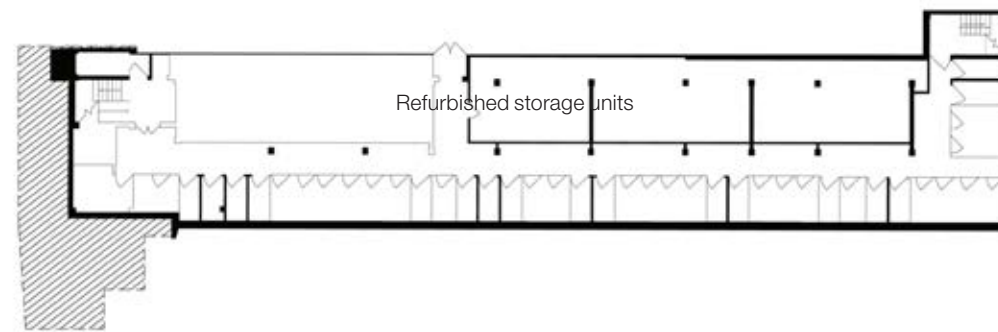
The existing disused washroom extension will be enlarged to provide the new units, with a stepped plan form to ensure privacy, daylight and sunlight to the adjacent existing flats.



Typical upper floor plan



Ground floor plan




Basement plan

UNIT SIZE KEY

KEY:

