

**KEY:**

- OUTLINE OF SITE SUBJECT TO THIS PLANNING APPLICATION
- PROPERTY OWNED BY HATTON GARDEN PROPERTIES LTD.

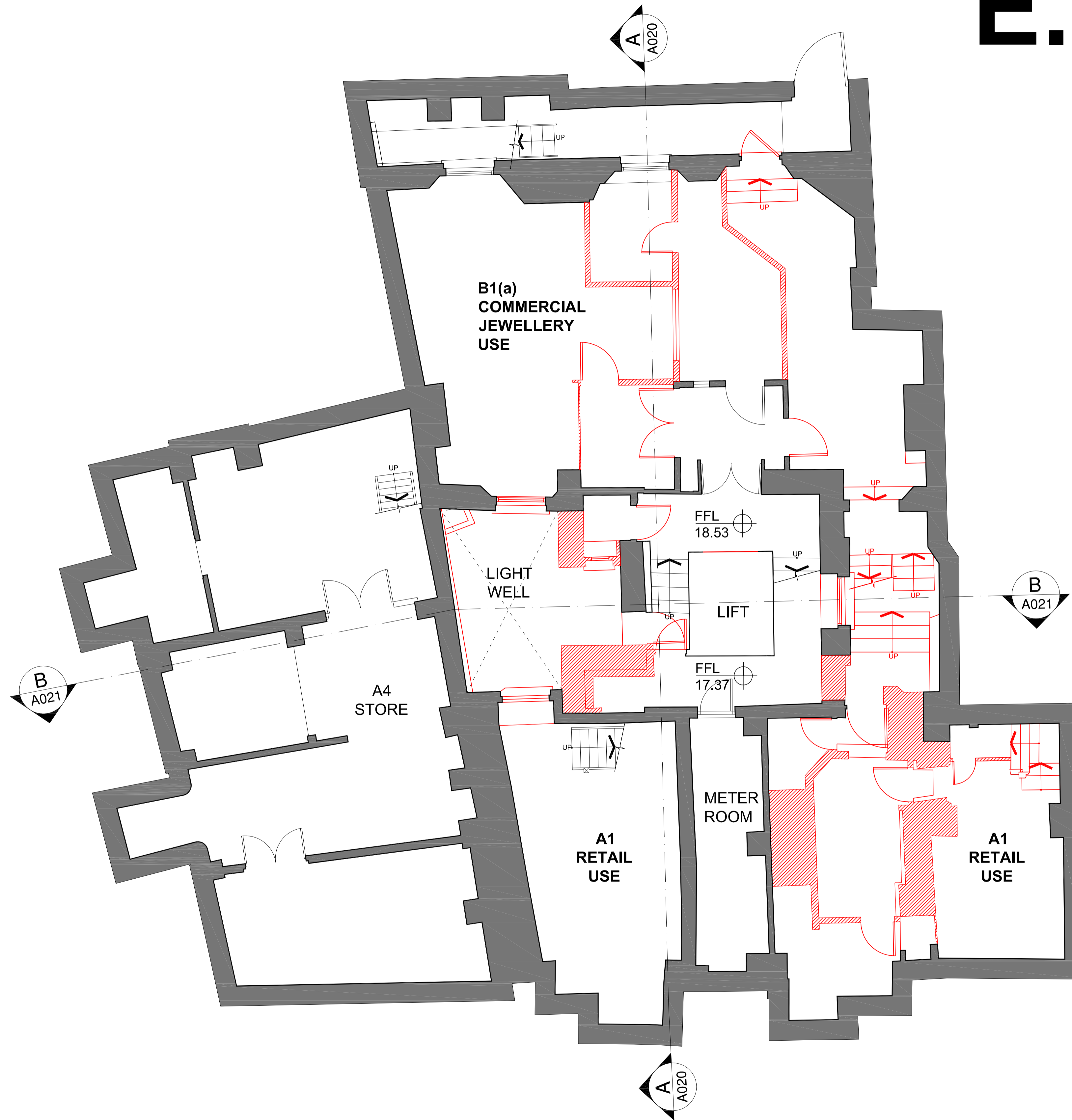


SCALE 1:500 @A4



|  |   |   |  |  |                               |                        |
|--|---|---|--|--|-------------------------------|------------------------|
| <b>CLIENT:</b><br>HATTON GARDEN PROPERTIES LTD.                  | <b>PROJECT :</b><br>72-80 + 82 LEATHER LANE LONDON EC1N 7TR | <b>DRAWING TITLE:</b><br>SITE LOCATION PLAN | 1 DO NOT SCALE THIS DRAWING<br>2 ALL DIMENSIONS ARE TO BE VERIFIED ON SITE BY THE CONTRACTOR AND REPORTED TO THE ARCHITECT BEFORE CONSTRUCTION<br>3 ANY DISCREPANCY FOUND BETWEEN THIS DRAWING AND ANY OTHER DOCUMENT MUST BE REPORTED IMMEDIATELY TO THE ARCHITECT<br>4 REMOVE THIS DRAWING FROM CURRENCY WHEN A REVISED DRAWING IS ISSUED<br>5 COPYRIGHT OF THIS DRAWING REMAINS WITH SCH ARCHITECTS | <div style="border: 1px solid black; padding: 5px; text-align: center;"> <b>SMITH CARADOC-HODGKINS ARCHITECTS</b> </div> |                               |                        |
|  |   |   |  |  |                               | <b>PROJ. NO:</b> 723   |
| <b>DRAWN BY :</b> AP   | <b>DWG NO:</b> A010   | <b>CHECKED BY :</b> DS                      | <b>A4</b>  | <b>NO</b>  | <b>DATE</b>                   | <b>REVISION</b>        |
| <b>DRAWING STATUS:</b> PLANNING                                  | <b>DATE:</b> 25.06.15                                       |   |  | A  | 06.01.16                      | ISSUED FOR PLANNING    |
| SMITH CARADOC-HODGKINS ARCHITECTS 2 STRYPE STREET, LONDON E1 7LF |   |   | TEL 020 7377 8710  | FAX 020 7377 9757  | email mail@sch-architects.com | www.sch-architects.com |

# E.B



**KEY**

- EXISTING
- TO BE DEMOLISHED
- NEIGHBOURING BUILDING

**NOTE:**

- THIS IS A COLOUR DRAWING.
- THIS DRAWING IS BASED ON SURVEY INFORMATION PREPARED BY OTHERS.
- ALL EXISTING USES ARE ASSUMED.

