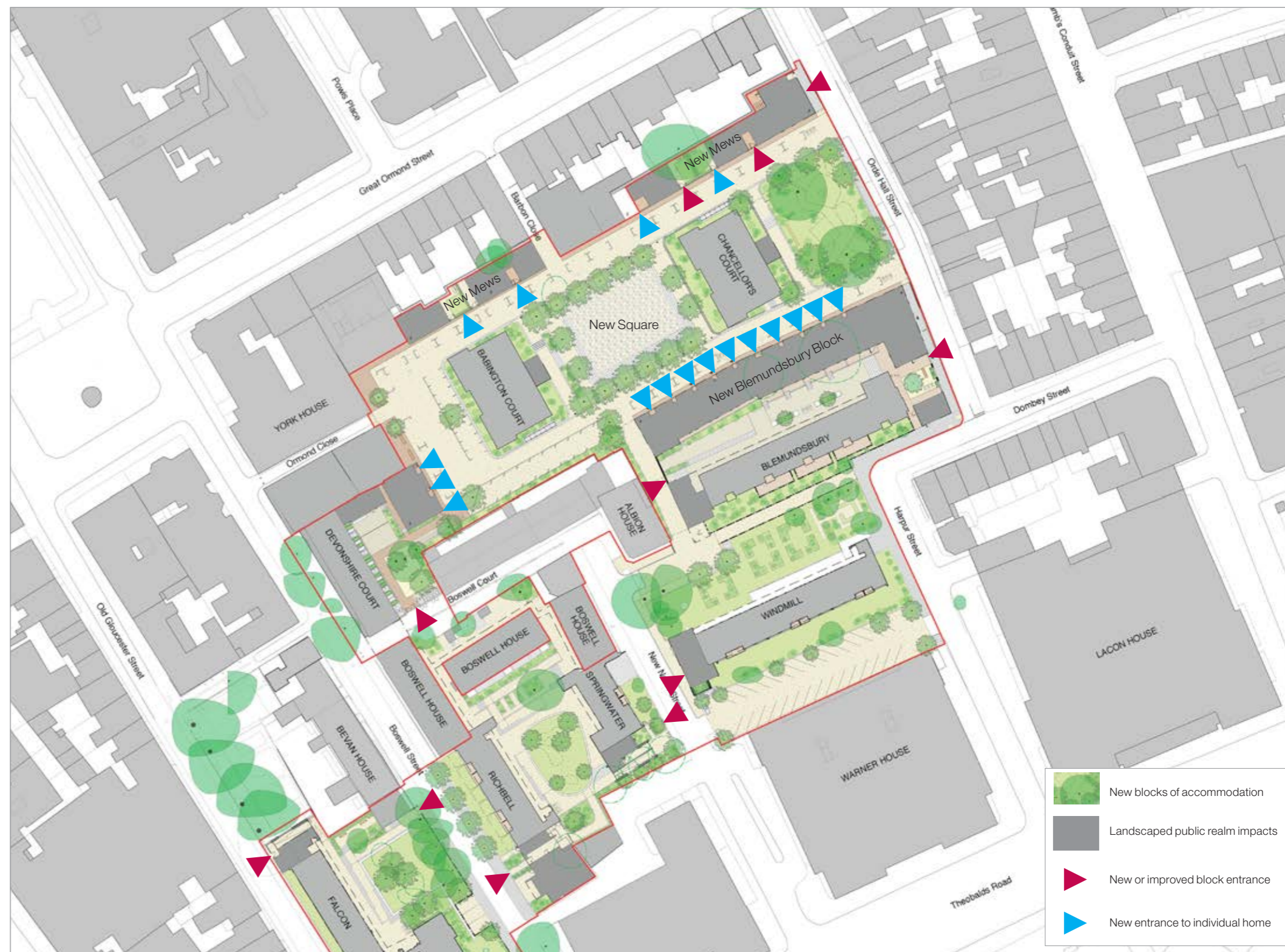


3.5 Application proposals

The adjacent drawing is the final application masterplan. This indicates the locations of proposed new blocks and areas where conversions, extensions and additions are proposed to existing buildings. The detailed architectural proposals for each area are described in more detail in section 5 of this document.

The proposals include:

- a total of 93 new homes of which:
 - 32 homes are proposed in new build blocks at Devonshire Court, Blemundsbury and the mews houses.
 - 61 homes are proposed in lower ground floor conversions, washroom extensions and rooftop additions to the existing blocks at Devonshire Court, Blemundsbury, Windmill, Richbell, Springwater and Falcon.
- Improvements to all of the open area around the estate, including a new high quality central open space and improved residential courtyards at Falcon and Richbell and Springwater.
- Upgraded and extended TRA hall at Falcon. Improvements in the access arrangements to the Blemundsbury TRA hall via a new ramp. Improved courtyard spaces to both of these areas which can be accessed directly from both TRA halls.
- New improved entrances and access arrangements are proposed to many of the existing blocks. The tower block entrances have been remodelled to improve their accessibility and to enable wheelchair users and those with prams to access the lifts via ramps. Blocks where washroom extensions are proposed will have new entrance spaces incorporating improved access arrangements and better refuse/recycling and cycle storage. The existing Devonshire Court stairwell will be removed and both the new build block and the existing block will be accessed via a new shared stair and lift core. Existing Devonshire residents will now have lift access.
- Refuse storage for the whole estate has been rationalised and where possible designed into discrete storage spaces within buildings.
- A new energy efficient combined heat and power plant which will replace the two existing facilities and provide new and existing residents with more energy efficient heat and hot water.
- New caretakers facilities.



Final application masterplan

3.6 Scale of development (overall)

The proposed new build blocks, extensions and additions are designed to be in keeping with the historic pattern of development surrounding the estate. The scale of development of the wider area varies a great deal, with large deep plan office buildings of bulky mass that front onto Theobalds Road and institutional uses at Great Ormond Street and Queen's Square in comparison with the smaller scale mews and terraces of Orde Hall Street and Lamb's Conduit Street. The heights of the buildings within and around the estate are set out in the adjacent diagram.

Chancellors Court and Babington Court are the tallest buildings on the estate at 14 storeys. Most of the buildings on the estate are between 5 and 8 storeys in height.

Levels across the site are reasonably flat with some raised or sunken areas between or around buildings or in courtyards.

The next diagram indicates the heights of proposed development on the estate. Scale and height have been carefully considered throughout the design development stage and have been designed to fit in with their context and to ensure that impacts on existing residents and neighbours have been kept to a minimum.

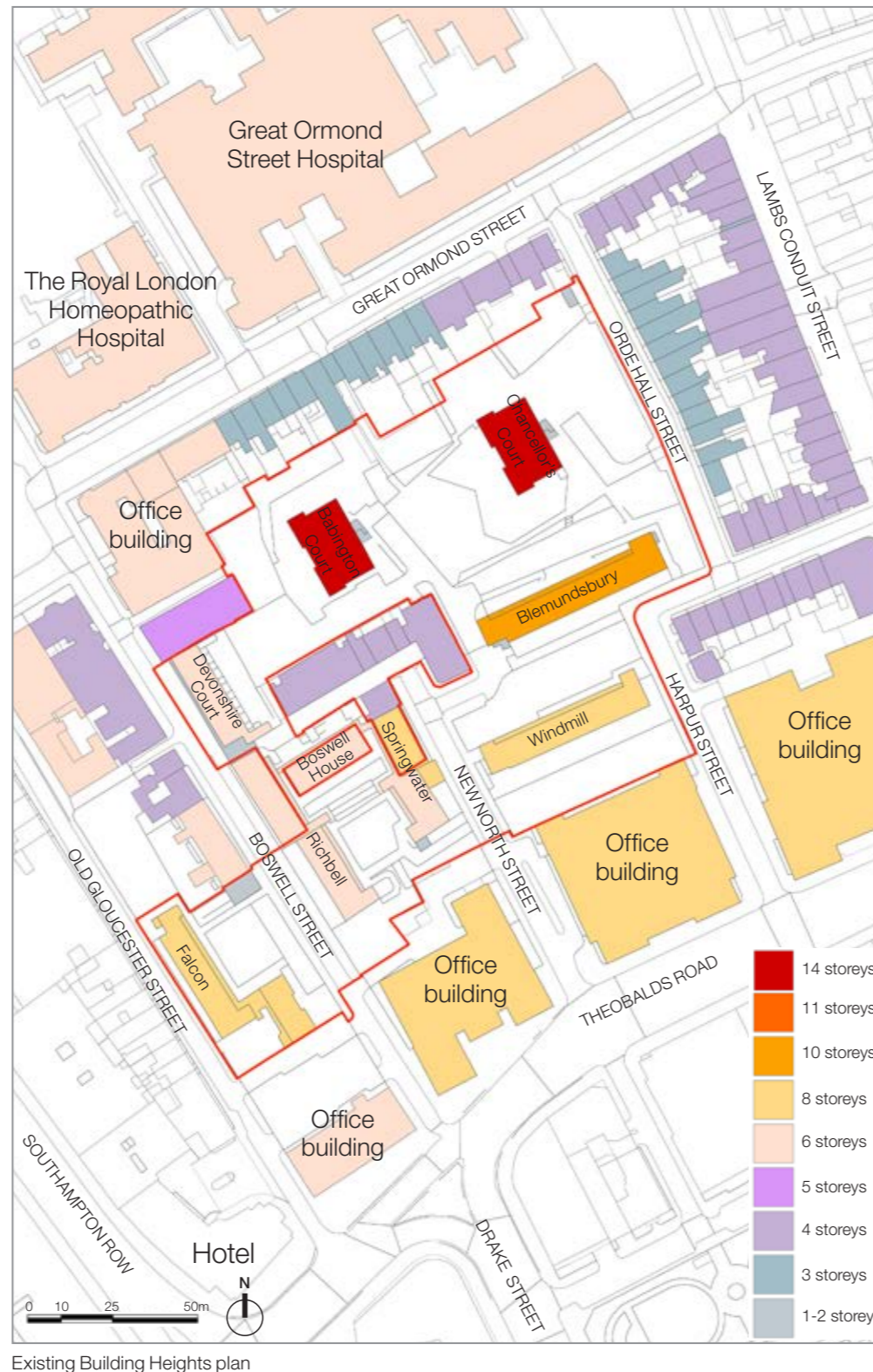
The row of mews houses proposed in Area 1 have been designed with the back garden wall to the existing buildings on Great Ormond Street in mind.

The end of the new build Blemundsburly block and the end of the mews have been designed for their heights to reflect the height of Orde Hall and to help define the Orde Hall Street play area as a high quality area.

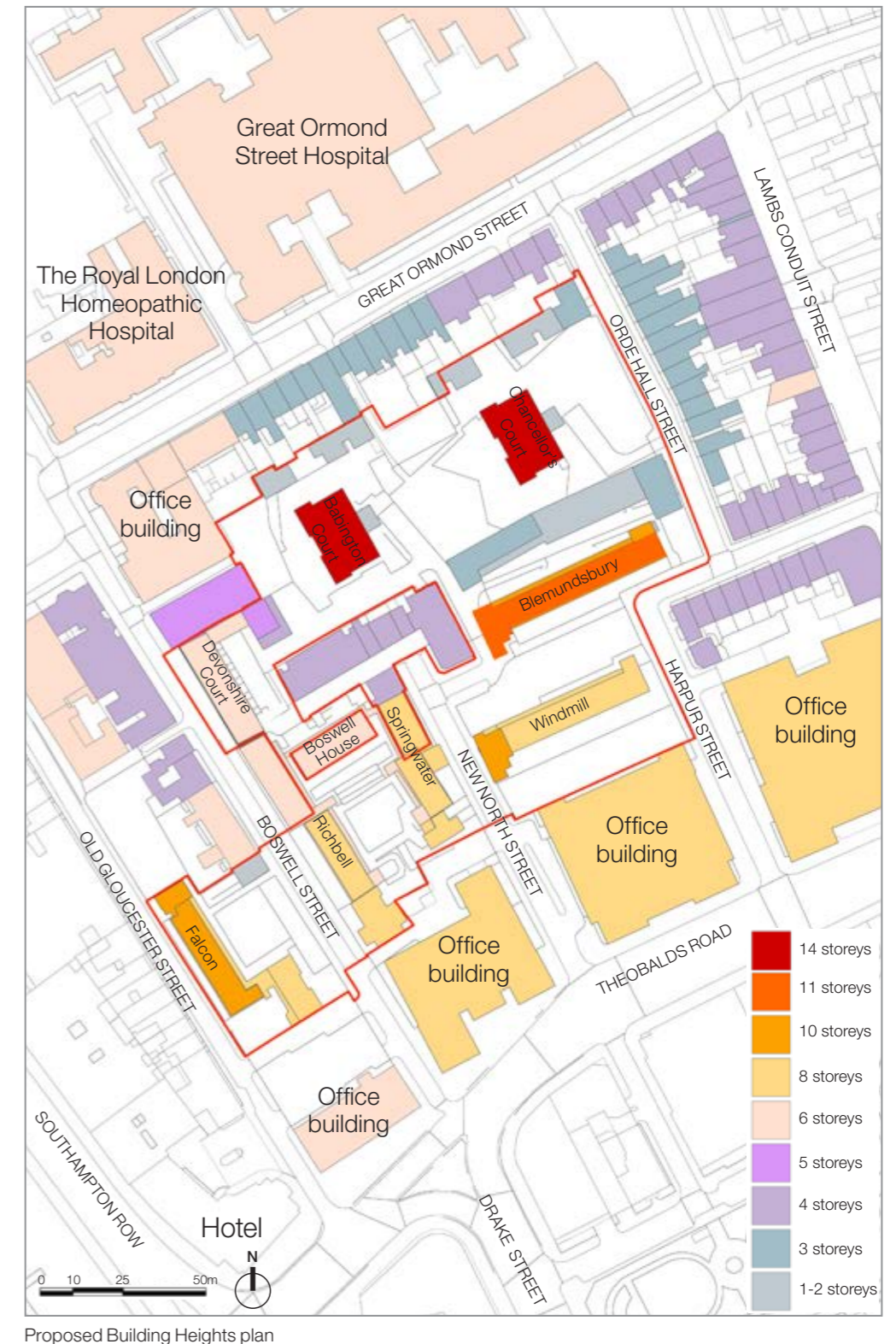
The western end of the new build Blemundsburly block rise in height by one storey in order to address the existing mews properties at Barbon Close and to define the new main square space.