1B2P FLAT 

2B3P FLAT 

2B4P FLAT 

3B5P FLAT 

2B4P HOUSE 

3B6P HOUSE 

EXISTING
UNITS 

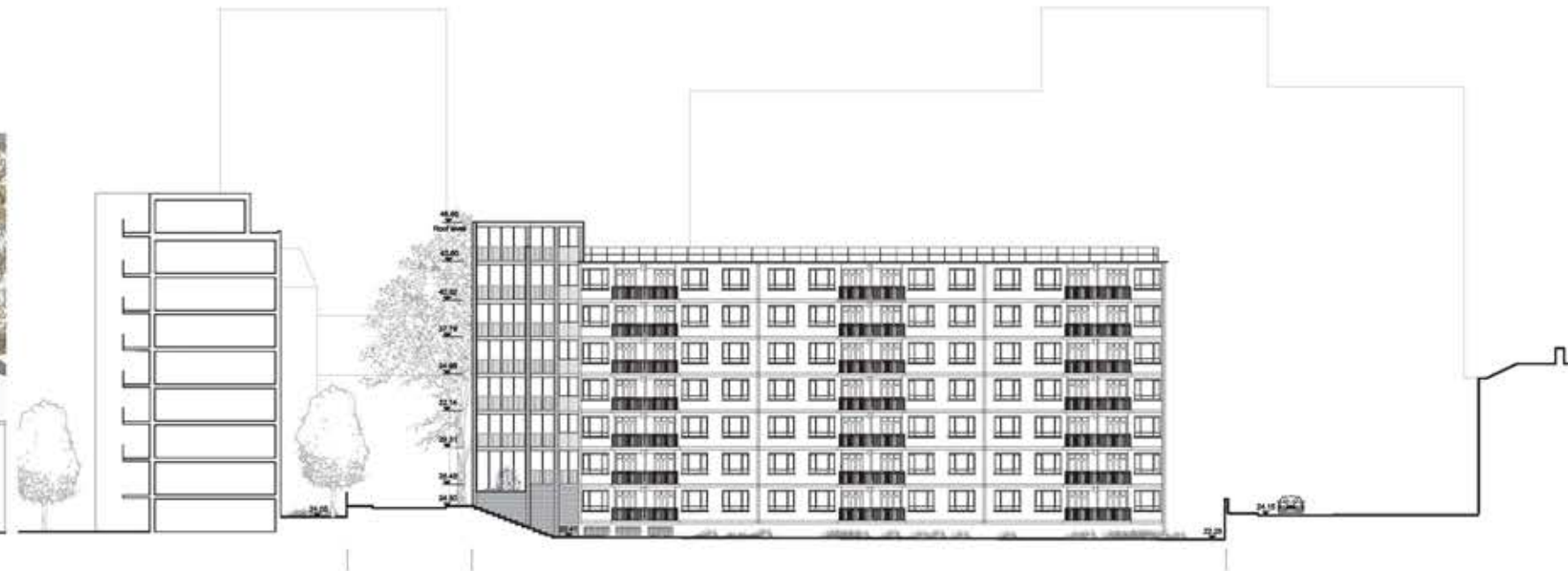




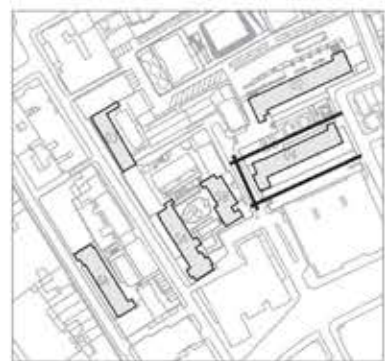
View along New North Street looking towards Windmill and Springwater extensions.



Detailed elevation showing the new main entrance into a new secure lobby. The building is signposted with the block name inscribed in a pre-cast stone panel next to the entrance



South-east elevation



BUILDING KEY
 02 - St Edmundsbury
 03 - Devonshire
 04 - Windmill
 5A - Richbell
 5B - Springwater
 6A - Falcon



South-west end elevation showing main entrance



North-west elevation toward rose garden



Landscaping

Rose Garden

- 1 The Rose Garden is tended by estate residents and valued by local people and visitors as a high quality green space, much welcomed in this part of the city. No specific changes are proposed, but the project will be able to support resident initiatives to make better use of the garden for a wider range of people and activity.
- 2 The existing gate into the Rose Garden from near the Blemundsbury west entrance will become redundant because the levels of the path will increase to slope up towards New North Street. A new set of steps will allow access from this entrance area down to the garden.

New North Street Frontage

- 3 Where the New North Street footway overlooks the Rose Garden, the retaining wall parapet will be replaced to be continuous with the new structures.

Green 'Moat' and Car Park

- 5 The lower grassed area to the south of Windmill is not accessed by residents and will continue to be maintained as a green buffer space.
- 6 There will be a new staircase from New North Street to access this lower area.
- 7 The car park will be resurfaced with buff coloured bitmac to match the other improved parts of the estate.
- 8 New trees will be planted on the north side of the car park. The species, Swedish whitebeam, is selected to provide a degree of screening but not to cut out too much sunlight. London plane be planted at both ends of the car park, fronting New North Street and Harpur Street.
- 9 There will be new refuse storage facilities at the west end of the car park for Windmill residents.





5.6 Area 5:

Springwater and Richbell

Springwater

The proposed side extension to the south of the existing block will accommodate eight one-bedroom apartments together with enlarged refuse storage facilities and a new refuse chute. This will connect to an overbuild on the roof housing one three-bedroom family unit. The gate from New North Street will be set within a new brick feature wall and there will be a new glazed entrance lobby to the building. The lower ground floor level will be refurbished to accommodate bulk refuse storage for the whole estate and caretakers' accommodation.

The side extension includes an extension of existing bedrooms to the adjacent apartments to allow a generous window facing towards new North Street in lieu of the existing windows facing south. The existing areas of corrugated metal cladding will be entirely renewed with pre-cast concrete panels which reflect the original design. These will feature an artistic patterned texture to provide visual interest at the human scale.

The access to the buildings and landscaped areas will be re-designed to ensure that all paths are to wheelchair accessible gradients.