DRAWING STATUS  
**PLANNING**

- NOTES:
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|                  |  |
|------------------|--|
| <b>A1</b>        |  |
| <b>B</b><br>A021 |  |
| <b>A</b><br>A020 |  |
| <b>B</b><br>A021 |  |

B 16/11/16 ISSUED FOR PLANNING  
A 06/01/16 ISSUED FOR PLANNING

**SMITH CARADOC-HODGKINS ARCHITECTS**

23 WEXNER BUILDING  
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ARCHITECTS ■ DESIGNERS

CLIENT  
**HATTON GARDEN PROPERTIES**

PROJECT  
**72 - 80 + 82 LEATHER LANE  
LONDON, EC1N 7TR**

|                               |                  |
|-------------------------------|------------------|
| SCALE<br>1:50 @A1 / 1:100 @A3 | DATE<br>23.09.15 |
| DRAWN<br>AP                   | CHK'D<br>DS      |

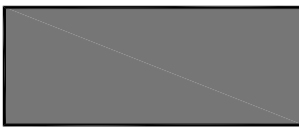

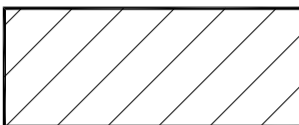
DRAWING TITLE  
**EXISTING BASEMENT PLAN  
SHOWING DEMOLITION**

|                    |                     |           |
|--------------------|---------------------|-----------|
| PROJECT NO.<br>723 | DRAWING NO.<br>A001 | REV.<br>B |
|--------------------|---------------------|-----------|

SCALE 1:50 @A1/ 1:100 @A3

# E.G

**KEY**

-  EXISTING
-  TO BE DEMOLISHED
-  NEIGHBOURING BUILDING

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**DRAWING STATUS**

**PLANNING**

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**A1**

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**A 06/01/16 ISSUED FOR PLANNING**

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ARCHITECTS ■ DESIGNERS

CLIENT

**HATTON GARDEN PROPERTIES**

PROJECT

**72 - 80 + 82 LEATHER LANE  
LONDON, EC1N 7TR**

SCALE DATE

1:50 @A1 / 1:100 @A3 23.09.15

DRAWN CHK'D

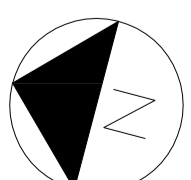
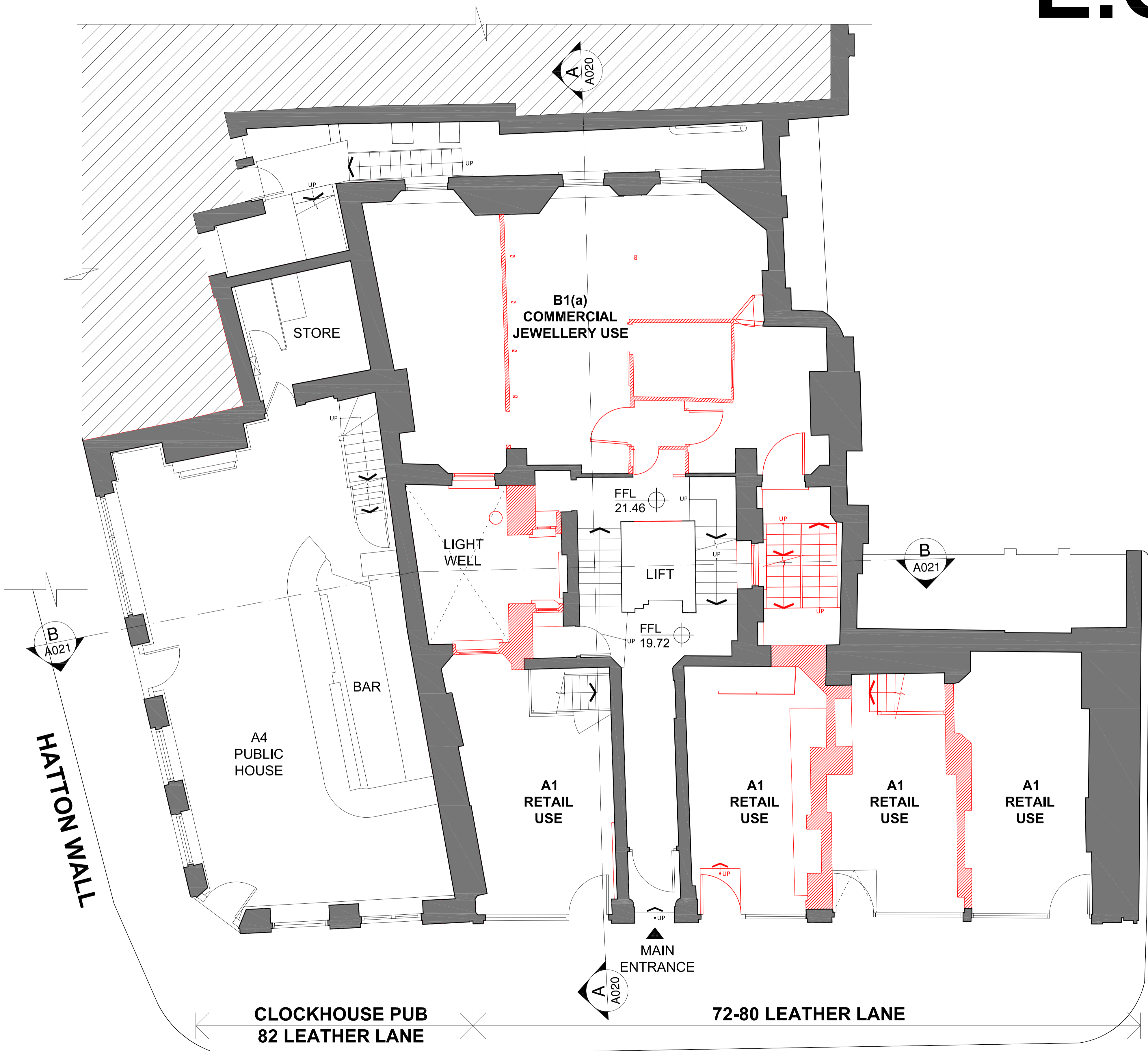
AP DS

DRAWING TITLE

**EXISTING PLAN  
GROUND FLOOR  
& UPPER GROUND FLOOR**

PROJECT NO. DRAWING NO. REV.