The new build element to proposals at Devonshire Court are four stories with a set back fifth storey element. This has been designed to be in keeping with the height of Boswell Court and to reflect the neighbouring building Ormond House which is four stories with a fifth storey mansard.

The scale of the extensions and overbuilds have been designed carefully with the streetscape of these areas in mind. The overbuilds are setback to reduce their impact in views at street level.



Existing Building Heights plan



Proposed Building Heights plan



Model indicating the scale of the proposals in the north of the estate



Model indicating the scale of the proposals in the southern portion of the estate

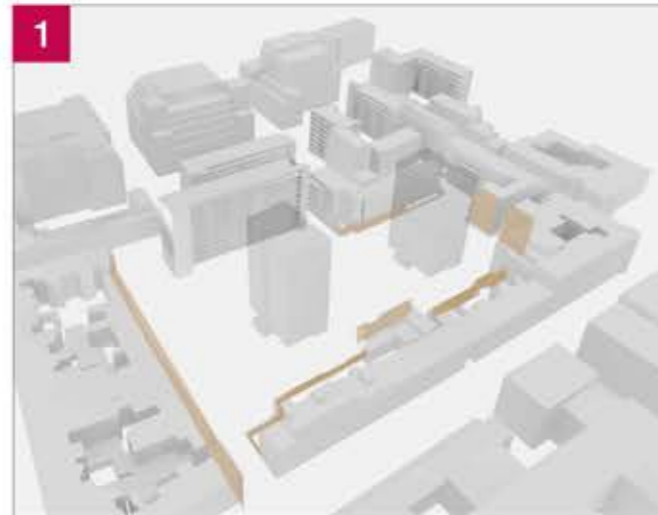
3.7 Architectural response to the existing estate and context

The main aims of the urban design proposals for the estate regeneration are about sensitively stitching the proposals into their surrounding context, thereby reinforcing the existing street patterns and creating a pattern of legible and well-defined public spaces, connecting the Tybalds Estate with the wider area.

This approach, together with the public realm improvements, has been designed to improve security, wellbeing and access on the estate, with particular attention given to the experience of residents and visitors when arriving at and passing through, and making use of the revitalised public and shared spaces.

The use of high quality materials that relate to both the estate and the surrounding area, and that are also robust and provide interest is central to the proposals. A shared architectural language has been developed across the new buildings and extensions which draws inspiration from both the local context and the estate buildings.

The diagrams at the bottom of this page (steps 1-6) illustrate the sequence of moves made with the new urban form to make an appropriately strong and yet contextual response to the site. This sequence is as follows:



Existing Context

- Street frontage with bookends & connecting garden walls to Orde Hall Street
- Garden walls to rear of Gt Ormond Street with varying heights & materials
- Surrounding streets have varying brick textures & apertures



Creating a new terrace/garden wall

- New brick terrace with strong frontage onto Orde Hall street corners onto play park, creating clearly defined new route
- Height of the terrace reduced further into the site to provide more domestic scale & datum level



Punching green spaces & apertures into the terrace/garden wall

- Positioning of green spaces in the terrace responds to location of existing high rise towers & trees
- Apertures created to allow routes through for entrances eg to Blemundsbury



Lifting in height across public spaces

- Raising in height to respond to existing buildings & address the open spaces within the estate



Volumes added to sides of existing blocks

- New volumes added to existing blocks sharing a common language with both the terrace/garden wall and with subtle changes to reflect the estate architecture



Volumes added to tops of existing blocks

- Lightweight volumes added to the tops of existing blocks to share a language with the lightweight elements and the estate architecture

- 1 Based on good understanding of the existing site and context the pattern of terraces, buildings and garden walls creates a robust rectangular space across the main central area of Tybalds Close.
- 2 To give this space a strong sense of enclosure and continuity a 'garden wall' is extended around this space, creating new frontage development and clearly defining the edges of the space. This pattern defines the Orde Hall Street play space, and the area between Chancellors and Babington Courts as new urban squares. The form of buildings at the west of this central space is designed to related to the two existing buildings either side of Ormond Close.
- 3 Gaps and green spaces are created in the wall above ground level to ensure that existing site features and constraints are responded to appropriately. For example small courtyard gardens are created in the mews to enable existing trees to be retained and roof terraces are created at pinch points between existing taller buildings to increase daylight and sunlight penetration.
- 4 In order to respond to the urban form of the newly enclosed area of Tybalds Close building heights are lifted in key locations to indicate important corners and edges. In this way the height of the corners on Orde Hall Street are lifted to the same height as the existing buildings on the east of the street, and the development surrounding the new central square is similarly raised where local conditions allow.
- 5 Alongside a number of the existing blocks elsewhere on the estate extensions to existing buildings are created that add definition and strong frontages in key locations. These are generally raised to the same height or one additional storey above the existing buildings. The language of the additions relates carefully to both the existing blocks and the new proposals.
- 6 Rooftop additions are added where supported by local conditions. These additions have a consistent language that is recessed from the edge of each block.

The following sections describe how a number of key themes have been developed:

Stitching into the surrounding street pattern

The proposed development is intended to provide a legible arrangement of blocks that draw upon the local context, using a coherent block pattern to stitch Tybalds Estate into its surroundings, as well as drawing upon the language of existing garden walls within and around the site.

The new mews houses (on the back of the houses on the south side of Great Ormond Street) replace elements of a former mews on this site and together with the new Blemundsby block define a new frontage onto Orde Hall Street. This frontage is formed by short and carefully designed building elements that frame the entrance into the site and create a more formal setting for Chancellors Court. The terrace then opens up and returns into the estate to make clear that estate is part of the wider pattern of streets and squares. The Devonshire Court new build block at the western end of area 1 completes the run of blocks at Ormond Close and defines a courtyard between these two buildings.

The side extensions at Blemundsby act as a continuation of the new build block, and together with the new block on the north of Blemundsby forms a clear urban edge to the east. This new edge includes a new residential entrance to Blemundsby as well as enclosing the entrance to the newly defined courtyard space between the blocks. It also defines the strong pedestrian route to the central space between Chancellor's and Babington Court.

In the other areas of the proposals the proposals are designed to create additional street frontage, generally in the same manner as the existing context. Across Areas 4-6, the concept diagrams show how the proposed buildings integrate into the existing street geometry and form a pattern of repeated elements reinforcing a pleasing sense of unity across the estate. Secondary public and private routes will also be enhanced such as the re-defined step-free route linking Dombey Street and New North Street and the pedestrian route between New North Street and Boswell Street.



Stitching into the existing urban fabric

Creating defined public spaces within the estate

The frontages of the proposed buildings are designed to create well-defined edges, either to the new public spaces, or to the existing streets.

In areas 1-3 the proposals will provide frontages onto a clear and defensible network of well overlooked routes, with the defined peripheral blocks positioned to create a series of well-defined public spaces. The three public spaces within Tybalds Close are connected together in terms of the design of the buildings and landscape. Where the space narrows adjacent to the tower blocks, gaps are formed into the adjacent terrace to maximise the potential for light and space. Smaller, semi private garden spaces and lobbies are created at the entrances to blocks to provide secure entry spaces and to deal with bin and cycle storage.

In Area 4 (Windmill) the relationship to the pavement edge is improved with a large entrance lobby entered directly off the street. A brick wall defines the back of pavement edge and is extended to enclose the bin storage area and the existing car park, improving this key approach view into the Estate from Theobalds Road. New tree planting will soften the environment around the entrance to Windmill and the car park area.

This approach is reflected in Springwater, Richbell and Falcon (Areas 5 and 6) with the new extensions strengthening the existing building lines and boundary treatments, creating clearly legible, generously scaled entrances from the pavement. The new additions help define the shared communal spaces that existing already within these areas, which will be entirely renewed with new trees, soft planting, and paving.



Creating frontages and designated movement areas



Urban hierarchy

Refining urban hierarchy using the height of buildings and gaps

The height of the proposed buildings vary within the proposals to respond to their location, building type and role in the urban form. In key locations heights are raised to add definition, formality and to create interest.

In Areas 1 and 2 the corner blocks at the end of the row of mews, and the end of the new Blemundsbury block are raised one storey to match the height of the existing houses on Orde Hall Street. This helps to mark them out as 'bookend' blocks, and provide frontage onto the historic street. The new buildings are then reduced in height within the estate in order to relate to the existing mews houses on Barbon Close and to ensure good light and views from the existing Blemundsbury block into the new space. This new block lifts up to three storeys at the heart of the estate where it overlooks the central space and faces the former Mission Hall opposite. This rise in height also helps with legibility defining the new north-south pedestrian route through the site. The height of Devonshire Court new build (area 3) matches the height of the adjacent building, but with a slight step forward to help define a bookend at the west end of the route within this space and the long view from Orde Hall Street.

The proposed additions to the existing buildings in Areas 4-6 are at the same scale as the existing buildings which rise to one storey above the main blocks in most locations, where stairs and lifts are located. These serve as urban markers, highlighting the building entrances with generous one and a half storey glazed entrance lobbies.

Another key characteristic of the estate and surrounding area is the way gaps are created between buildings, generally intentionally to enclose and form narrow but direct routes and pathways. These breaks in the urban form add interest and variety to the roof line and have informed the proposals in the way that both built form is arranged to create a varied skyline and at ground level to define strongly articulated routes.

Proportion, scale and rhythm of building elements and elevations

In developing the proposals for the site the proportioning, scale and rhythm of existing buildings in and around the site has been carefully studied. Buildings generally respond to the domestic Georgian proportions and have a strong balance of horizontal and vertical emphasis (with the post-war blocks focussing more on the horizontal emphasis in contrast to their increased scale). This part of Bloomsbury is away from the main formal frontages and contains a much greater mix of building heights and styles and it is this variety within a range that has informed the elevational scale and arrangement of the different parts of the scheme.

Where new buildings sit adjacent to existing blocks care has been taken to relate to them in terms of proportioning, scale, rhythm and solid-to-void ratios whilst still clearly being contemporary buildings of their time.



Creating blocks (existing and proposed) with associated secure courtyard spaces. Where possible urban form is used to define spaces rather than fences or railings.=

Materials

The area is characterised by diversity building aged styles ranging from 18th/19th century terraced houses through to larger commercial blocks at the approaches to the site from Theobalds Road to the south. The predominant local material is brick, in a range of colours and textures, with the Tybalds Estate buildings employing a mix of red brick and concrete frame with brick infill. The existing buildings originally featured end walls that were likely to be clad with precast concrete panels in key locations but which have since been replaced with poor quality corrugated metal, which has a negative impact on the perception of the estate as a whole. The reason for this overcladding is not entirely clear although it is thought it may be due to water ingress into the concrete panels.

A shared language is proposed across the new buildings with brick being employed in the form of robust brick terraces and garden walls around Tybalds Close in Areas 1-3 and then in the form of vertical planes forming the side walls and overcladding of the extensions and some of the existing post-war blocks. Windows within these walls will be expressed as deep, full-height openings with side panels and window frames complementing the tone of the brick in bronze anodised metal.

To provide a sense of continuity with the existing post-war buildings, horizontal balconies and slab edges are expressed in light-coloured pre-cast stone, which returns as a framing element to the upper storey overbuilds. Feature walls will be re-instated as pre-cast panels with a patterned texture applied to add visual interest at a human scale.

Key ground floor elements such as entrances and lobbies will be given special treatment, focussing on both the concrete panels and the bronze anodised aluminium panels. A pattern of new signage will be developed for the site that can be used in different ways in different locations across the new and existing buildings of the estate.

Roofs are generally flat or green roofs where possible and are not intended to be seen from the street.