Birds eye view of Springwater extension and overbuild

Existing Blocks	<div></div>
Proposed side extension	<div></div>
Proposed roof top extension	<div></div>
Proposed lower ground dwellings	<div></div>
Proposed extension to existing flats	<div></div>

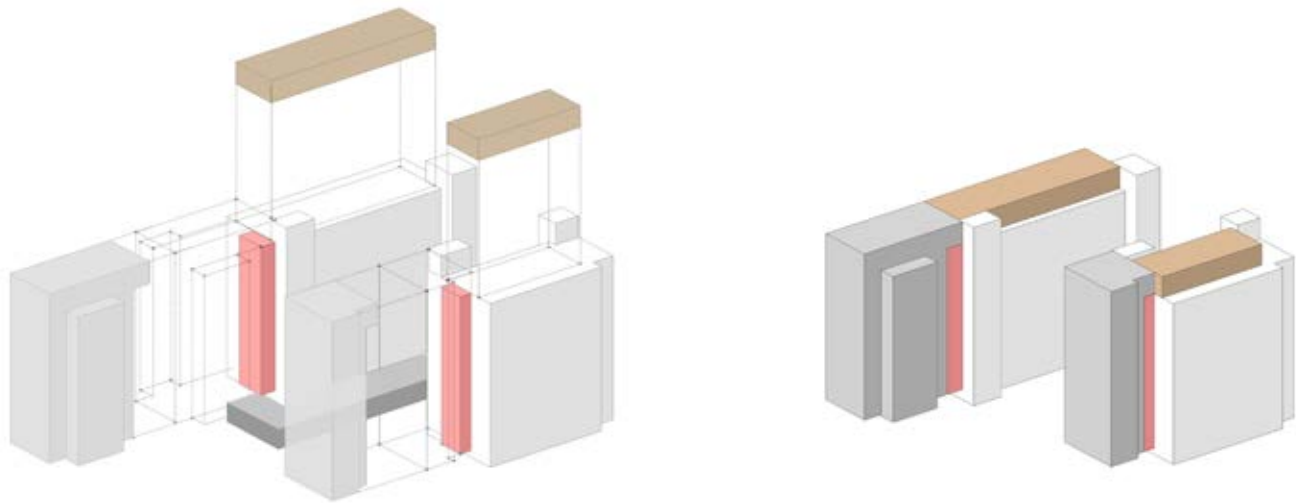




Photo showing the existing entrance to Springwater from the street. This will be replaced with a new brick and pre-cast stone portico with a inset lettering and a decorative treatment applied to the pre-cast stone panel.



This shows the existing entrance arrangement directly to the staircase adjacent to the refuse chute door. This will be replaced by a new entrance lobby separated from the refuse store. The ramp to the central play area will be changed to meet wheelchair accessibility standards.

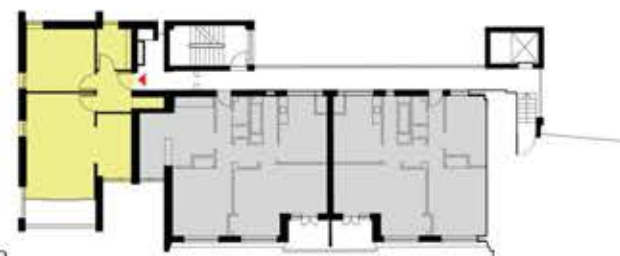


The later additions of corrugated metal cladding will be replaced with pre-cast stone panels to reflect the original design. These will have an applied pattern which can be developed in collaboration with a local artist.

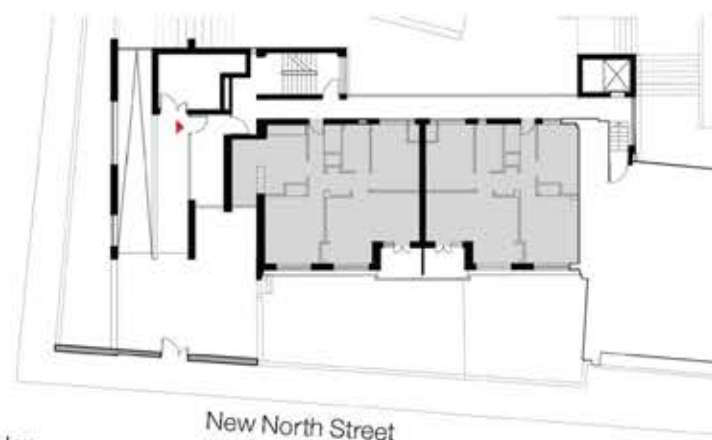
Roof plan



Typical upper floor plan



Ground floor plan



Basement plan



- 1: Caretakers accommodation
- 2: Refurbished storage units
- 3: Bulk refuse storage