723 A002 B



SCALE 1:50 @A1 / 1:100 @A3



**LEATHER LANE**

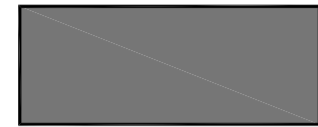

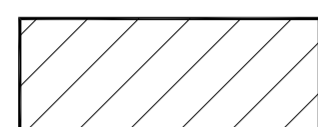
**72-80 LEATHER LANE**

**CLOCKHOUSE PUB  
82 LEATHER LANE**

**HATTON WALL**

# E.1+U1

**KEY**

-  EXISTING
-  TO BE DEMOLISHED
-  NEIGHBOURING BUILDING

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DRAWING STATUS  
**PLANNING**

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**A1**

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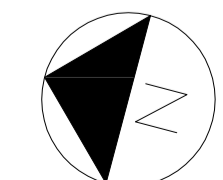
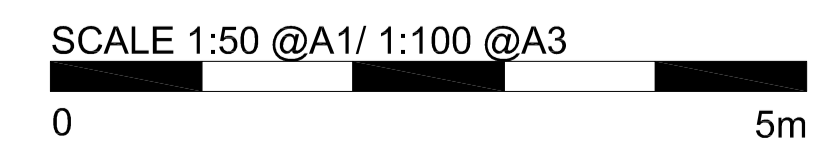
CLIENT  
**HATTON GARDEN PROPERTIES**

PROJECT  
**72 - 80 + 82 LEATHER LANE  
LONDON, EC1N 7TR**

|                               |                  |
|-------------------------------|------------------|
| SCALE<br>1:50 @A1 / 1:100 @A3 | DATE<br>23.09.15 |
| DRAWN<br>AP                   | CHK'D<br>DS      |

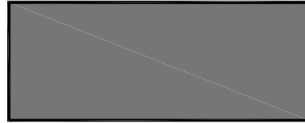

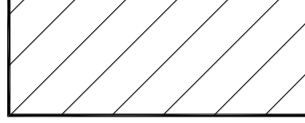
DRAWING TITLE  
**EXISTING PLAN  
FIRST AND  
UPPER FIRST FLOOR**

|                    |                     |           |
|--------------------|---------------------|-----------|
| PROJECT NO.<br>723 | DRAWING NO.<br>A003 | REV.<br>B |
|--------------------|---------------------|-----------|



# E.2+U2

## KEY

-  EXISTING
-  TO BE DEMOLISHED
-  NEIGHBOURING BUILDING

## NOTE:

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DRAWING STATUS  
**PLANNING**

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**A1**

B 16/11/16 ISSUED FOR PLANNING  
A 06/01/16 ISSUED FOR PLANNING

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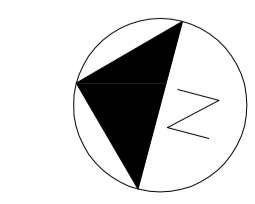
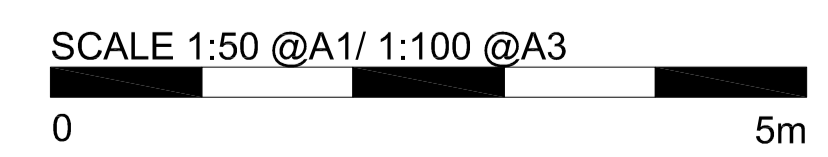
CLIENT  
**HATTON GARDEN PROPERTIES**

PROJECT  
**72 - 80 + 82 LEATHER LANE  
LONDON, EC1N 7TR**

|                               |                  |
|-------------------------------|------------------|
| SCALE<br>1:50 @A1 / 1:100 @A3 | DATE<br>23.09.15 |
| DRAWN<br>AP                   | CHK'D<br>DS      |

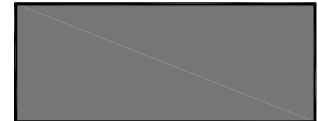

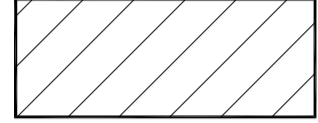
DRAWING TITLE  
**EXISTING PLAN  
SECOND AND  
UPPER SECOND FLOOR**

|                    |                     |           |
|--------------------|---------------------|-----------|
| PROJECT NO.<br>723 | DRAWING NO.<br>A004 | REV.<br>B |
|--------------------|---------------------|-----------|



# E.3+U3

## KEY

-  EXISTING
-  TO BE DEMOLISHED
-  NEIGHBOURING BUILDING

## NOTE:

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DRAWING STATUS  
**PLANNING**

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**A1**

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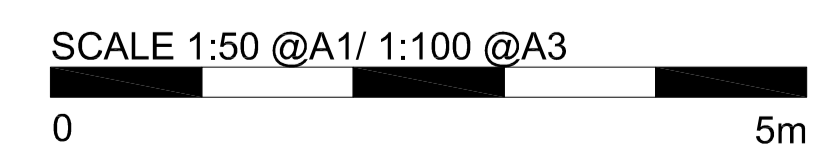
CLIENT  
**HATTON GARDEN PROPERTIES**

PROJECT  
**72 - 80 + 82 LEATHER LANE  
LONDON, EC1N 7TR**

|                               |                  |
|-------------------------------|------------------|
| SCALE<br>1:50 @A1 / 1:100 @A3 | DATE<br>23.09.15 |
| DRAWN<br>AP                   | CHK'D<br>DS      |

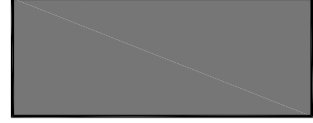

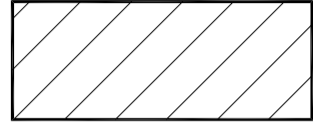
DRAWING TITLE  
**EXISTING PLAN  
THIRD AND  
UPPER THIRD FLOOR**

|                    |                     |           |
|--------------------|---------------------|-----------|
| PROJECT NO.<br>723 | DRAWING NO.<br>A005 | REV.<br>B |
|--------------------|---------------------|-----------|



# E.4+U4

## KEY

-  EXISTING
-  TO BE DEMOLISHED
-  NEIGHBOURING BUILDING

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PLANNING

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A 06/01/16 ISSUED FOR PLANNING

SMITH CARADOC-HODGKINS  
ARCHITECTS

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CLIENT

HATTON GARDEN  
PROPERTIES

PROJECT

72 - 80 + 82 LEATHER LANE  
LONDON, EC1N 7TR

SCALE DATE

1:50 @A1 / 1:100 @A3 23.09.15

DRAWN CHK'D

AP DS

DRAWING TITLE

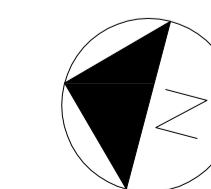
EXISTING PLAN  
FOURTH AND  
UPPER FOURTH FLOOR

PROJECT NO. DRAWING NO. REV.