Photos of the existing context



Site and Context Analysis

Qualities and inspirations of the site and surroundings

Material legend

1. Terrace on Orde Hall Street
2. Terrace on Dombey Street
3. North facade of Blemundsbury
4. North facade of Boswell Court
5. North facing wall of Boswell Court
6. West facade of Devonshire Court
7. South facade of Ormond Close
8. East facade of Ormond Close
9. West facade of Babington Court
10. South facing garden / old mews wall
11. Mews on Barbon Close



Horizontal concrete decks on Blemundsbury north elevation

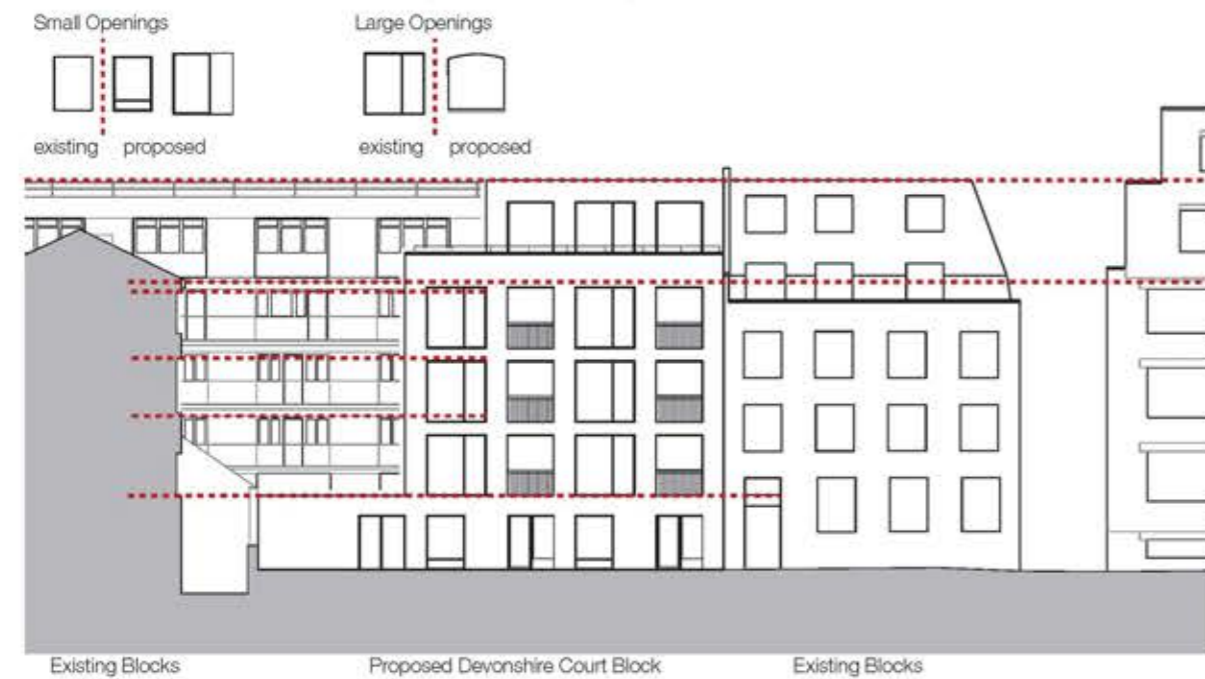
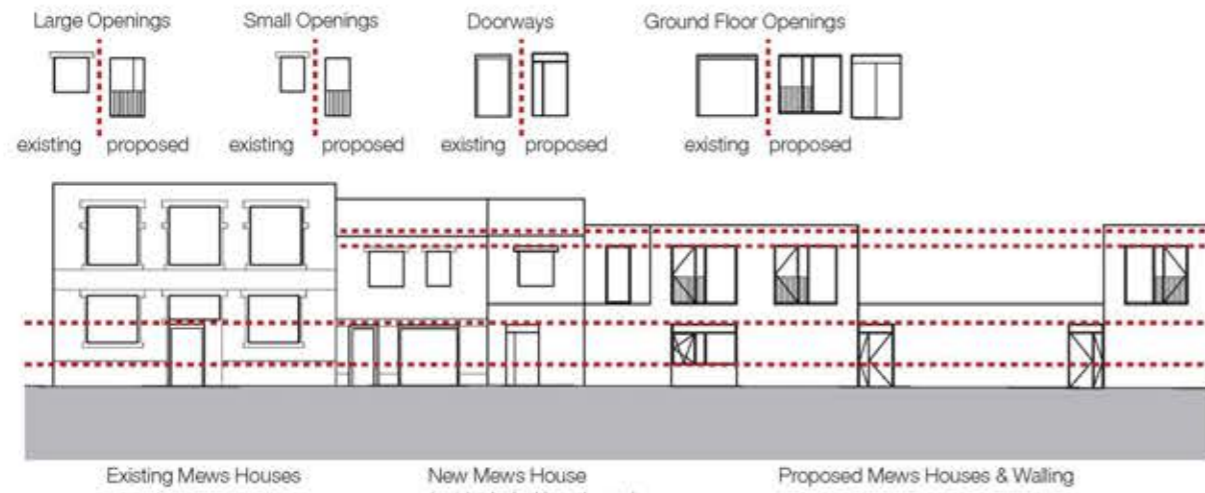
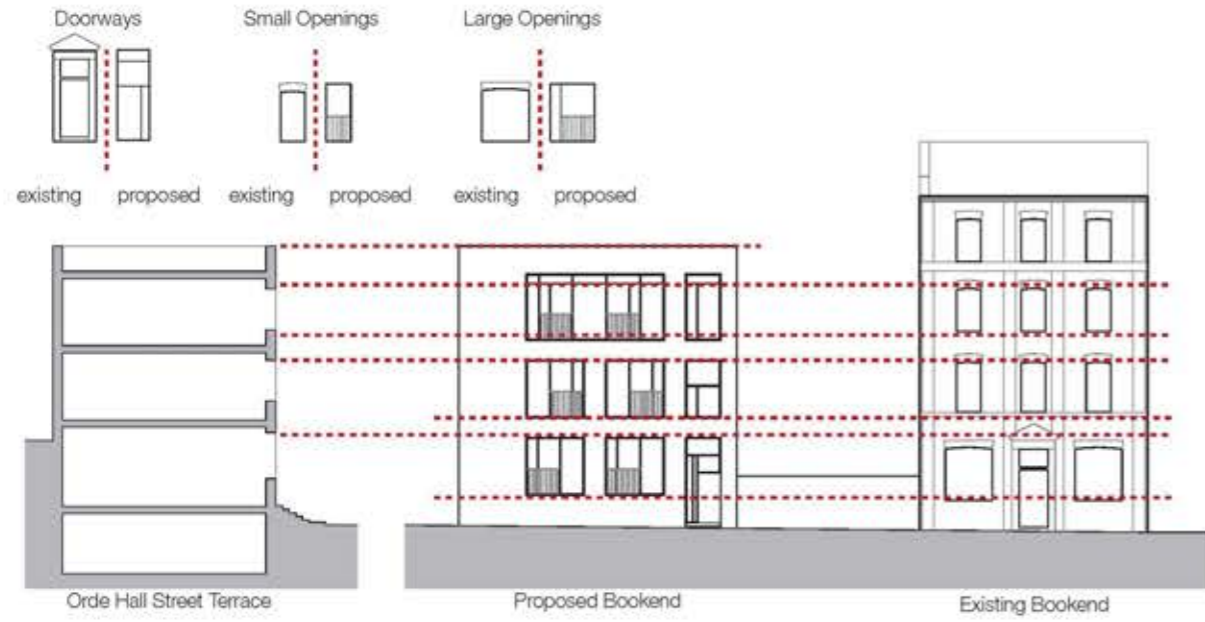


Vertical and horizontal grid and inset balconies on Blemundsbury south elevation



Sequence of Windmill, Springwater and Blemundsbury

Scale and width of building elements and elevations



Orde Hall Street

Mews Houses

New Devonshire Court



01 Strong flaring frontages with narrow gaps on Ormond Close



02 Symmetrical arrangement of facade with bookends & gaps on Orde Hall Street

Frontages with gaps



03 Barbon Close passageway



04 Devonshire Court passageway



05 Ormond Close passageway

Narrow passage-ways



06 Wall / Mews fragment close to Barbon Close



07 Wall / Mews fragment at Broomfield Court

Walls / mews fragments



08 Staggering heights at Barbon Close

Staggering heights

3.8 Landscape strategy (play and recreation)

The evolution of the landscape proposals for the estate have been influenced by a number of factors:

1. The existing facilities that are within the vicinity of the estate
2. Extensive consultation with residents
3. A set of guiding design principles for the design of public areas

1. Existing facilities within the wider area

Analysing the facilities that are within walking distance of the estate has helped to shape the ideas for what types of open spaces and play facilities should be provided on the estate.

There are a number of existing equipped play areas in the vicinity of the estate that are well used and popular with residents. The Orde Hall Street Natural Play Area is a well used and liked facility providing play space for younger children. At the western boundary of the estate is the Alf Barrett play area which is a well-equipped and popular children's play space for young children next to the Falcon block. The area adjacent to this play space has also recently been upgraded to have an outdoor gym for adults.

In the wider area there are a number of play facilities within walking distance of the estate. Coram's Fields is located within 500m of the estate and provides excellent play facilities for children of all ages up to the age of 16. Their facilities include:

- A youth centre
- Children's centre
- Community nursery
- Sports Programme
- City farm
- Cafe

There are also a number of public squares and parks including Queen's Square, Red Lion Square, Bloomsbury Gardens and Russell Square. These areas are more formal in terms of their character but provide valuable green open space within walking distance of the estate.

The analysis of the wider area resulted in the team feeling that the estate is well served for equipped play areas and that it would be more appropriate for the play provision on site to focus on doorstep play areas for younger children to enable them to play close to their homes, and also for a wider range of open space uses for all ages..

2. Public consultation

The value of the existing residential courtyards as semi-private areas for young children to play in was recognised by the team and confirmed by speaking to residents, all be it that the provision at the moment is low quality and could be improved. The regeneration project provides the opportunity for these spaces to be greatly improved and to provide two new courtyard spaces at Devonshire Court and Blemundsbury.

The open area between the two tower blocks was identified as one of the key opportunities to improve the external environment of the estate and to provide a high quality set piece of landscape architecture. Through consultation with residents a good understanding has been gained of how this space is currently used and residents future aspirations for the space.

The area is currently used for informal kick about and other sports activities, people play cricket here in the summer and young children also use it to ride bicycles and play. From consultation an understanding was gathered that this space was also used as an area for social gatherings and to sit out in summer. Residents expressed a desire for the area to be used for functions and for the space to be useable by all ages. This information informed the evolving design of the main square space.



Existing surrounding publicly accessible open spaces, play spaces, sports facilities and squares

— Site boundary	1 Queens Square
— 100m (under 5)	2 Red Lion Square
— 400m (5-11)	3 Brunswick Square Gardens
— 800m (12+)	4 Coram Fields Playground
— Road barrier	5 Bloomsbury Square
— Publicly accessible green space	6 Russell Square
— Public play space	7 Gray's Inn Gardens
— Public sports facilities	



The Alf Barrett play area next to Falcon



Orde Hall Street natural play area

3. Landscape and public realm principles

A core set of design principles have also been used to guide the proposals to ensure a high quality outcome.

Practical & Efficient Spaces

These spaces must be hard working living spaces, fit for a range of activities. The same practical rigour must be applied as for internal spaces in terms of determination of purpose, spatial efficiency, robustness and maintainability. This will make successful places where people will come together to enjoy the variety of public spaces, communal gardens and facilities.

Architectural Cohesion

The regeneration programme will bring a transforming architectural cohesiveness to the estate as a whole. The arrangement of spaces between the buildings is a powerful unifying force. The existing inefficient, impractical and uninspiring use of space will be replaced by a robust and dignified layout.

Hierarchy & Legibility of Spaces

The neighbourhood must provide a satisfying and workable hierarchy of public, semi public and private external spaces. There must be clear distinction between spaces that are open to public access and spaces that are secure. This is crucial to promoting healthy relationships, sociable behaviour and productive husbandry of gardens.

Management & Maintenance

The various open space components must be manageable within the resources that will actually be available. New places and facilities are designed, where possible, in collaboration with those people who will have responsibility for management and maintenance in the future.

Accessibility & Inclusivity

These places must be accessible to all members of the community and inclusive in that they must provide reasons for all residents and many visitors to want to be there. Changes in level across the site are designed with step free access wherever possible, with the emphasis on designing out ramps in favour of shallow inclined paths for everyone to use.

Playable Spaces

External spaces must be as playable as possible. There should be some traditional dedicated play equipment, but other public realm / garden elements should be inspiring, interesting and safe for children to play around. The estate should include a range of playable spaces that appeal to children of different ages. The distribution is important. For example, doorstep play, for the youngest age group, should be available near all homes. Spaces must be designed with an understanding that play and adult supervision of play are a part of the range of the everyday activity that occurs in the public spaces of any appealing residential area. The provision of playable space, particularly for older children, is considered in the context of facilities and green spaces in the surrounding area, and how easy these are to reach safely.

Existing Trees

Existing trees should be retained where possible and subject to tree surgery where appropriate to extend their healthy life and ensure safety for people. Where trees are felled there should be new tree planting to mitigate. In sometimes it is preferable to fell a poor quality tree and replant with a better specimen in ideal circumstances. This will bring a higher quality green environment in the medium and long term.

Green Spaces

Every opportunity will be taken to introduce greenery, but always in a purposeful manner, taking account of who will maintain it and how it will develop in future years. Trees will be planted wherever space allows, including fruit trees in secure areas and some street trees. Shrub and perennial planting is introduced as buffer zones between private and public spaces. Some grassed areas will be species rich meadows, but could be closely mown as a future maintenance option. Lastly, greenery at roof level will range from species rich grass to planters and containers on communal and private roof terraces.

Gardening & Produce

The provision of greenery and 'garden' spaces should allow people to take up growing of edible produce at a range of scales. This might include vegetable allotments and herb / flower gardens and build on the work already started by residents in the Rose Garden between Blemundsbury and Windmill. Fruiting trees are proposed in the Richbell / Springwater courtyard. The availability of ancillary equipment and technical support will promote uptake from across the community, helping to bring a social aspect to gardening.

Perception of Safety

Places must be safe and feel safe to all members of the community. Estate layout, passive surveillance, external lighting, CCTV and management are all key issues. The safer people feel, the more they will be happy to use public spaces over greater periods of the day and night.

Pedestrian Dominated Space

The public spaces within the estate that are predominantly used by vehicles should become pedestrian dominated, and therefore be safe and appealing for all members of the community to use. The key is to reduce vehicle speed by design, and not to rely on signage or enforcement. Low vehicle speed, and exclusion of vehicles in places, creates a safe environment that is much preferable to having to mitigate hazards in a dangerous environment.