UNIT SIZE KEY

KEY:

1B2P FLAT

2B3P FLAT

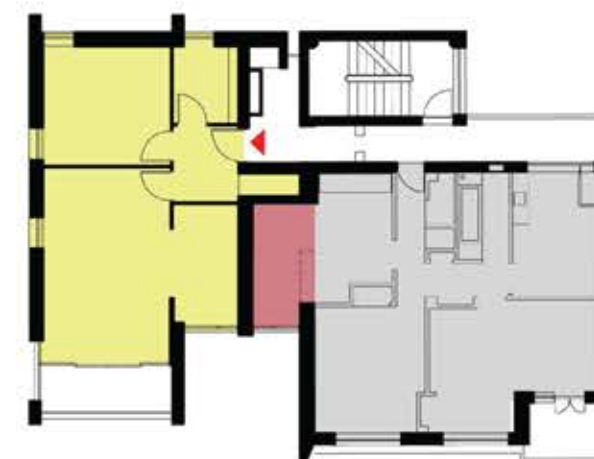
2B4P FLAT

3B5P FLAT

2B4P HOUSE

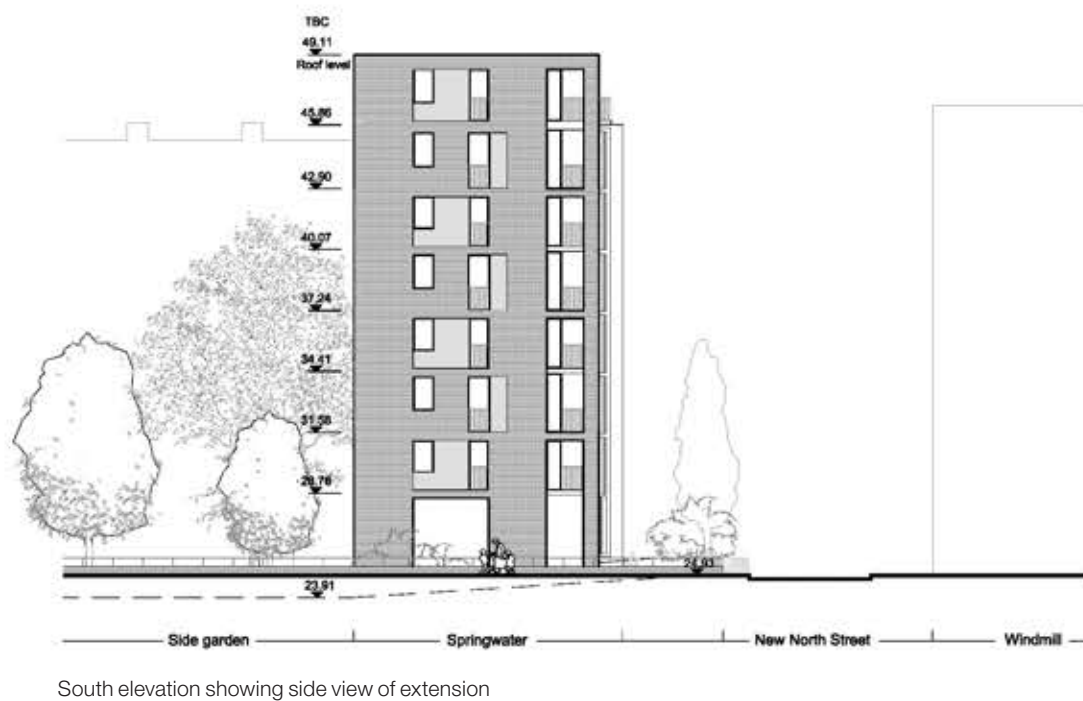
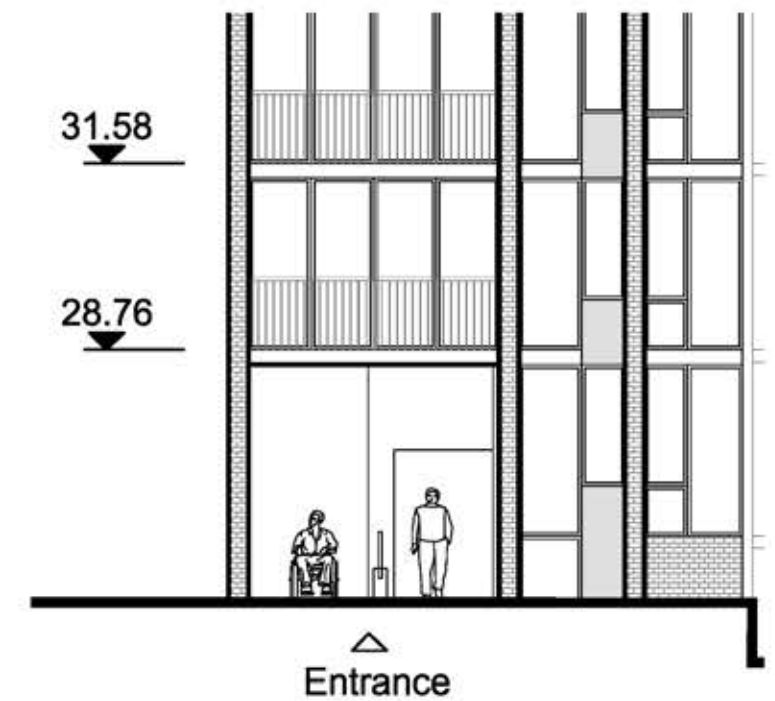
3B6P HOUSE