723 A006 B

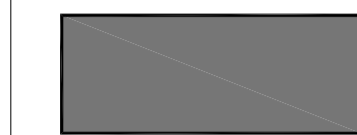

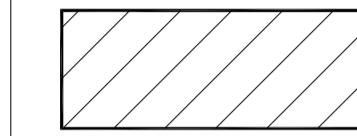
SCALE 1:50 @A1 / 1:100 @A3

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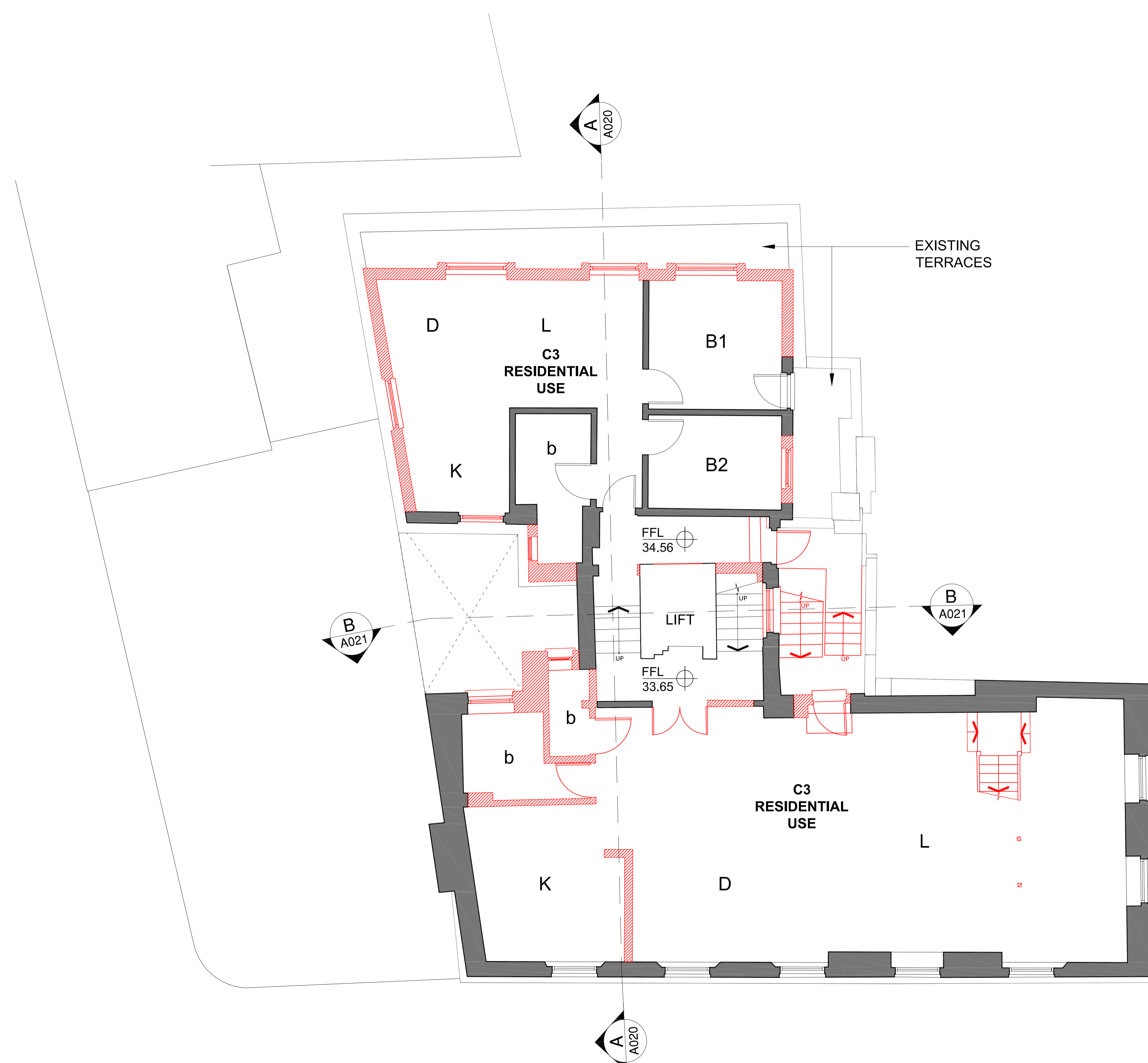
# E.5+U5

## KEY

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-  NEIGHBOURING BUILDING

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DRAWING STATUS  
**PLANNING**

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ARCHITECTS ■ DESIGNERS

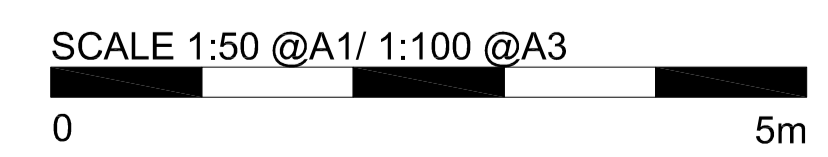
CLIENT  
**HATTON GARDEN PROPERTIES**

PROJECT  
**72 - 80 + 82 LEATHER LANE  
LONDON, EC1N 7TR**

|                               |                  |
|-------------------------------|------------------|
| SCALE<br>1:50 @A1 / 1:100 @A3 | DATE<br>23.09.15 |
| DRAWN<br>AP                   | CHK'D<br>DS      |

DRAWING TITLE  
**EXISTING PLAN  
FIFTH AND UPPER FIFTH**

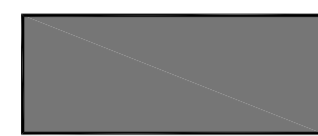

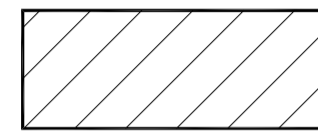
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|--------------------|---------------------|-----------|
| PROJECT NO.<br>723 | DRAWING NO.<br>A007 | REV.<br>B |
|--------------------|---------------------|-----------|





# E.6+U6

## KEY

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**PLANNING**

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**A1**

A 16/11/16 ISSUED FOR PLANNING

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ARCHITECTS ■ DESIGNERS

CLIENT  
**HATTON GARDEN PROPERTIES**

PROJECT  
**72 - 80 + 82 LEATHER LANE  
LONDON, EC1N 7TR**

SCALE  
1:50 @A1 / 1:100 @A3

DATE  
23.09.15

DRAWN  
AP

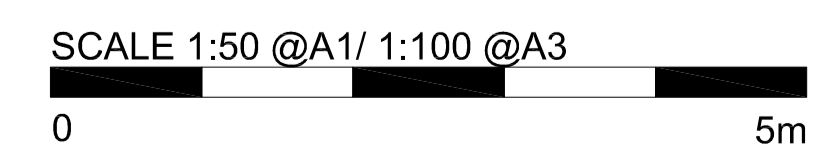
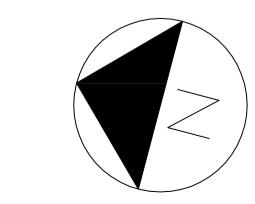
CHK'D  
DS