Future Flexibility

The design of these spaces has emerged from a collective understanding of the needs and aspirations of the community (not from a formulaic process). Furthermore this community will evolve continuously, so the neighbourhood spaces must retain a capacity for considerable flexibility so that they can be actively managed by residents to give enduring value.

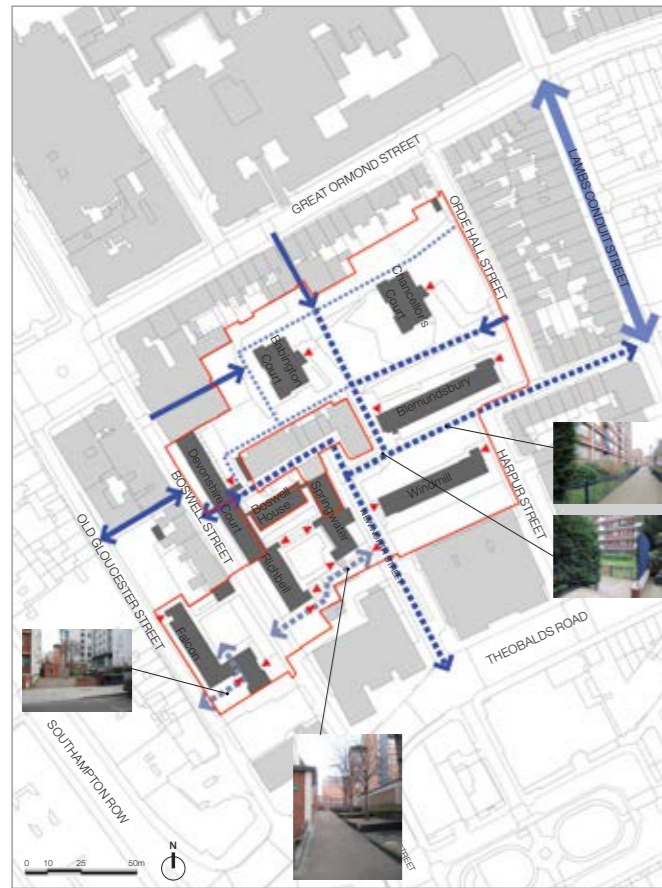
3.9 Landscape proposals

The plan opposite illustrates the landscape proposals for the scheme in the setting of the new build proposals and existing blocks.

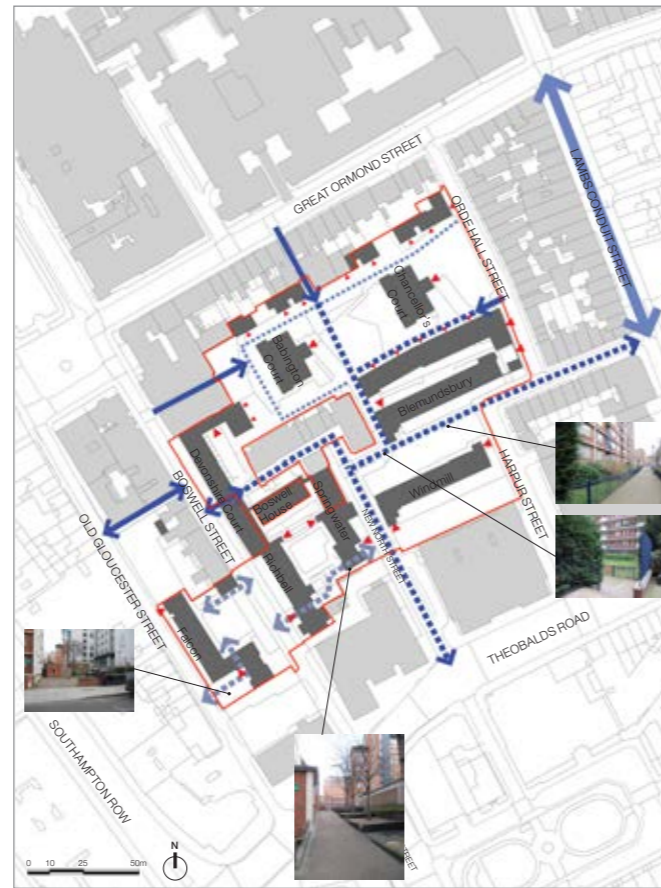


Illustrative landscape proposals

3.10 Approach to pedestrian and vehicular movement



- Pedestrianised street
- Pedestrian access points
- Key pedestrian routes through the estate
- Secondary pedestrian routes
- Resident only routes
- Main block entrances



Proposed pedestrian movement through the estate

- Pedestrianised street
- Pedestrian access points
- Key pedestrian routes through the estate
- Secondary pedestrian routes
- Resident only routes
- Main block entrances



Existing vehicular access and parking areas

- Primary vehicular route
- Secondary vehicular route
- Secondary vehicular route (one way)
- Access / tertiary vehicular route
- Tertiary vehicular route (one way)
- Access to parking
- Estate parking permit spaces
- Other parking areas within estate boundary



Proposed vehicular access and parking areas

- Primary vehicular route
- Secondary vehicular route
- Secondary vehicular route (one way)
- Access / tertiary vehicular route
- Tertiary vehicular route (one way)
- Access to parking
- Emergency/refuse access
- Estate parking permit spaces
- Resident and other parking areas within estate boundary

3.11 Provision of open space

The proposals for the estate will involve building on areas of land that are currently open and clear of structures. Much of this land is of poor quality, consisting of large areas of underused parking and poor quality hard surfacing.

The following section describes in further detail how the landscape proposals will address the following points:

1. Identification and quantification of the different characters of the open areas on the estate for both the existing estate and the proposed development.
2. Description of the existing functions of the open spaces and how the proposals will give open space a clearer role and use, overall increasing the amount of useable space on the estate.
3. A description of the quality of existing spaces and how the proposals will improve and upgrade the quality of open space on the estate.

1: Character of the existing and proposed Open Spaces

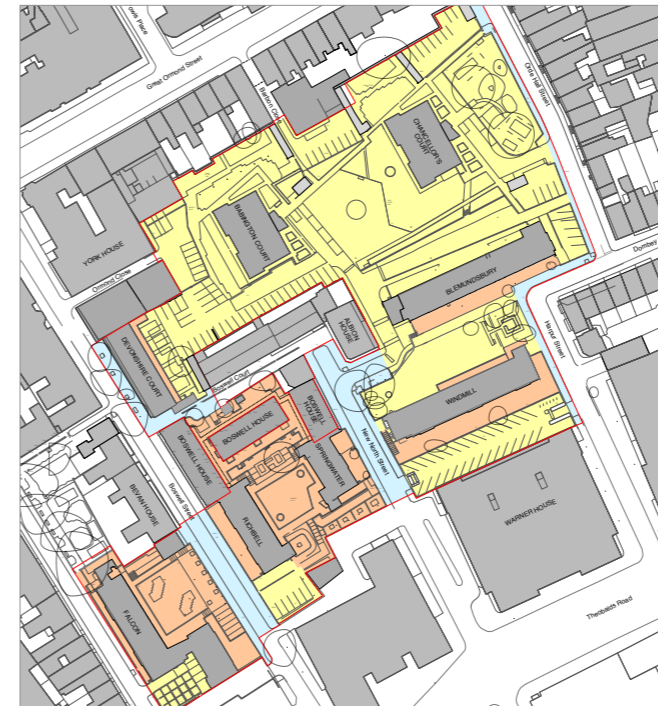
The existing open areas of the estate consist of a variety different surfaces and characters at present. Broadly speaking the characters on site are:

- Areas of hardstanding including areas of dedicated parking and poor quality surfaces
- Areas of soft landscaping and grassed areas
- Secure residential courtyards

Whilst the open area on the estate will inevitably reduce as the project proposes to build on open poor quality areas of land, the aim of the proposals has been to reduce the amount of low quality hard-standing, and to increase the amount of space that serves a useful and positive function for residents.

The proposed buildings have a combined net footprint of approximately 1,546sqm, so the overall open area within the application area will be reduced by this amount. This is an open space reduction of approximately 11.8%. However, this must be considered in the context of the dramatic improvement proposed in the quality of all open space throughout the estate and the provision of a substantial quantity of affordable housing.

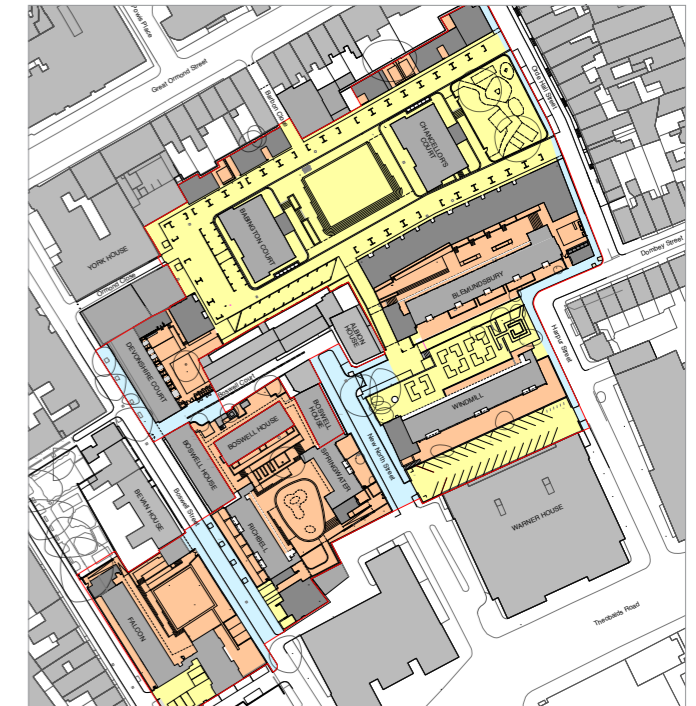
Furthermore, the area of secure communal space will increase significantly from 3,555sqm to 4,899sqm. In this context, change to secure communal space can be considered highly desirable, particularly where there is no existing provision and where the public space serves little or no purpose.



Open space quantification - Existing

Existing Spatial Analysis

- Planning application boundary
- Buildings
- Public open space
- Secure and private open space
- Highway space



Open space quantification - Proposed

Existing Spatial Analysis

- Planning application boundary
- Buildings
- Public open space
- Secure and private open space
- Highway space

The schedule below quantifies the existing and proposed open space on Tybalds Estate. The quantities include all areas within the Application Area Boundary, including any areas of adopted highway.

	Existing		Proposed		Change	
Buildings	3,262m ²		4,808m ²		plus 1,546m ²	
Public space	9,869m ²	combined 13,424m ²	6,928m ²	combined 11,827m ²	less 2,941m ²	less 1,597m ² reduction of 11.8%
Communal and private space	3,555m ²		4,899m ²		plus 1,344m ²	
Highway space	1,834m ²		1,885m ²		plus 51m ²	
Totals	18,520m ²		18,520m ²			

2: Areas of usable Recreational Space

There is limited existing space in the estate which is intended for recreation and fit for that purpose. The plan adjacent identifies the existing provision, much of which is of moderate or poor quality.

The proposals create important new spaces designed specifically for recreation and relaxation. The most significant additions are the proposed secure courtyard gardens at Blemundsbury and Devonshire Court. As existing, both of these areas offer an extremely poor environment to residents. The new courtyards will have facilities and planting designed through consultation to meet the aspirations of residents.

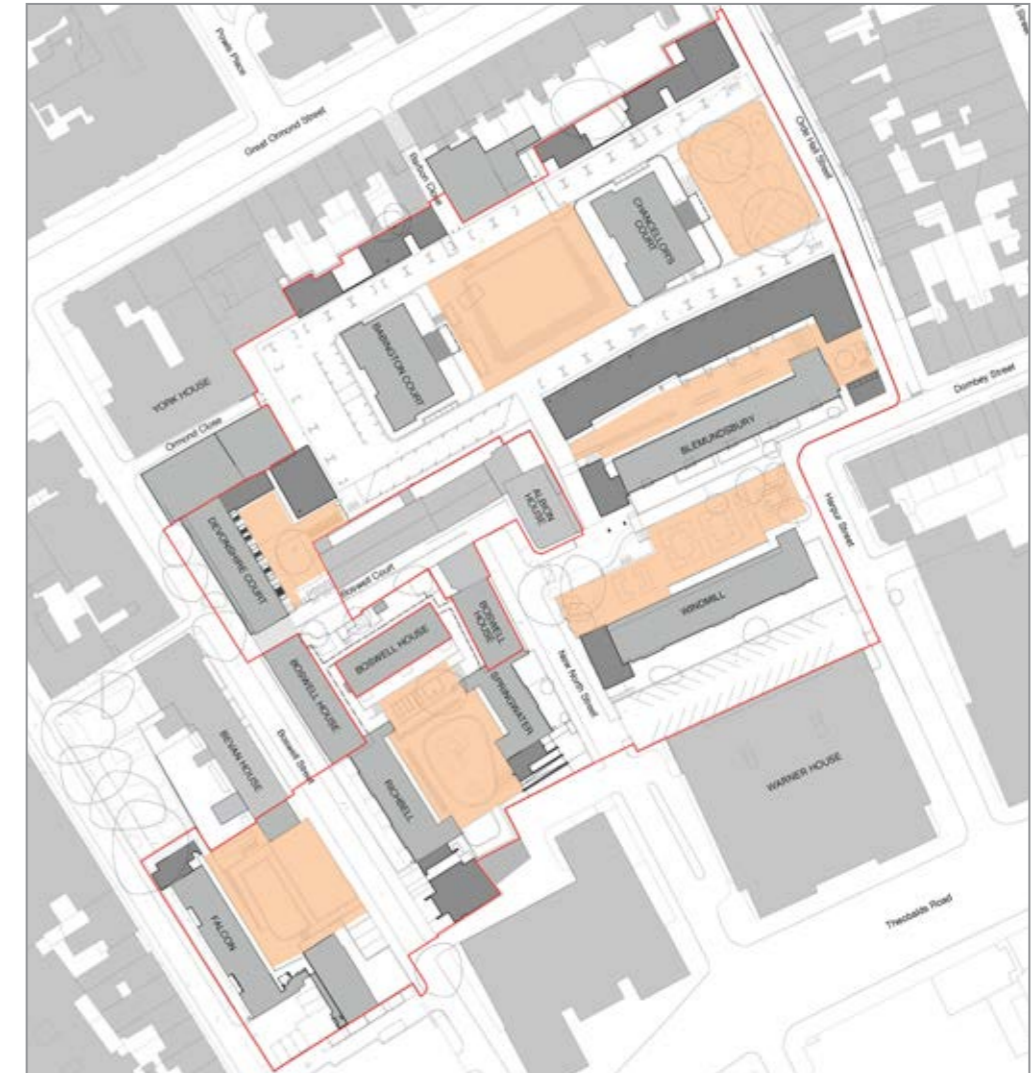
The existing secure courtyards at Falcon and Richbell / Springwater can be categorised as recreational space and are used now, although mostly by children only. The proposed spaces will offer more recreational opportunities to a greater number of residents.