EXISTING
UNITS



This plan shows the extent of extension to the existing single bedrooms (coloured in pink) which will be sized to double bedroom standards and will benefit from new full height windows. The design of the extensions ensures that privacy and daylight/sunlight levels remain unaffected.





Richbell

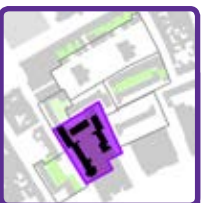
The proposed side extension is on eight storeys and accommodates twelve new one-bedroom apartments (two on each floor) and one two-bed unit. These are served by a separate staircase and lift. This element connects to the overbuild accommodation which contains two three-bedroom flats and connects to the main block via the existing staircases. The lower ground floor, which is at the level of the inner courtyard, will be converted to four one-bedroom apartments.

As part of the development, the kitchens to the adjacent existing flats are to be extended by 8sqm with full height glazing facing the new landscaped space between Richbell and Springwater. This will enable the extended rooms to incorporate additional kitchen units and a dining table.

The design of the Richbell extension uses the same family of materials as the other extensions, including brick and pre-cast stone. The volume of the building is aligned with the frontage of the existing block, and features a vertical bay element which contains the street-facing apartment living room and balcony. This element serves to signpost the new street entrance.



Birds eye view of Richbell extension and overbuild



Area 5:
Richbell and
Springwater





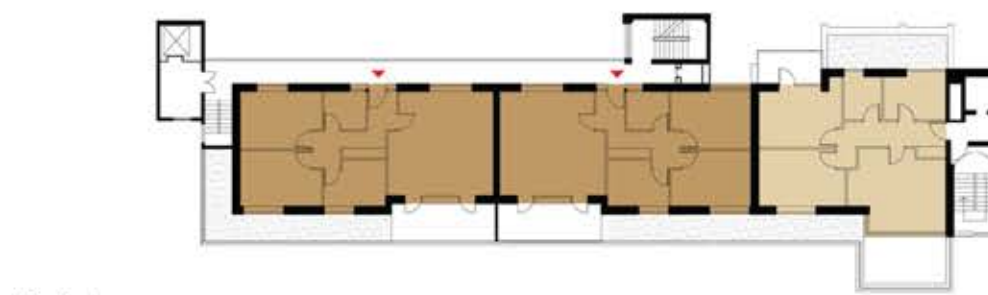
Photo showing the existing setting of the Windmill entrance with the car park and recycling compound in the foreground. The new proposals will include a continuation of the main brick elevation in the form of a low brick wall to enclose and conceal the car park and bins.