DRAWING TITLE  
**EXISTING PLAN  
SIXTH FLOOR**

PROJECT NO.  
723



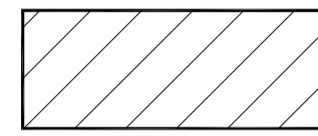
DRAWING NO.  
A008

REV.  
A



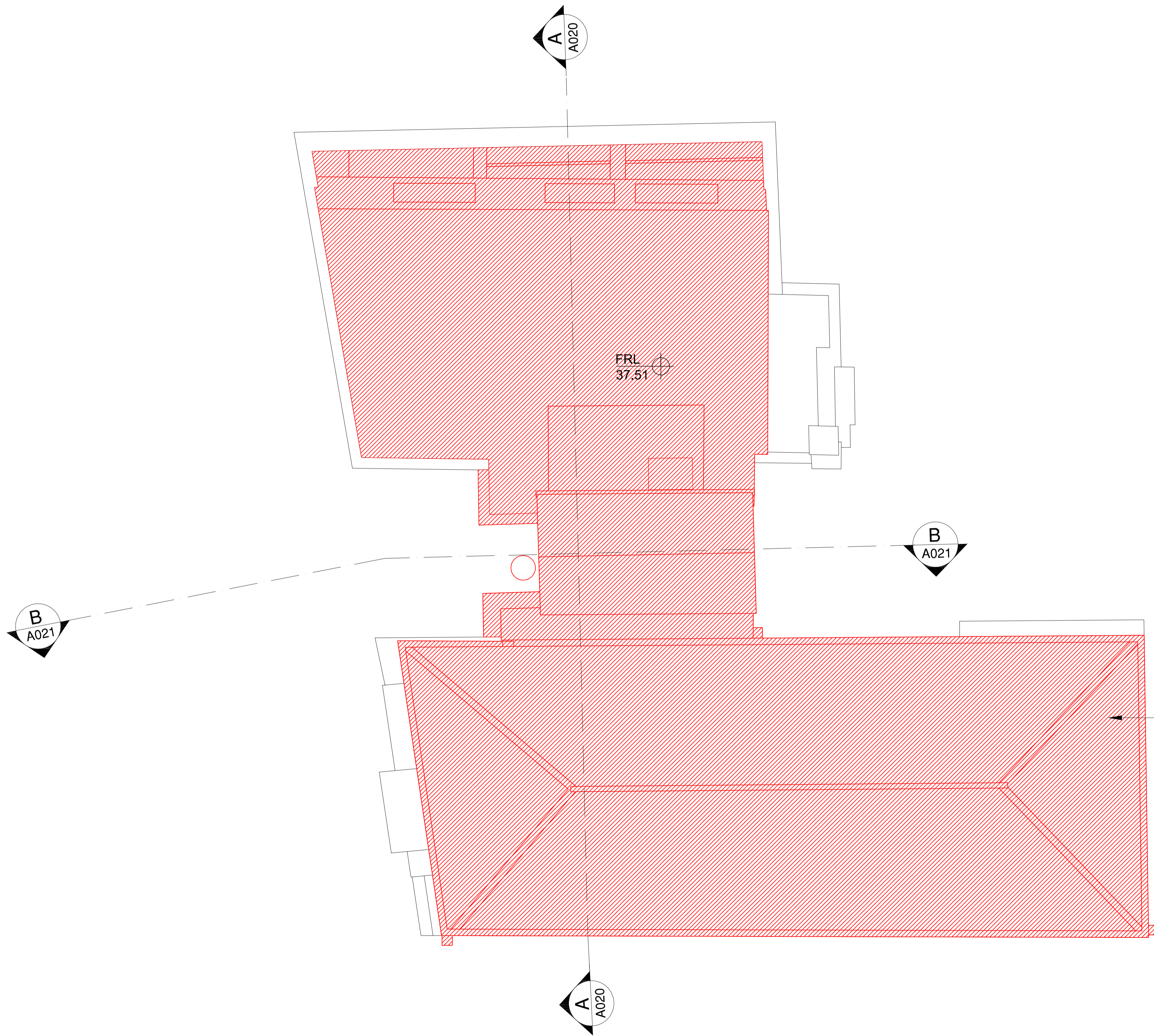
# E.R

## KEY

-  EXISTING
-  TO BE DEMOLISHED
-  NEIGHBOURING BUILDING

## NOTE:

- THIS IS A COLOUR DRAWING.
- THIS DRAWING IS BASED ON SURVEY INFORMATION PREPARED BY OTHERS.
- ALL EXISTING USES ARE ASSUMED.



ROOF CONTAINING ASBESTOS TO BE SAFELY REMOVED IN ACCORDANCE WITH HEALTH AND SAFETY REGULATIONS

DRAWING STATUS  
**PLANNING**

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  3. ANY DISCREPANCY FOUND BETWEEN THIS DRAWING AND ANY OTHER DOCUMENTS MUST BE REPORTED IMMEDIATELY TO THE CONTRACT ADMINISTRATOR.
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**A1**

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ARCHITECTS ■ DESIGNERS

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**HATTON GARDEN PROPERTIES**

PROJECT

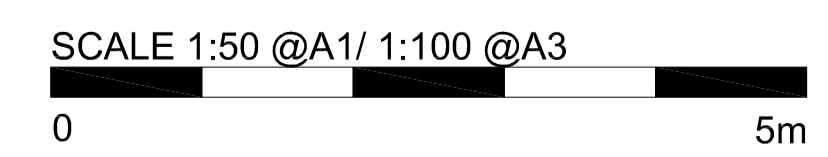
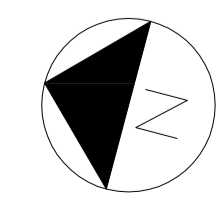
**72 - 80 + 82 LEATHER LANE  
LONDON, EC1N 7TR**

|                      |          |
|----------------------|----------|
| SCALE                | DATE     |
| 1:50 @A1 / 1:100 @A3 | 23.09.15 |
| DRAWN                | CHK'D    |
| AP                   | DS       |

DRAWING TITLE

**EXISTING PLAN  
ROOF**

|             |             |      |
|-------------|-------------|------|
| PROJECT NO. | DRAWING NO. | REV. |
| 723         | A009        | A    |



**KEY**

 TO BE DEMOLISHED

**NOTE:**

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6  
FFL 35.96

5  
FFL 33.65

4  
FFL 31.00

3  
FFL 28.39

2  
FFL 25.76

1  
FFL 23.04

G  
FFL 19.72

DOWN PIPES  
RELOCATED  
INTERNALLY

FRL 39.31

ROOF CONTAINING  
ASBESTOS TO BE SAFELY  
REMOVED IN  
ACCORDANCE WITH  
HEALTH AND SAFETY  
REGULATIONS

SIGNAGE

SIGNAGE

SIGNAGE

SIGNAGE

82 LEATHER LANE  
THE CLOCKHOUSE PUB

72-80 LEATHER LANE

SCALE 1:100 @A3

0 10m

DRAWING STATUS  
**PLANNING**

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**A1**

B 16/11/16 ISSUED FOR PLANNING  
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PROJECT  
72 - 80 + 82 LEATHER LANE  
LONDON, EC1N 7TR