The primary recreation space in the estate is between Babington and Chancellors Court. The existing recreational provision here is very poor and ill defined. Consultation has led to the proposal for the Neighbourhood Square. This will encourage and facilitate a wide range of recreational activity, from informal everyday play to staged events.



Areas of recreation space - Existing

- Planning application boundary
 - Existing Estate buildings
 - Space intended for residents' recreation. Does not include main paths, roadways and car parking
- Existing Area: 3,731 sqm**



Areas of recreation space - Proposed

- Planning application boundary
 - Existing Estate buildings
 - Proposed buildings
 - Space intended for residents' recreation. Does not include main paths, roadways and car parking
- Proposed Area: 4,195 sqm**

3: Quality of existing and proposed Open Spaces

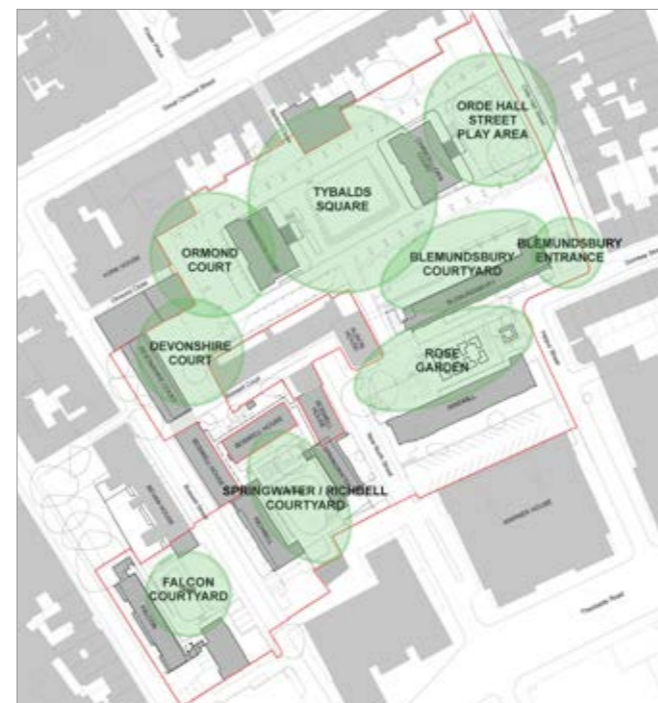
The existing spaces in the estate are of variable quality. Two spaces in particular stand out as making a positive contribution to the local environment and both are valued by the estate residents and people who live nearby. Orde Hall Street Play Area and the Rose Garden are both green spaces in which residents invest their time and are keen to protect. In both cases only minor changes are proposed and the essential character will be retained.

However, all of the other main spaces across the estate do not make a positive contribution to the environment. The two courtyards, Falcon and Richbell / Springwater offer a secure place for young children to play but offer little else to the rest of the community. The remaining spaces fall well short of any reasonable aspiration for an appealing, accessible and safe residential environment. The largest space, between Babington and Chancellors, is typical in being of a poor state of repair, confusing in layout and lacking any facilities. Furthermore, many spaces are dominated by design for vehicle movement and parking, even though most of the time there are no vehicles present.

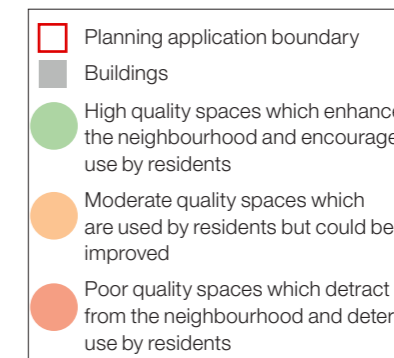
The project will uplift the quality of all the estate spaces to a universal high standard. The urban design approach and architecture will define the spaces properly, framing them with positive frontages. Each space is designed with a distinct character and to suit the needs of residents.



Quality of existing open spaces



Quality of proposed open spaces



The main space between the two tower blocks represent the biggest opportunity for an improvement in quality and provision of open space on the estate

Scheme Scope and Content



4 Scheme Scope and Content

4.1 Use and amount

The Tybalds Estate Regeneration will provide an additional 93 mixed tenure residential units within a mixture of new build blocks, additions and conversions of existing buildings.

Of the 93 proposed units 32 are new build units and 61 are within extensions and conversions of existing buildings.

Many of the development opportunities at Tybalds, especially those in the additions and extensions to existing buildings, are better suited to being social rented affordable homes for reasons of mortgageability. The Tybalds Estate regeneration therefore presents an opportunity to deliver a large quantum of affordable housing. In order to maximise this provision the proposals at Tybalds will also deliver the off-site affordable housing contribution for another CIP project, Parker House. The Parker House proposals involve the redevelopment of an existing outdated hostel building to private residential accommodation in order to fund improved residential accommodation for homeless people at two other sites in the borough deliver new affordable housing at Tybalds and generate additional funding for the CIP programme..

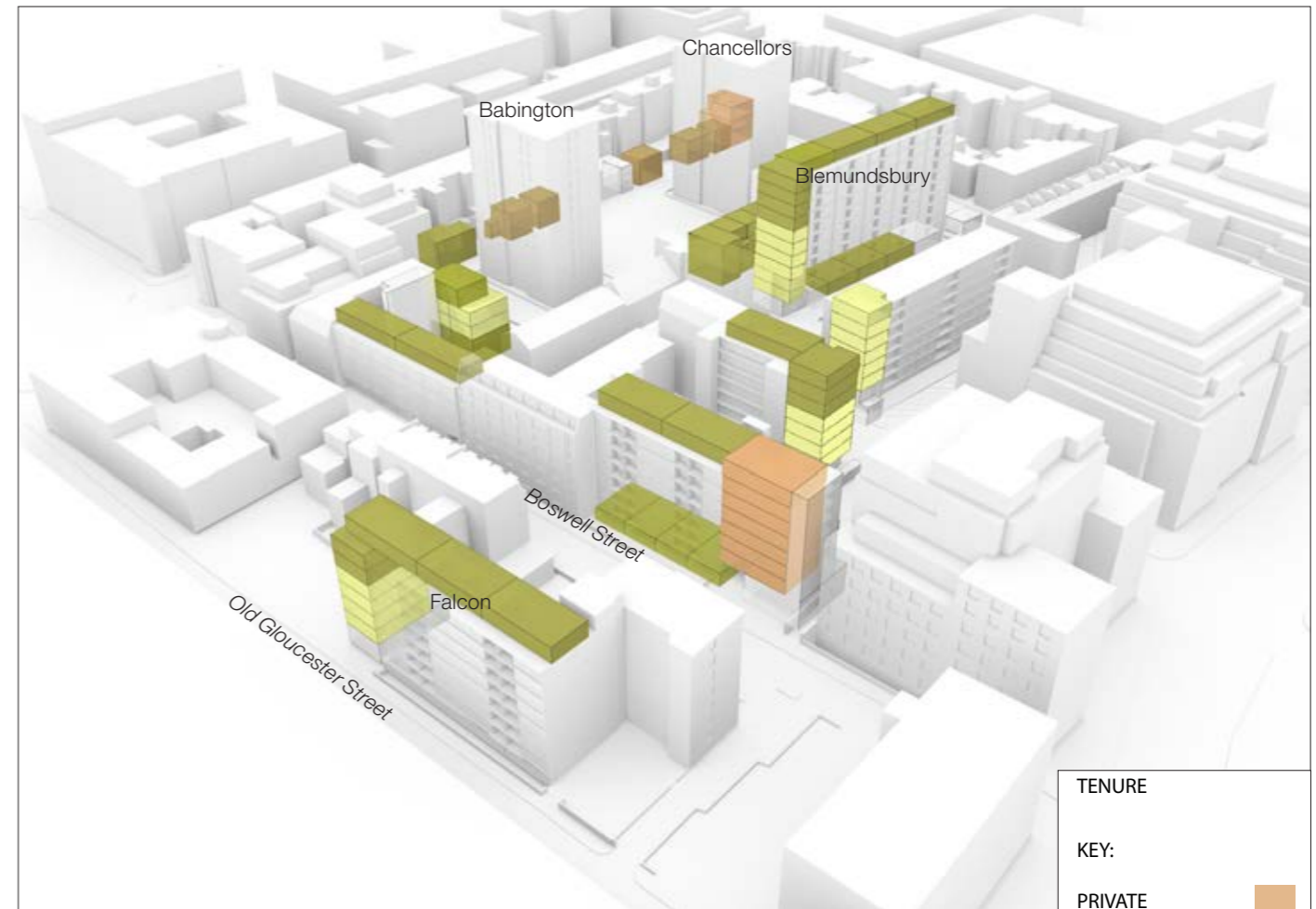
Of the 93 units that are to be delivered at the Tybalds Estate 36 contribute towards the off-site affordable housing provision for Parker House. The remaining 57 units are being delivered as a standalone policy compliant scheme for Tybalds.

The summary schedules adjacent provide a breakdown of the total units for each tenure and the corresponding floorspace for each scheme. The schedules demonstrate that the Tybalds standalone scheme delivers a policy compliant split of affordable housing, providing a large proportion of social rented floorspace.

A detailed schedule of each unit is provided in the following section.

Summary unit and floorspace schedule for whole scheme

Tenure	No. of units	GIA floorspace in square metres	% of total floorspace
Social rented	44	3,842sqm	61.0
Intermediate (shared ownership)	27	1,226sqm	19.4
Total Affordable	71	5,068sqm	80.4
Private	22	1,236sqm	19.6
Total all tenures	93	6,304sqm	



Tenure of the proposals: viewed from the west



Tenure of the proposals: viewed from the east

TENURE
KEY:
PRIVATE
INTERMEDIATE
SOCIAL RENTED
EXISTING UNITS

Summary unit and floorspace schedule Tybalds Standalone Scheme

	No. of units	GIA floorspace in sqm	% of total affordable floorspace
Social rented	18	1,273sqm	59%
Intermediate	17	893sqm	41%
Total Affordable	35	2165sqm	63.7%
Private	22	1,236sqm	36.3% (of total floorspace all tenures)
Total all tenures	57	3,401sqm	

Summary unit and floorspace schedule Parker House off-site affordable

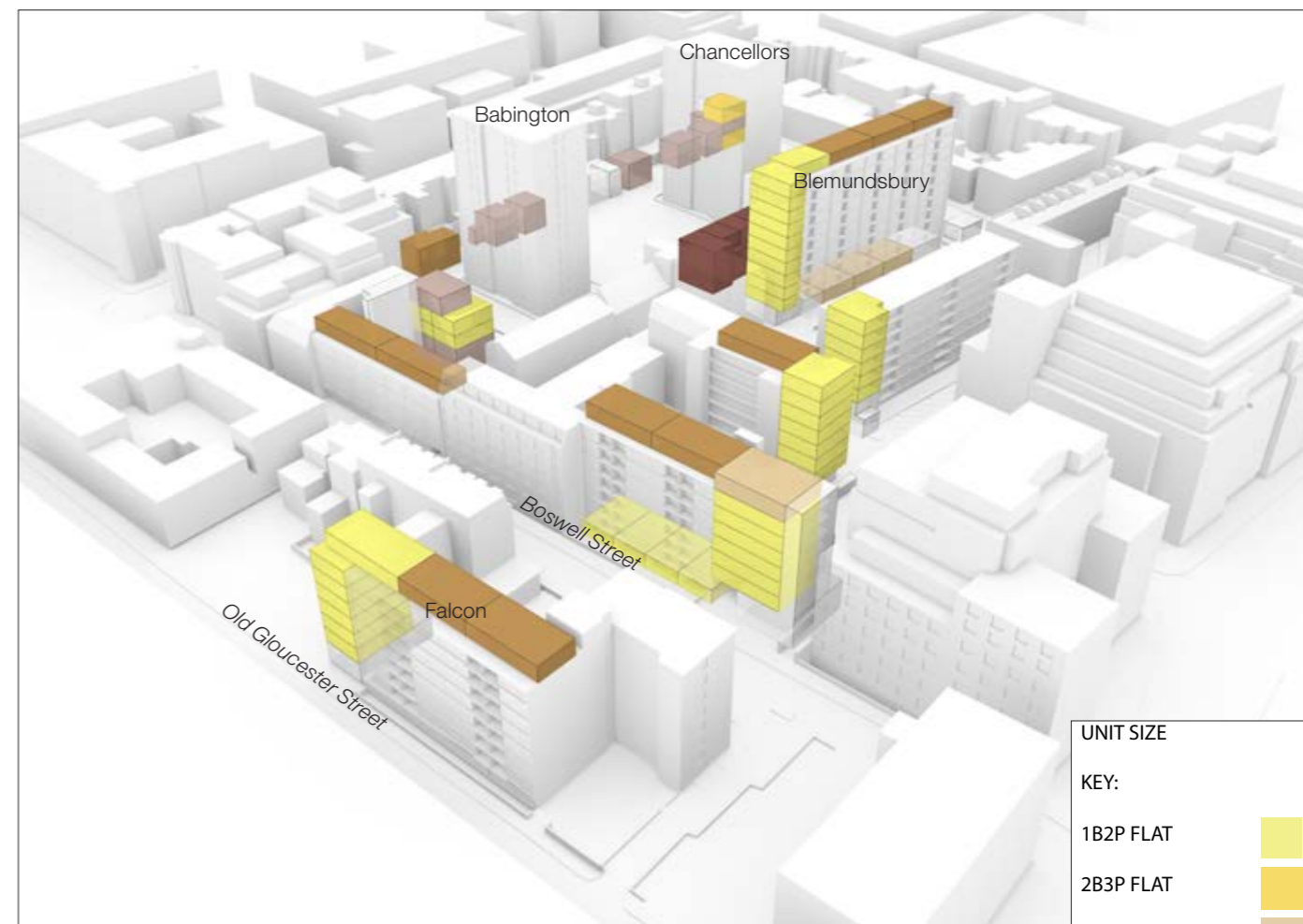
	No. of units	GIA floorspace in sqm	% floorspace
Social rented	26	2,403sqm	83% (of total affordable floorspace)
Intermediate	10	500sqm	17% (of total affordable floorspace)
Total Affordable	36	2,903sqm	