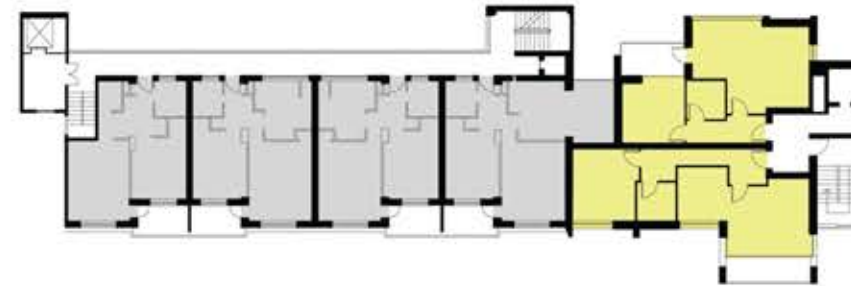
The existing entrance arrangement next to the bin store will be revised with a new entrance lobby separated from the bin enclosure which will be enlarged to ensure no overspill into the pavement.



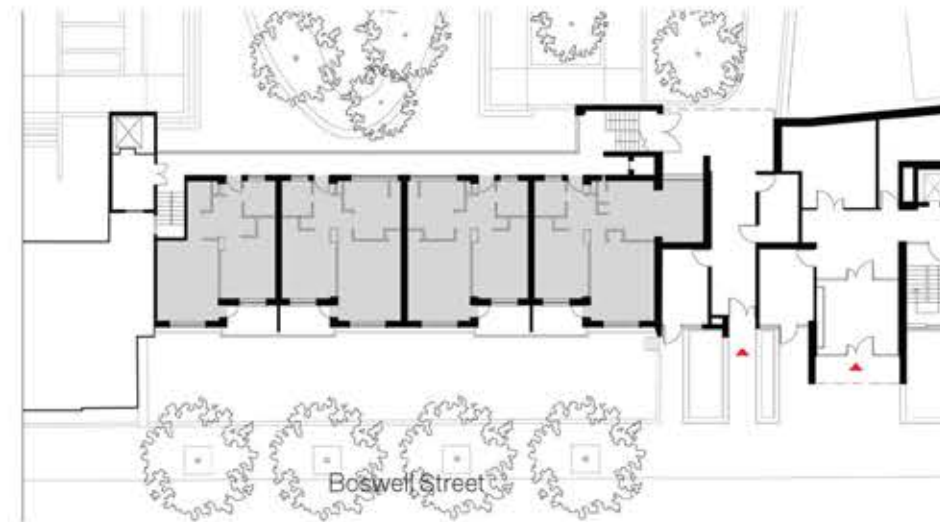
This plan shows the extent of extension (coloured in pink) to the existing kitchens which will enable additional kitchen units and a dining area to be added and will benefit from new full height windows. The design of the extensions ensures that privacy will not be affected.



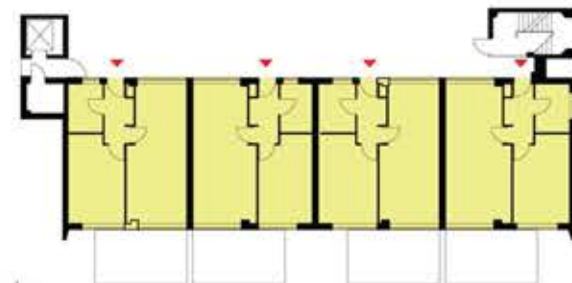
Roof plan



Typical upper floor plan



Ground floor plan



Basement plan

UNIT SIZE KEY

KEY:

1B2P FLAT

2B3P FLAT

2B4P FLAT

3B5P FLAT

2B4P HOUSE

3B6P HOUSE

EXISTING
UNITS

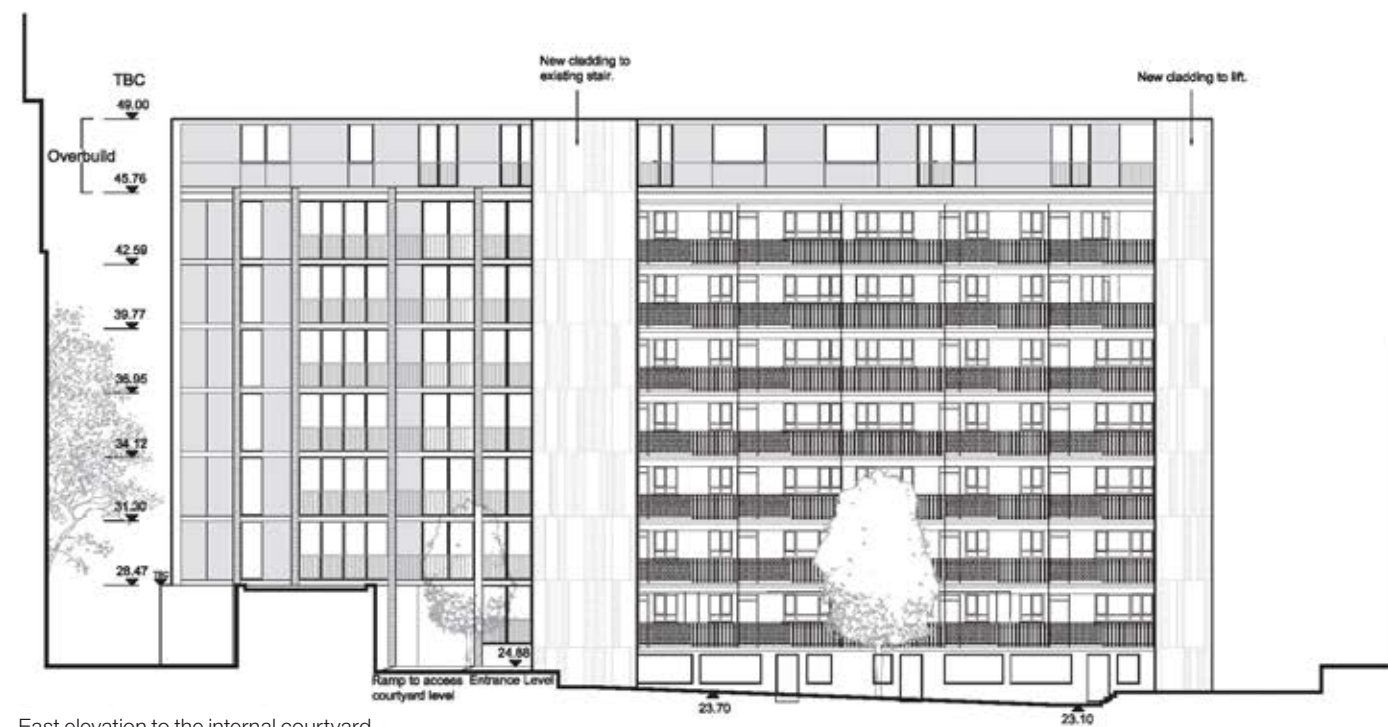




West elevation to Boswell Street



South elevation showing end wall of extension



East elevation to the internal courtyard



Area 5:
Richbell and
Springwater





View of Richbell from Boswell Street

Area 5 Landscape

Richbell and Springwater Courtyard

This courtyard is of great value as a secure place for children to play. However, residents have expressed a desire for more mixed activity, including gardening, growing of produce and a quieter place where adults can relax. The new space is focused around a large raised central lawn with tree planting. The new paths and ramps allow wheelchair access to all areas. The increase of soft surfaces and planting will reduce noise.