SCALE 1:50 @A1/1:100@A3 DATE 23.09.15  
DRAWN VP CHK'D DS

DRAWING TITLE  
EXISTING  
WEST ELEVATION

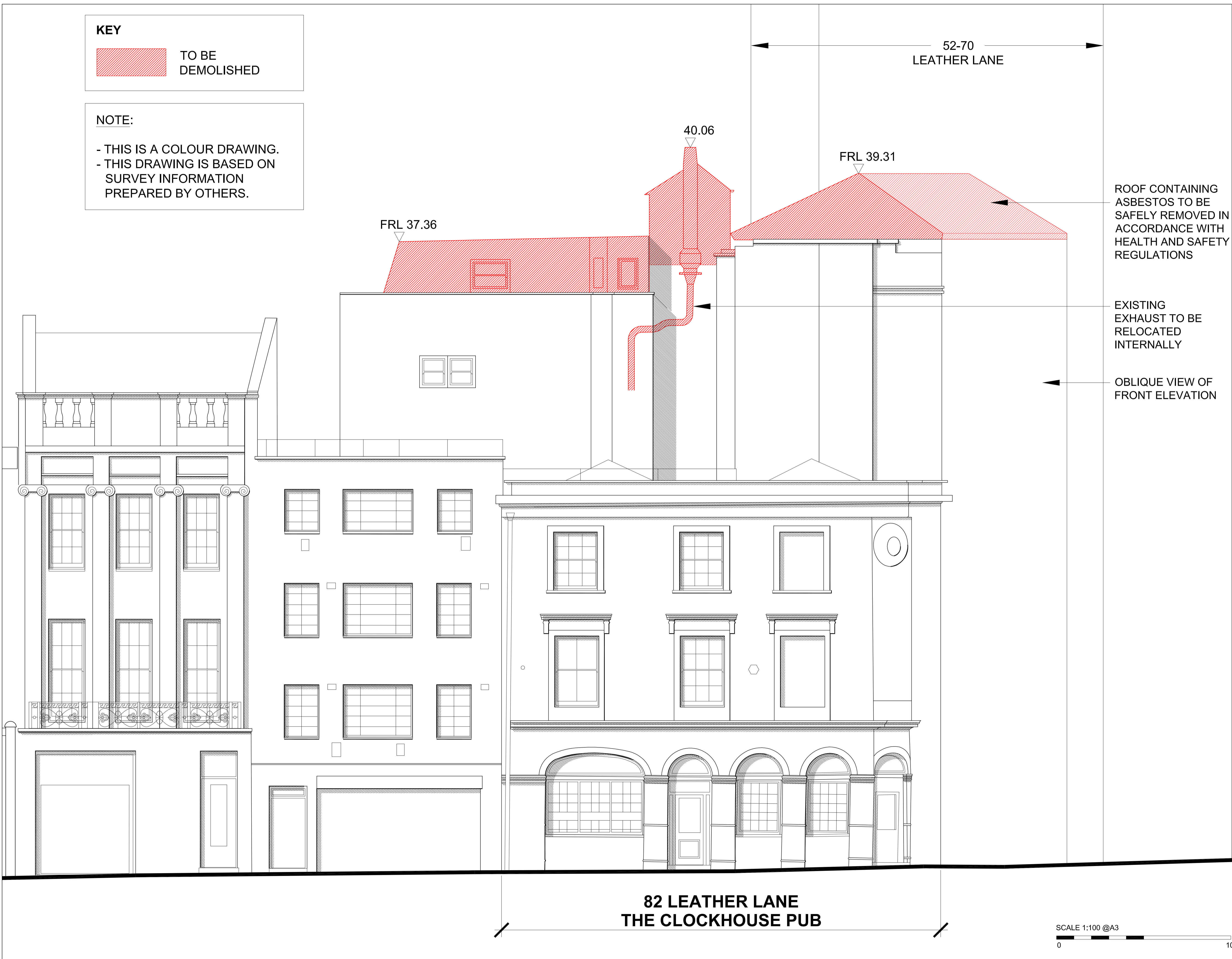
PROJECT NO. 723 DRAWING NO. A015 REV. B

**KEY**

 TO BE DEMOLISHED

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**PLANNING**

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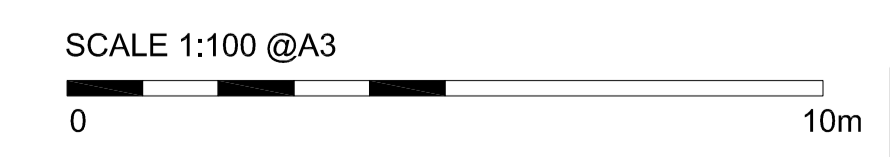
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**HATTON GARDEN PROPERTIES LTD**

PROJECT  
**72 - 80 + 82 LEATHER LANE LONDON, EC1N 7TR**

|          |          |
|----------|----------|
| SCALE    | DATE     |
| 1:100@A3 | 23.09.15 |
| DRAWN    | CHK'D    |
| VP       | DS       |

DRAWING TITLE  
**EXISTING NORTH ELEVATION**

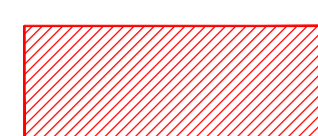
|             |             |      |
|-------------|-------------|------|
| PROJECT NO. | DRAWING NO. | REV. |
| 723         | A016        | B    |