Size of units

The focus for the proposals at Tybalds have been to maximise the quantity of large social rented family units that can be delivered on site.

Summary unit size schedule

	1bed	2bed	3bed	4bed	Total
Social rented	12	10	17	5	44
(no of large units)			22		
% of sizes by unit number	27%	23%	50%		
Intermediate	27				27
Private	17	5			22
% of sizes by unit number	77%	23%			
Total	56	15	17	5	93



Proposed size of units: viewed from the west



Proposed size of units: viewed from the east

UNIT SIZE KEY:

- 1B2P FLAT (Lightest yellow)
- 2B3P FLAT (Yellow)
- 2B4P FLAT (Light brown)
- 3B5P FLAT (Brown)
- 2B4P HOUSE (Dark brown)
- 3B6P HOUSE (Darkest brown)
- EXISTING UNITS (Grey)

Schedule of residential accommodation

The accommodation provided on this page sets out the floorspace of each of the new residential units proposed in this application. For each unit the size of the units, the number of habitable rooms and the floorspace is provided. In addition details of the private amenity space for each flat is also shown.

The initial phasing proposals for the scheme are set out in section 6 of this document, but an indication of the phasing of each area of the site is also indicated on the schedule.

Phase	Unit number	Dwelling type	Hab rooms	Private amenity space (m2)	Floor area (GIA/m2)	TENURE
Area 1 Tybalds Close mews houses						
1	Unit 1.A.1	3b5p house (W)	5	36	121.0	Social rented
1	Unit 1.A.2	2b4p house	3	17	83.0	Social rented
1	Unit 1.A.3	2b4p house	3	16	83.0	Social rented
1	Unit 1.A.4	3b5p house (w)	4	43	106.0	Social rented
1	Unit 1.A.5	2b4p house	3	34	95.0	Social rented
1	Unit 1.A.6	2b4p house	3	16	83.0	Social rented
1	Unit 1.A.7	2b3p flat	3	5.6	68.6	PRIVATE
1	Unit 1.A.8	2b4p flat	3	5.6	75.8	PRIVATE
1	Unit 1.A.9	2b3p flat	3	14	67.4	PRIVATE
Area 2 Blemundsbury						
New build block A						
1	Unit 2.A.1	4b6p house (W)	6	21.2	148.9	Social rented
1	Unit 2.A.2	4b6p house	6	22	118.0	Social rented
1	Unit 2.A.3	4b6p house	6	22	118.0	Social rented
1	Unit 2.A.4	4b6p house	6	22	118.0	Social rented
1	Unit 2.A.5	4b6p house	6	22	118.0	Social rented
1	Unit 2.A.6	3b5p house (W)	5	26.8	113.2	Social rented
1	Unit 2.A.7	3b5p house	5	26	100.1	Social rented
1	Unit 2.A.8	3b5p house	5	26	100.1	Social rented
1	Unit 2.A.9	3b5p house	5	26	100.1	Social rented
1	Unit 2.A.10	3b5p house	5	26	100.1	Social rented
1	Unit 2.A.11	1b2p flat	2	5.2	56.4	PRIVATE
1	Unit 2.A.12	1b1p studio	1	4.4	37.8	PRIVATE
1	Unit 2.A.13	1b2p flat	2	5.2	55.1	PRIVATE
1	Unit 2.A.14	1b2p flat	2	50.8	50.8	PRIVATE
1	Unit 2.A.15	2b3p flat	3	67.6	67.6	PRIVATE
1	Unit 2.A.16	1b2p flat	2	50.8	50.8	PRIVATE
Washroom extensions (B)						
1	Unit 2.B.1	1b2p flat	2	5.3	50.0	Intermediate
1	Unit 2.B.2	1b2p flat	2	5.3	50.0	Intermediate
1	Unit 2.B.3	1b2p flat	2	5.3	50.0	Intermediate
1	Unit 2.B.4	1b2p flat	2	5.3	50.0	Intermediate
1	Unit 2.B.5	1b2p flat	2	5.3	50.0	Intermediate
1	Unit 2.B.6	1b2p flat	2	5.3	50.0	Intermediate
1	Unit 2.B.7	1b2p flat	2	5.3	50.0	Social rented
1	Unit 2.B.8	1b2p flat	2	5.3	50.0	Social rented
1	Unit 2.B.9	1b2p flat	2	5.3	50.0	Social rented
1	Unit 2.B.10	1b2p flat	2	5.3	50.0	Social rented
1	Unit 2.C.1	1b2p flat	2	10.8	54.7	Social rented
Overbuilds (C)						
2	Unit 2.C.2	3b5p flat	4	10.8	86.2	Social rented
2	Unit 2.C.3	3b5p flat	4	10.8	86.2	Social rented
2	Unit 2.C.4	3b5p flat	4	10.8	85.6	Social rented
Underbuilds - (D)						
2	Unit 2.D.1	2b4p flat (W)	3	18.5	76.0	Social rented
2	Unit 2.D.2	2b4p flat (W)	3	18.5	76.0	Social rented
2	Unit 2.D.3	2b4p flat (W)	3	18.5	76.0	Social rented

Area 3 Devonshire Court						
Devonshire new build block (A)						
1	Unit 3.A.1	2b4p house (W)	3	14.5	104.0	Social rented
1	Unit 3.A.2	2b4p house (W)	3	12	103.0	Social rented
1	Unit 3.A.3	1b2p flat	2	6	50.0	Intermediate
1	Unit 3.A.4	1b2p flat	2	6	50.0	Intermediate
1	Unit 3.A.5	1b2p flat	2	6	50.0	Intermediate
1	Unit 3.A.6	1b2p flat	2	6	50.0	Intermediate
1	Unit 3.A.7	2b3p flat	3	45	62.0	Social rented
Devonshire overbuild (B)						
1	Unit 3.B.1	3b4p flat	4	10	87.1	Social rented
1	Unit 3.B.2	3b4p flat	4	10	87.1	Social rented
Area 4 Windmill						
Washroom Conversions (A)						
2	Unit 4.A.1	1b2p flat	2	5.8	54.0	Intermediate
2	Unit 4.A.2	1b2p flat	2	5.8	54.0	Intermediate
2	Unit 4.A.3	1b2p flat	2	5.8	54.0	Intermediate
2	Unit 4.A.4	1b2p flat	2	5.8	54.0	Intermediate
2	Unit 4.A.5	1b2p flat	2	5.8	54.0	Intermediate
2	Unit 4.A.6	1b2p flat	2	5.8	54.0	Intermediate
Area 5 Richbell and Springwater						
Richbell side extensions (A)						
2	Unit 5.A.1	1b2p flat	2	6.2	50.0	PRIVATE
2	Unit 5.A.2	1b2p flat	2	6.4	55.2	PRIVATE
2	Unit 5.A.3	1b2p flat	2	6.0	50.0	PRIVATE
2	Unit 5.A.4	1b2p flat	2	6.4	55.2	PRIVATE
2	Unit 5.A.5	1b2p flat	2	6.0	50.0	PRIVATE
2	Unit 5.A.6	1b2p flat	2	6.4	55.2	PRIVATE
2	Unit 5.A.7	1b2p flat	2	6.0	50.0	PRIVATE
2	Unit 5.A.8	1b2p flat	2	6.4	55.2	PRIVATE
2	Unit 5.A.9	1b2p flat	2	6.0	50.0	PRIVATE
2	Unit 5.A.10	1b2p flat	2	6.4	55.2	PRIVATE
2	Unit 5.A.11	1b2p flat	2	6.0	50.0	PRIVATE
2	Unit 5.A.12	1b2p flat	2	6.4	55.2	PRIVATE
2	Unit 5.A.13	2b4p flat	3	11.5	74.2	PRIVATE
Richbell Overbuilds (B)						
2	Unit 5.B.1	3b5p flat	4	11.7	86.0	Social rented
2	Unit 5.B.2	3b5p flat	4	11.7	86.0	Social rented
Richbell Underbuilds (C)						
2	Unit 5.C.1	1b2p flat	2	15	50.0	Social rented
2	Unit 5.C.2	1b2p flat	2	15	50.0	Social rented
2	Unit 5.C.3	1b2p flat	2	15	50.0	Social rented
2	Unit 5.C.4	1b2p flat	2	15	50.0	Social rented
Springwater side extensions (D)						
2	Unit 5.D.1	1b2p flat	2	5.2	51.4	Intermediate
2	Unit 5.D.2	1b2p flat	2	5.2	51.4	Intermediate
2	Unit 5.D.3	1b2p flat	2	5.2	51.4	Intermediate
2	Unit 5.D.4	1b2p flat	2	5.2	51.4	Intermediate
2	Unit 5.D.5	1b2p flat	2	5.2	51.4	Intermediate
2	Unit 5.D.6	1b2p flat	2	5.2	51.4	Intermediate
2	Unit 5.D.7	1b2p flat	2	5.2	58.2	Intermediate
Springwater Overbuilds (E)						
2	Unit 5.E.1	3b5p flat	4	14.1	86.1	Social rented

Area 6 Falcon						
Washroom conversions (A)						
2	Unit 6.A.1	1b2p flat	2	5	50.5	Intermediate
2	Unit 6.A.2	1b2p flat	2	5	50.5	Intermediate
2	Unit 6.A.3	1b2p flat	2	5	50.5	Intermediate
2	Unit 6.A.4	1b2p flat	2	5	50.5	Intermediate
2	Unit 6.A.5	1b2p flat	2	5	50.5	Social rented
2	Unit 6.A.6	1b2p flat	2	5	50.5	Social rented
2	Unit 6.A.7	1b2p flat	4	10	55.4	Social rented
Overbuilds (B)						
2	Unit 6.B.1	3b5p flat	4	10	86.0	Social rented
2	Unit 6.B.2	3b5p flat	4	10	86.0	Social rented
Unit no.s		Hab rooms percentage	Hab rooms	Floorspace percentage	Total floorspace	
44	Social rented (total floorspace)	61.1%	160.0	58.3%	3675.6	
27	Intermediate (total floorspace)	20.6%	54.0	22.1%	1392.6	
22	Private (total floorspace)	18.3%	48.0	19.6%	1235.6	
93	TOTAL NEW RESIDENTIAL FLOORSPACE	100.0%	262.0		6303.8	

Key	
SR	Social rented units for Parker House
I	Intermediate units for Parker House
SR	Social rented Tybalds Units
I	Intermediate Tybalds Units
P	Private Tybalds units

Community and ancillary use accommodation schedule

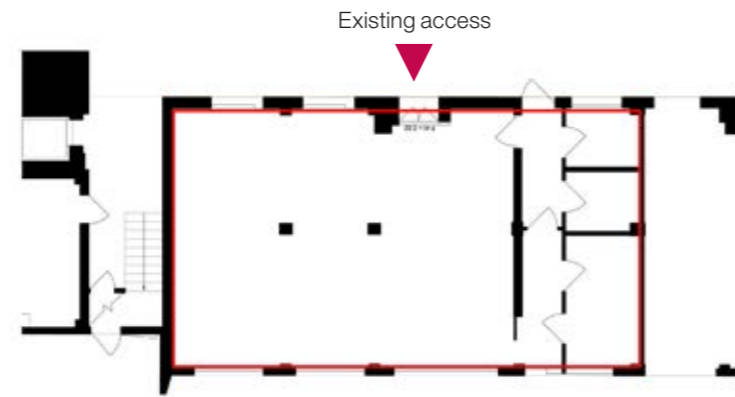
The estate currently has two TRA halls, one is located in the lower ground floor level at Falcon and one at the lower ground floor at Blemundsbury.

As part of the proposals both of these spaces will be upgraded and refurbished.