- 1 The central part of the courtyard will become a grassed area. The slightly raised sides and undulating grassed surface is intended to make an attractive place for people to sit and for children to play, but will discourage ball games (which are currently not allowed but played frequently). The grass could be maintained as a neat lawn or managed to create a more informal meadow with wild flowers.
- 2 The grassed area will be planted with a number of small fruiting trees, including varieties of apple, pear, plum and damson. These will not cast much shade, but will blossom and produce fruit that residents can harvest for kitchen use.
- 3 The entrance from Boswell Street leads onto a shallow ramp curving down around a raised planting bed. The boundary walls here will be planted with climbers.
- 4 The entrance from New North Street will lead down a ramp with a colonnade to the south side, open to the boundary planting.
- 5 The four existing trees to the south end of Springwater will be replaced by new smaller trees, with one substantial London plane next to New North Street.
- 6 The curved shape of the lawn allows good circulation space around the courtyard.
- 7 The northern part of the courtyard takes up the existing change in level by means of shallow ramps which are arranged to create terraces.
- 8 The central terrace has several raised beds of timber construction. In consultation, residents have expressed a desire to manage these as a communal resource for growing vegetables, herbs, fruit and flowers. These beds can have a combination of produce and shrub / perennial planting, depending on the uptake.



- by surrounding with a large raised planter to match the nearby proposed planters.
- 10 A broad planting bed is proposed against the south side of Boswell House. This will provide a green buffer zone where the ground floor apartments have living rooms and bedrooms on this side. The existing route is moved slightly further away, and actually facilitated by the introduction of a ramp to one side.
- 11 The extreme northeast and northwest corners of the courtyard, where the steps lead up around the central part of Boswell House, will be remodelled. This will create more useable space for residents at the higher level and help to design out the dark corners and complex changes in level.
- 12 The small garden and circulation areas around the north of Boswell House are well tended by residents and are attractive to people passing on Boswell Court. These spaces would remain as existing.

New North Street Frontage

- 13 There will be a new brick wall nom. 2700 height with a securely gated portal opposite the proposed building entrance.
- 14 The paved entrance space inside the gate has shrub and tree planting on both sides.
- 15 The existing lawn fronting Springwater will be retained. The two maturing rowan trees will be retained with two more trees planted.
- 16 The plant room roof to the north side will be resurfaced with a gravel coating on mastic asphalt.

Boswell Street Frontage

- 17 The existing Richbell parking yard fronting Boswell Street would be replaced with the new building fronted by three planting beds. These are close to the building and so would not include trees of large size, but will include some specimen shrubs and perhaps small trees. This will improve views up and down Boswell Street and from Falcon.
- 18 The lower level narrow grass strip to the Old Gloucester Street frontage would be retained with the part nearest the building battered down to allow more light into the new lower ground floor apartments.
- 19 Four new street trees are proposed on Boswell Street, planted in the footway on the Richbell side. These would be *Malus tchonoskii*, a flowering crab apple species that does not spread too wide. Minor service diversions might be necessary.



View of Richbell / Springwater courtyard



Area 5:
Richbell and
Springwater



Area 6: Falcon

The new accommodation proposed for Falcon includes seven one-bedroom apartments located in an extension to the existing washrooms, with two new three-bedroom apartments located in a rooftop extension set back from the existing roof edge.

As part of the development, the existing TRA hall will be refurbished and increased in size from 102sqm to 172sqm. This will allow the hall to be adaptable to a number of different uses and divided into two separate spaces if required with kitchenette, storage and washroom facilities provided. The existing storage facilities on the eastern wing adjacent to Boswell Street will be refurbished.

The main entrance from Old Gloucester Street will be renewed with a new portico and signage incorporated in a pre-cast stone panel. A new secure internal entrance lobby provided. The existing ramped access to the courtyard will be refurbished and provided with new lighting. The staircase and landings will also be redecorated.

The massing of the extension is designed to align with the existing building with a brick side wall punctuated with balconies facing the play area. The design of the new apartments ensures that the rear of the extension only forms a small addition to the existing volume of the lift shaft with only bathrooms in this location ensuring that there is no issue with habitable rooms facing inwards towards neighbouring properties. The roof extension is substantially set back to minimise impacts on views or daylight and sunlight to the surroundings.



Birds eye view of Falcon showing roof and side extensions