**82 LEATHER LANE THE CLOCKHOUSE PUB**



**KEY**

 TO BE DEMOLISHED

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**A1**

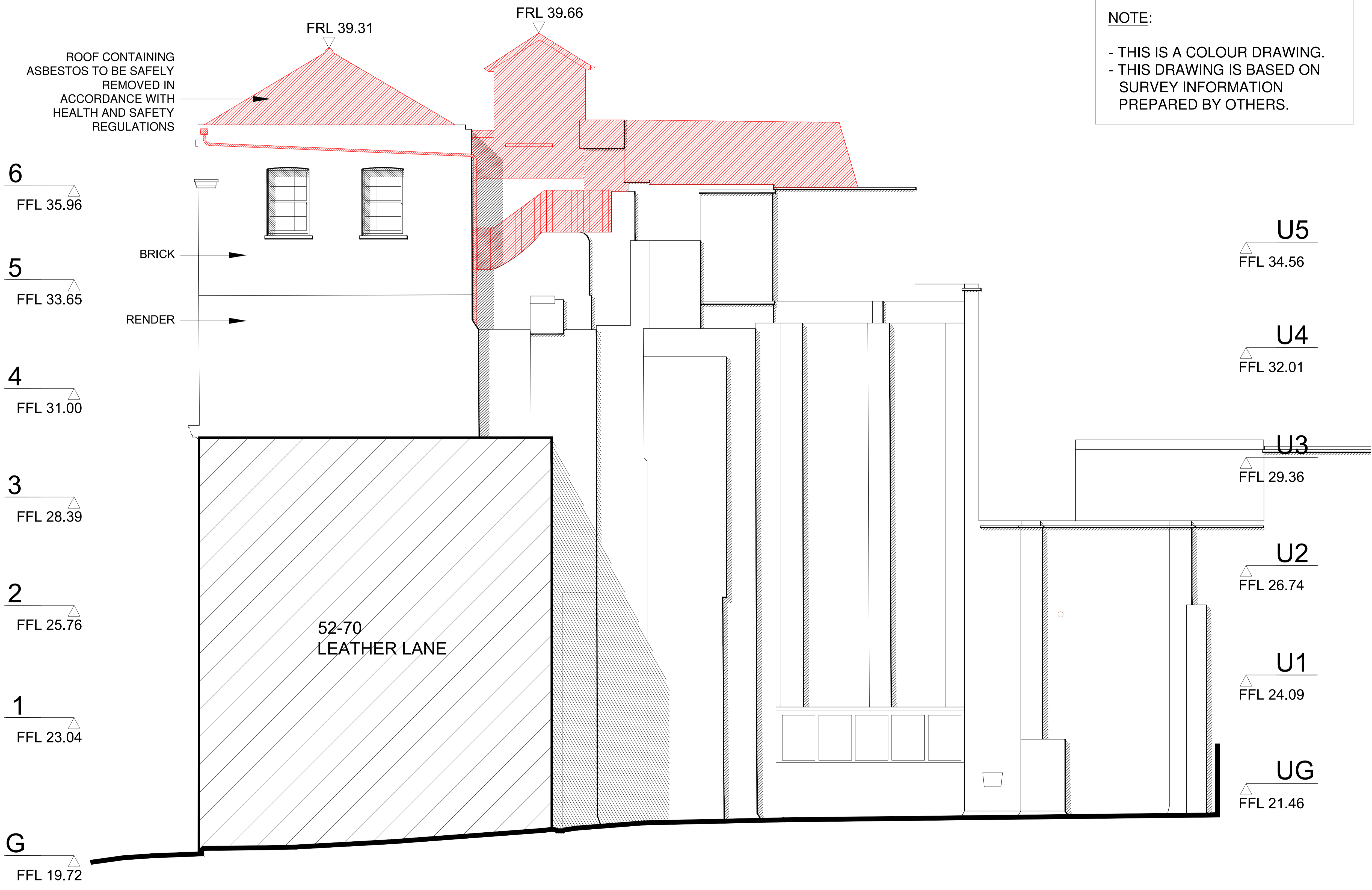
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PROJECT  
72 - 80 + 82 LEATHER LANE  
LONDON, EC1N 7TR



**EXISTING SOUTH ELEVATION**  
SCALE 1:50@A1

1

SCALE 1:100 @A3  
0 10m

16/11/16 ISSUED FOR PLANNING  
30/08/16 ISSUED FOR PLANNING (H&D)

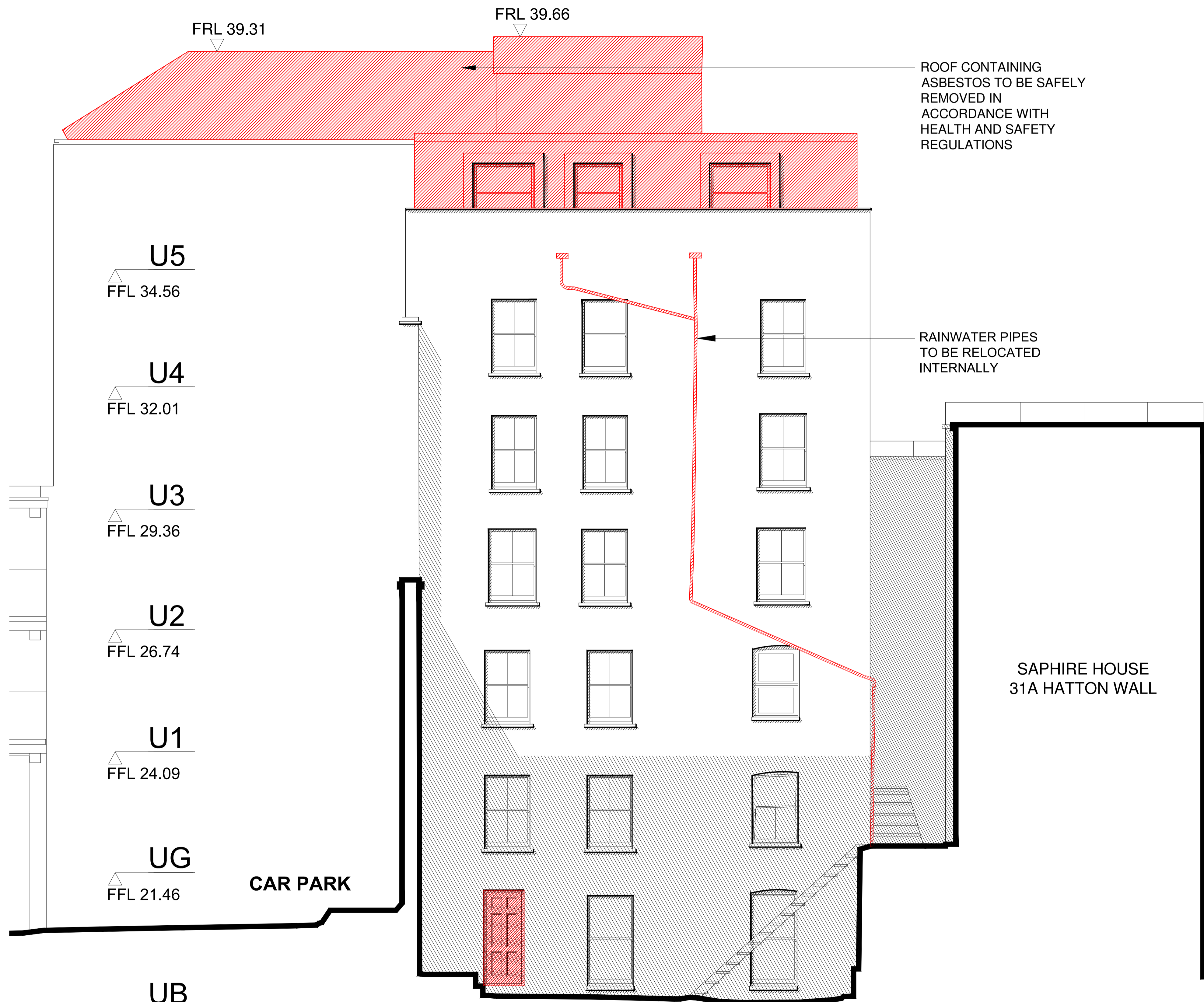
SMITH CARADOC-HODGKINS ARCHITECTS  
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LONDON, EC1N 7TR

|                          |             |      |
|--------------------------|-------------|------|
| SCALE                    | DATE        |      |
| 1:100 @A3/1:50 @A1       | 23.09.15    |      |
| DRAWN                    | CHK'D       |      |
| AP                       | DS          |      |
| DRAWING TITLE            |             |      |
| EXISTING SOUTH ELEVATION |             |      |
| PROJECT NO.              | DRAWING NO. | REV. |
| 723                      | A017        | B    |