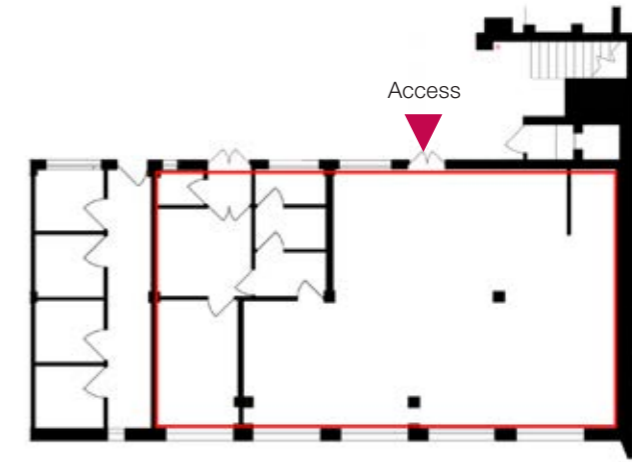
The TRA hall at Falcon is well used and as part of the proposals this space will be extended into the adjacent storage area resulting in a larger facility. The existing TRA hall measures 102sqm and the proposed measures 172 sqm (GIA) representing an increase of 70sqm (GIA) to this facility.

The TRA hall at Blemundsbury will be refurbished as part of the proposals, however due to reconfiguring the whole of the lower ground floor the overall floor area of the hall will reduce by a small amount. The existing hall measures 103sqm (GIA) and the proposed hall measures 77sqm (GIA), this represents a reduction in the size of this hall of 26sqm.

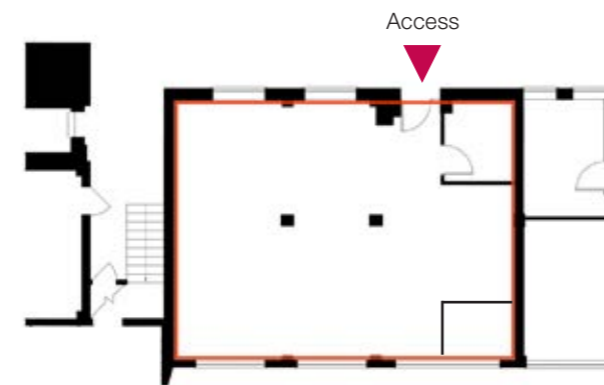
Overall across the estate refurbishing and reconfiguring the TRA spaces results in a net increase in GIA to the community facilities of 44sqm, which equates to an increase of 21% of GIA.



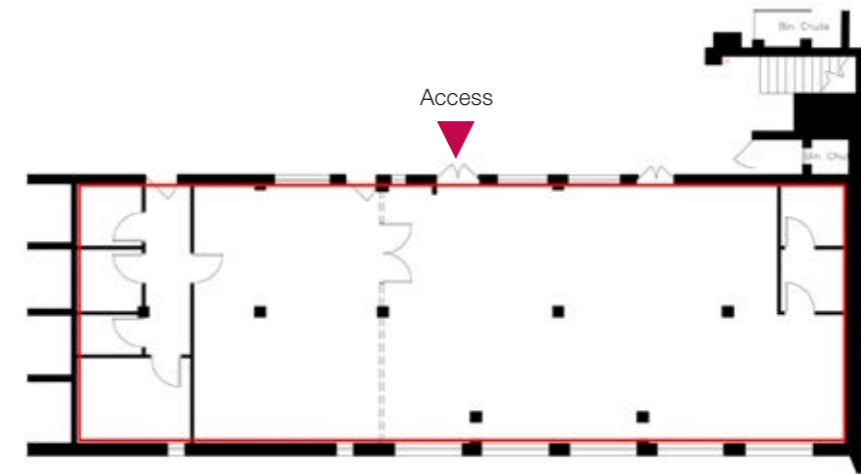
Current Blemundsbury TA space



Current Falcon TA space



Proposed Blemundsbury TA space



Proposed Falcon TA space

Design Proposals (Buildings and Landscape)



5.0 Design proposals (Buildings and Landscape)

5.1 Architectural Proposals

This section describes each of the detailed proposals for each development area. The design team have ensured that the new-build and additions form part of a coherent strategy for the area, both in terms of the urban design and approach to materials.

The following sub-sections (5.2 to 5.7) describe the project areas 1-6 in more detail in terms of urban design, architecture & landscape design. Locators along the edge of the right-hand-side page identify which area is being referred to, as follows:

- Area 1: Main Square and Mews
- Area 2: Blemundsbury
- Area 3: Devonshire Court
- Area 4: Windmill
- Area 5: Richbell and Springwater
- Area 6: Falcon

An overall approach to materials and detailing in both the buildings & landscaping is discussed in sub-sections 5.8 and 5.9 respectively.



Model of the complete scheme



View of Tybalds Square seen from the north



View of model looking towards Tybalds Square from the South with overbuilds & side extensions on Falcon, Richbell & Springwater in foreground



Aerial overview of Tybalds Close Estate proposals looking from the West



Aerial overview of Tybalds Close Estate proposals looking from the East



Area 1: Main Square and Mews



Area 2: Blemundsbury



Area 3: Devonshire Court



Area 4: Windmill



Area 5: Richbell and Springwater



Area 6: Falcon

5.2 Area 1: Main Square, Mews Housing and New Entrances

The open area at the base of the two towers and bordering the backs of Great Ormond Street & Boswell Court, is currently poorly organised and of low quality materials and surfacing. The proposed shared surface spans in between the frontages of the new buildings & will re-organise the arrangement for car parking. This allows for clearer circular pedestrian and vehicular movement through the site. The route will frame a series of three improved public spaces.

1. The play park which fronts onto Orde Hall Street will be maintained and improved.
2. The central multi-functional space provides for an urban meeting point in the centre of the estate. The central area is richly paved and slightly sunken with terrace steps around to create a shallow amphitheatre. Large trees are planted on all sides. There will be further defensive planting as buffer zones to Babington and Chancellors Court. The landscape has been designed to allow for level access to the ground floor lobby and lifts. The new entrance will create a focal identity to the towers from within the square.
3. The West end of the site will provide a more informal urban hard landscaped space, with a series of shaded green spots, benches and areas for parking. This square is framed by the existing urban context, the western end of the proposed mews houses and Proposed Devonshire Court new-build.

Mews houses

The mews houses have been carefully designed to avoid the root protection zones for the trees that are in the rear gardens of properties on Great Ormond Street where possible. The gaps between the proposed buildings have also been designed to incorporate existing escape routes. The height of the proposed mews has been designed to reduce the visual impact on properties on Great Ormond Street. Where possible the height of the mews has been designed to match the height of the existing garden wall.

The mews houses have semi extensive green roofs in order help reduce their impact upon existing Great Ormond Street residents at the upper floors.

The existing brick garden wall to the back of the Great Ormond Street properties forms an attractive edge to the north side of the estate and varies in height. This existing garden wall has helped to inform the language of design of the mews houses. They form a strong new brick edge to the space, with a datum level generally at 3.4m height where there are gardens & courtyards behind. This then goes up to 6.6m height where there are houses behind. Apertures forming windows, doors & gates are punched into this wall.

The 'bookend' block at the end closest to Orde Hall Street is designed in order to match the building height of the existing terrace opposite. It mirrors the design of the Blemundsbury bookend across the play park, the arrangement of windows & doors has been designed with a short blank section in order to help turn the corner onto Tybalds close & therefore emphasise the strong new route into the estate, this is drawn from a similar feature found at the corner of Great Ormond Street & Millman Street nearby.



Photograph of a model of the proposed scheme, viewed from above



View of the model showing the row of mews houses with three storey bookend



View looking west from Orde Hall Street



View looking along the new row of mews houses at the back of Great Ormond Street towards Orde Hall Street



Area 1:
Main Square
and Mews



Mews houses

The mews houses are located close to the edge of the public realm, they overlook it and help to give it definition as is typical of mews developments in the area, such as Brownlow Mews. The mews houses are planned so that they each have either a private garden, or a yard and balcony terrace. The principal living spaces each have large glazed openable doors onto these private amenity spaces. Bedrooms have additional windows onto these private spaces wherever this is possible, as such almost all living spaces are dual aspect, as well as most of the bedrooms. This approach allows better light levels to the rooms and usability of their amenity spaces.

The run of mews houses will have reconstituted stone cills below first floor windows, & heavier sills below the ground floor windows. These subtly tie in with the adjacent mews houses at Barbon Close, and help to announce them as particularly high quality homes, whilst working within the language of the new-builds used across the estate. High quality perforated anodised gates to the mews house garden wall openings will give a sense of privacy while allowing occupants to see visitors before they open the door. A generous ground floor ceiling height helps provide light and air into the dwellings.

UNIT SIZE KEY

KEY:

- 1B2P FLAT
- 2B3P FLAT
- 2B4P FLAT
- 3B5P FLAT
- 2B4P HOUSE
- 3B6P HOUSE
- EXISTING UNITS



The addition of reconstituted stone cills & wall capping to the new houses will form a conversation with the existing mews houses at Barbon Close.



Precedent image: yard amenity spaces accessed off of living spaces
Accordia, Cambridge



CGI: mews large openable glazed doors from living spaces onto private gardens/yards



Precedent image: Mies van der Rohe, Kriefield houses
Large, tall window openings allow light deep into the plan

Area 1 Landscaping

Tybalds Square: New Neighbourhood Square

Tybalds Square will be a new multi functional public space for the whole community. It can be used for children's play, sitting out, informal sports and everyday kickabout. The open uncluttered layout means that it can also be used for staged events and marquees for residents' social and community events. The square will be a high quality resource and residents might well wish to make it available to organisers of cultural events and arts festivals beyond the estate.

- 1 The central rectangular space is level and slightly sunken as the ground rises around it to create a shallow amphitheatre. The terraced steps on the south side enclose the space from vehicle access and provide informal seating.
- 2 The square is paved with large granite flag stones in different colours to make a pattern that is interesting at ground level and also when seen from the many overlooking apartments.
- 3 Large trees will be planted around the square, maturing to provide a green heart to the estate.
- 4 On the north side there will be a series of hardwood seats and bollards to prevent vehicle entry to the square. Some of the bollards will be removable to allow managed vehicle access for setting up events and maintenance.
- 5 New services (electricity and water supplies) will be provided in secure pillars for events and maintenance.

Tybalds Close (New Loop Road)

Tybalds Close (a new one way loop road) is the main organising element of this part of the estate. It encompasses the two existing towers and Neighbourhood Square within. The new surrounding architecture makes a strong inward looking spatial enclosure with positive frontages and natural surveillance.

The close is designed as shared space for pedestrian and vehicle traffic. The layout reduces vehicle speed. The surfacing is coloured bitmac to contrast with the normal black bitmac carriageway in Orde Hall Street. There is a vehicle free zone between the parking bays and the surrounding buildings.

Parking bays are delineated with flush granite edgings to match the channels and nearby steps and terraces.

Orde Hall Street Play Area

The existing grass based natural play area would remain intact in most respects. The play area would be re-framed in a slightly different shape to sit comfortably between the new Tybalds Close entrance and exit. The overall area would be increased slightly. The detailed design would make good any existing problems and introduce new equipment if appropriate.

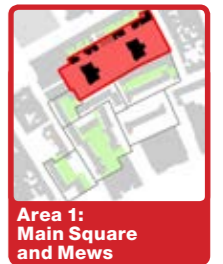
- 6 The area would be surrounded by a new low brick wall with railings of height to match the existing railings.
- 7 There would be two new entrances at the corners away from Orde Hall Street.
- 8 New seating would be provided within the fenced area for adult supervision of play.
- 9 The two existing mature trees in the play area would be retained. Eight further trees of varying species would be planted to provide the next generation.



Aerial perspective of main multi-functional square



View of main multi-functional square



- 10 Both buildings have existing steps between the front doors and the lifts. The remodelling will include changes in the levels outside to provide a shallow sloped path approaching from the south side. On the north side the surrounding levels require steps.
- 11 There will be a low brick wall running around both buildings to create defensible space and architectural continuity with the surrounding spaces and the rest of the estate.
- 12 This margin between the building and the wall will be planted with shrubs and herbaceous plants to bring a measure of privacy to residents of ground floor apartments. It will also provide a satisfying and attractive setting for the buildings.
- 13 Each building has a recycling bin store, on opposite sides where there is more space. These brickwork structures are open on one side only and the roof prevents the lids being left open.
- 14 The entrance to Chancellors Court will overlook the enlarged Orde Hall Street Play Area.
- 15 The entrance to Babington Court will overlook the new Neighbourhood Square, with some terrace steps and buffer planting between.

Ormond Court

The space between Ormond House and Babington Court is essentially a parking court. The layout is rationalised to unify the space and make a dignified setting to the buildings on all sides.

- 16 A pair of trees would be planted on both sides of Ormond Close and a single tree would be planted opposite the centre of Babington Court.
- 17 Ormond Close would be closed to vehicular traffic with bollards, which would use Tybalds Close instead.
- 18 The widened central area allows vehicles, including large refuse collection vehicles, to turn at the end of Tybalds close.
- 19 The two existing ambulance parking spaces would be relocated closer to Ormond House, with electricity and water supplies provided via a secure pillar.