ROOF CONTAINING ASBESTOS TO BE SAFELY REMOVED IN ACCORDANCE WITH HEALTH AND SAFETY REGULATIONS

RAINWATER PIPES TO BE RELOCATED INTERNALLY

**KEY**

 TO BE DEMOLISHED

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DRAWING STATUS  
**PLANNING**

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**72 - 80 + 82 LEATHER LANE LONDON, EC1N 7TR**

|                               |                  |
|-------------------------------|------------------|
| SCALE<br>1:100 @A3 / 1:50 @A1 | DATE<br>27.04.16 |
| DRAWN<br>AP                   | CHK'D<br>DS      |

DRAWING TITLE  
**EXISTING REAR - EAST ELEVATION**

|                    |                     |           |
|--------------------|---------------------|-----------|
| PROJECT NO.<br>723 | DRAWING NO.<br>A018 | REV.<br>B |
|--------------------|---------------------|-----------|

**EXISTING REAR - EAST ELEVATION**  
SCALE 1:100@A3

1

SCALE 1:100 @A3  
0 10m





ROOF CONTAINING ASBESTOS TO BE SAFELY REMOVED IN ACCORDANCE WITH HEALTH AND SAFETY REGULATIONS

ASSUMED TO BE ATTIC STORAGE

FRL 39.31

FRL 39.66

**KEY**

-  EXISTING
-  TO BE DEMOLISHED

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**PLANNING**

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**A1**

6  
FFL 35.96

5  
FFL 33.65

4  
FFL 31.00

3  
FFL 28.39

2  
FFL 25.76

1  
FFL 23.04

G  
FFL 19.72

B  
FFL 17.37

U5  
FFL 34.56

U4  
FFL 32.01

U3  
FFL 29.36

U2  
FFL 26.74

U1  
FFL 24.09

UG  
FFL 21.46

UB  
FFL 18.53

**EXISTING SECTION AA**  
SCALE 1:50@A1/ 1:100@A3

SCALE 1:50 @A1/ 1:100 @A3  
0 5m

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LONDON, EC1N 7TR**

SCALE 1:50 @A1 DATE 01.09.16  
DRAWN AP CHK'D DS

DRAWING TITLE  
**EXISTING SECTION AA  
SHOWING DEMOLITION**

PROJECT NO. 723 DRAWING NO. A020 REV. A

**LEATHER LANE**

STAIR

C3

C3

B1

C3

C3

A1

A1

C3

C3

B1(a)

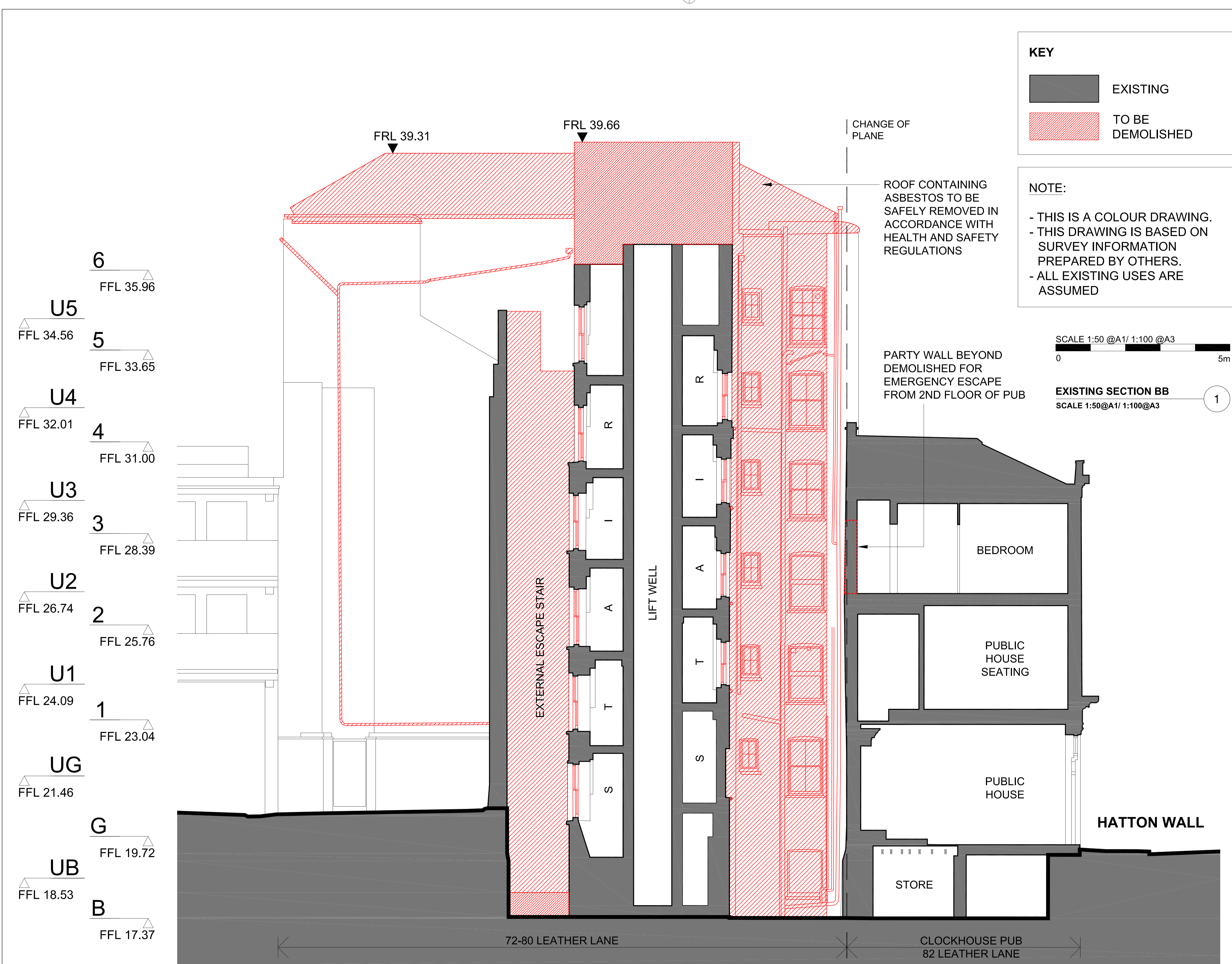
C3

C3

B1(a)

B1(a)





**KEY**

EXISTING

TO BE DEMOLISHED

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SCALE 1:50 @A1/ 1:100 @A3

0 5m

**EXISTING SECTION BB**

SCALE 1:50@A1/ 1:100@A3

1

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**PLANNING**

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PROJECT

72 - 80 + 82 LEATHER LANE  
LONDON, EC1N 7TR

SCALE 1:50 @A1 DATE 01.09.16

DRAWN AP CHK'D DS

DRAWING TITLE

EXISTING SECTION BB  
SHOWING DEMOLITION

PROJECT NO. 723 DRAWING NO. A021 REV. A