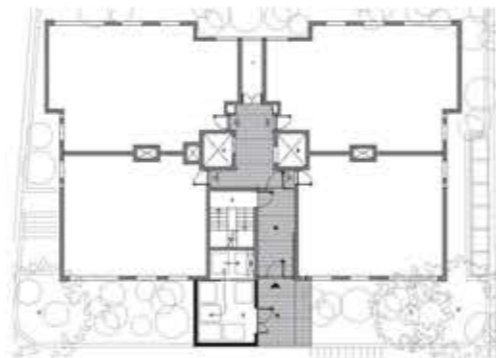
Tower entrances

The existing entrances to Chancellors & Babington Court will be reconfigured as part of the works. Both towers currently have stepped access, however by raising of the outdoor terrain as part of the landscape works, this will allow for level wheelchair access to the ground floor of each tower and via lift to all floors above, the entrances will therefore be redesigned to suit this new level access. The new layout simplifies the entrance arrangement and bin storage and removes the need for the back entrance to the stair, this has been an area of anti social behaviour and compromises the security of each tower. The intention is to make the entrance area double height and add internal decoration to improve the feel as you enter the tower.

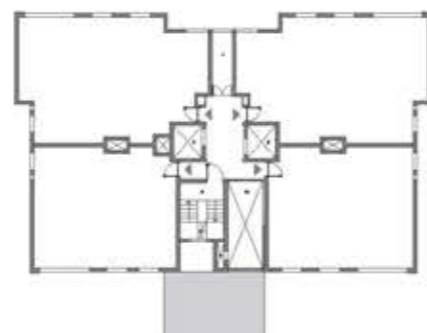
Design studies have been undertaken into how the new entrance should look. The design intent is to pick up the green panelling which is used underneath most of the existing windows, however to substitute it with a durable, high quality material. The chosen array of materials also reflects the location in an urban garden and is supposed to blend in with the planting of the moat around each tower. The entrance will be formed from light green reconstituted stone with a patternised finish, subtle inset text will announce the name of each block.



Eye level view of proposed new entrance with level wheelchair access



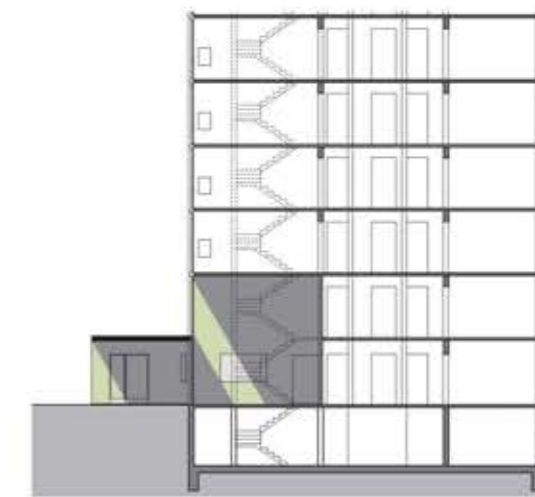
Existing ground floor plan showing back entrance - a location of ASB



Proposed ground floor plan showing simplified entry & bin storage



Proposed elevation



Proposed section through entrance showing double-height space



New entrances created for the towers



5.3 Area 2: Blemundsbury

The new 2/3 storey structure to the north of the existing Blemundsbury block will form an urban block with the existing Blemundsbury and the proposed over-builds and extensions. The proposed 3 - storey bookend facing Orde Hall Street ties in with the existing terraces and acts as a counterpoint to the mews bookend opposite. Together they will frame the playground square. The bookend will house 6 private flats & will allow for access to a new CHP located at basement level. At the eastern tip of the block a new entrance courtyard will provide recycling facilities, visitor bicycle stands, planting and a relocated substation. The existing eastern facade of the block will be re-clad and will incorporate the CHP flues.

The adjoining row of 10 houses fronts onto the new Tybalds Close and - following the example of the mews houses - partially steps down to two storeys in order to allow for better views for the existing apartments. The new and the old Blemundsbury structure will enclose a secure landscaped courtyard, which will be more spacious, friendlier & greener than the existing ramp and lower level space. The improved ramped access will lead down to the renovated TRA hall and the new wheelchair accessible apartments at the converted lower ground floor of the existing block. Together with the terraces of new Blemundsbury they will overlook the courtyard space and make it feel more secure.

All roofs of the new structure will be greened. A shared roof terrace on the two storey section will provide for communal amenity space for 5 of the houses, while a terrace on top of the bookend will be dedicated for the flats in this area. These provide visual amenity from the existing structures as well as overlooking of the public spaces.

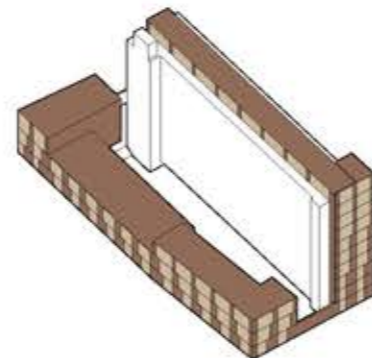
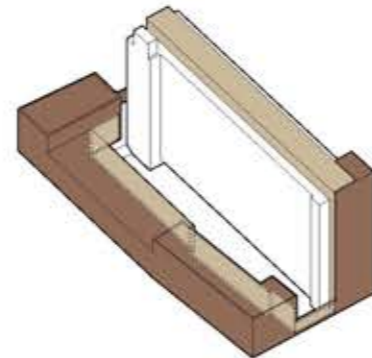
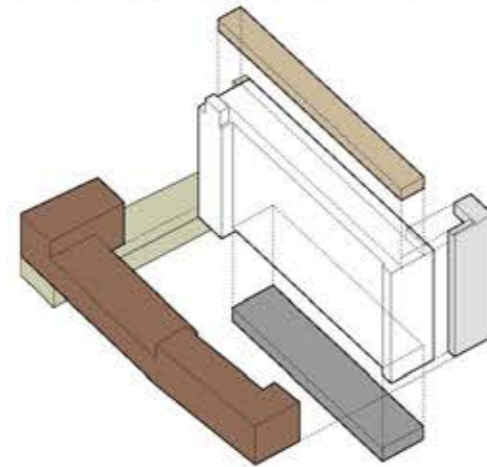
The new apartments to the west side of the block extend the existing washroom structure, with the gable end wall linking to the new blocks to the north. A generous new glazed entrance lobby will be provided together with new bin storage to enable the bins which are currently stored externally to be concealed. The design of the apartments is stepped to preserve daylight levels to the end apartments in the main block. This serves to develop an architecture of delicate vertical stepped lines combined with horizontal slab edges tying in with the main block. The rooftop apartments are sized to house larger three-bedroom family apartments to ensure diversity. The accessible ramp to the lower ground floor will provide access to new wheelchair units at lower ground floor level, with the landscaping to the south adjusted to ensure enhanced daylight and sunlight to these new units.



Blemundsbury Block as viewed from the East



Blemundsbury Courtyard as viewed from Dombey Street



Color legend

Existing Blemundsbury Block

Proposed two/three storey Terraces

Proposed side extension

Proposed roof top extension

Proposed lower ground dwellings

Proposed CHP

Color legend

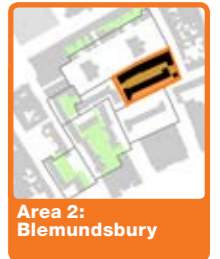
'Heavyweight' enclosing material - brick

'Lightweight' lining material

Color legend

Closed Building Envelope

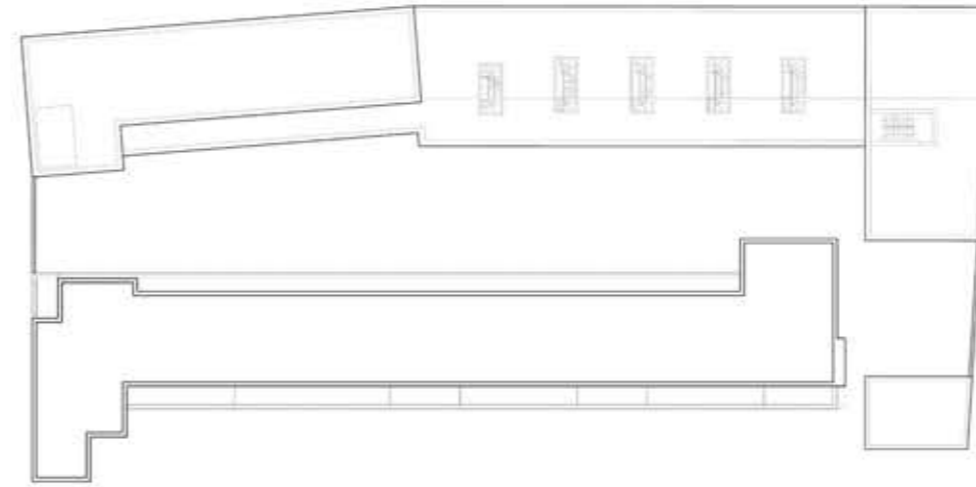
Opening



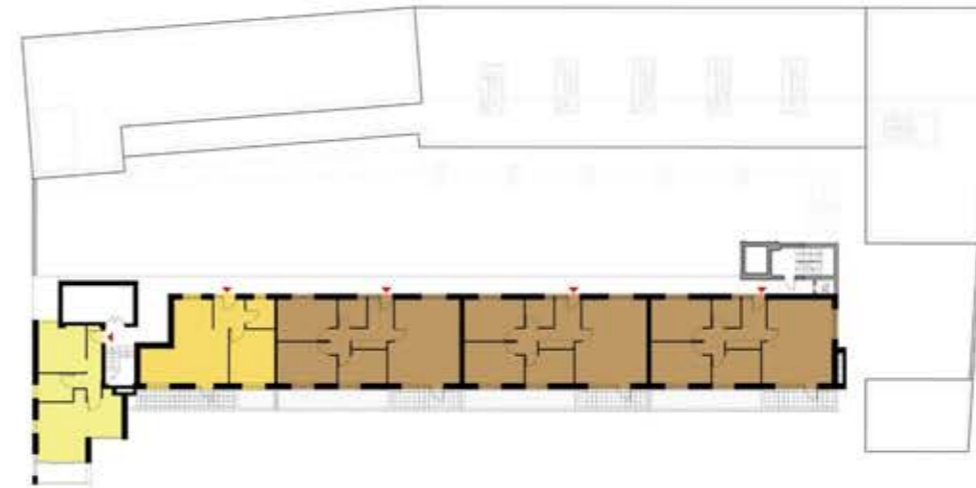
View from Orde Hall Street to the eastern end of Blemundsby Block



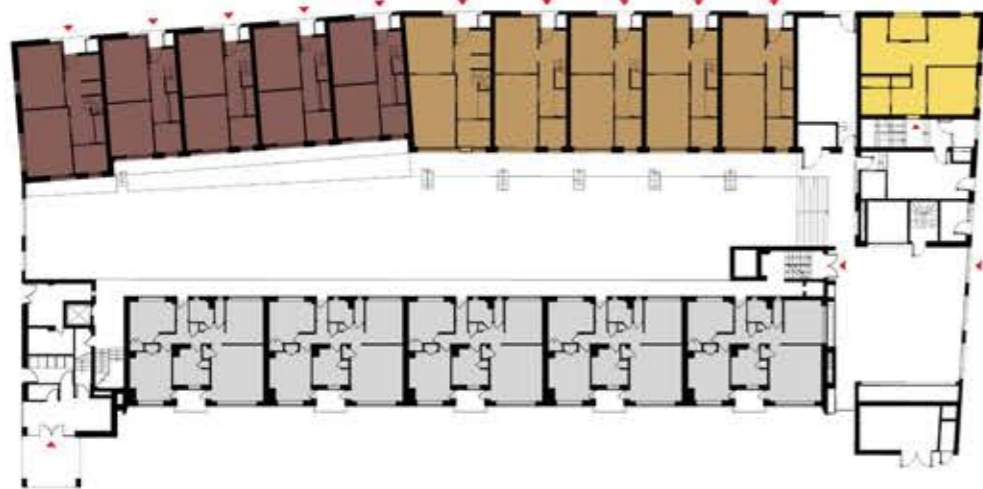
Aerial views looking from the north west (left) and the south (right) of Blemundsby block



Roof



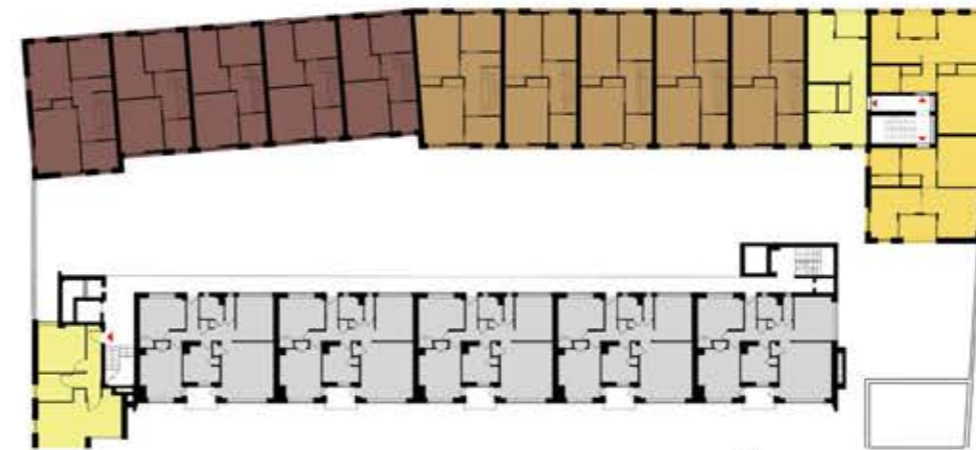
Roof Floor



Ground Floor



Basement



Intermediate Level

UNIT SIZE KEY

KEY:

- 1B2P FLAT
- 2B3P FLAT
- 2B4P FLAT
- 3B5P FLAT
- 2B4P HOUSE
- 3B6P HOUSE
- EXISTING UNITS
- TRA Hall

