

### 5.3 Existing View Looking East along Hatton Wall



This is the only place the building is not viewed at an acute angle. But the whole of the elevation can not be seen.

A more satisfactory north facade is required to better relate to the Listed Building. The existing rear extension to 72-80 Leather Lane is unattractive and detracts from the Listed Building.

*Existing view facing east*

## 5.4 Proposed View East along Hatton Wall



The Leather Lane elevation of the existing building is retained and refurbished. This is the main contributing elevation to the Conservation Area.

The proposed roof extension is just visible above the existing parapet. The north elevation is also seen from public land in the Conservation Area and has therefore been designed to be submissive to the existing and the adjoining Listed Public House.

The proposed roof extension materials provide a defining and complimentary contrast to both the existing building and the public House.

The design visible from this view has been further rationalised and organised since earlier submissions.

*Proposed view facing east*

## 5.5 Existing View Looking North along Leather Lane

72-80 sits within a wide range of building heights on Leather Lane, with two significantly taller building both North and South.

The existing windows to the south elevation are clearly visible along with the unattractive pitched roof.



*Existing view facing north*



## 5.6 Proposed View North along Leather Lane

Existing windows in the south elevation remain in the same location.

The proposal includes two windows to the South elevation. Of these two windows only one is seen from the street as the other is set further back and largely obscured by surrounding buildings. The proposed windows are also set in from the party wall line.

Given the roof top extension is set back, the windows do not read as a 'perforated' party wall.

Further, the inclusion of the windows allows beneficial south light in to the room behind and allows access, for maintenance, to planters below the windows.



*Proposed view facing north*

## 5.7 Existing View Looking South along Leather Lane

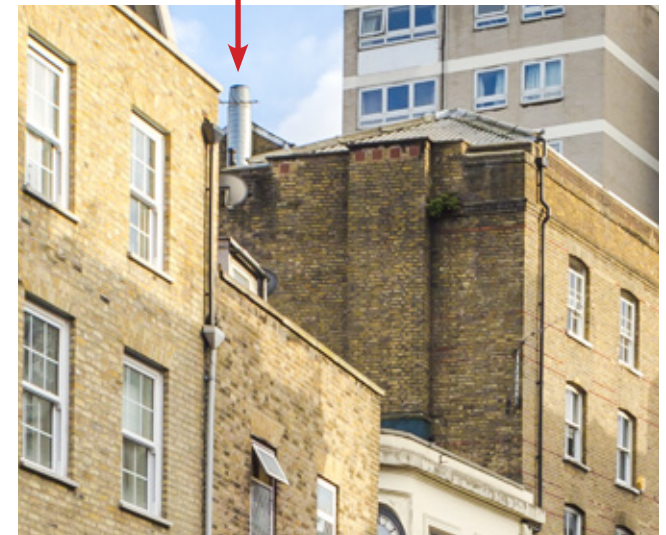


Existing view facing south

The very tall building at 60 Leather Lane is clearly visible beyond the site.

The variety of building heights and materials are characteristic of the Conservation Area.

A flue from one of the Jewellery units on site, is visible above the Listed Public House. It extends above the existing roof line.





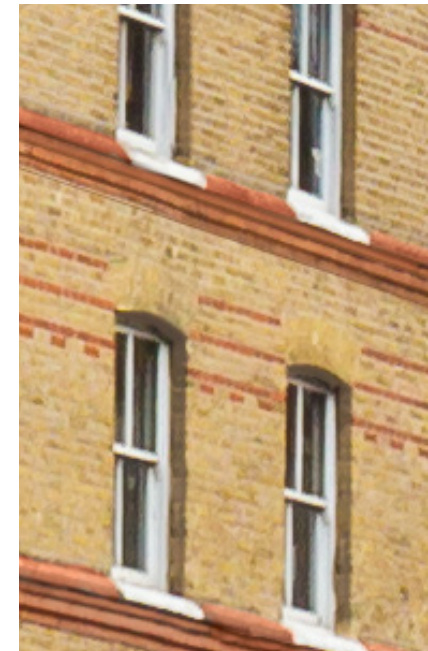
## 5.8 Proposed View South along Leather Lane



*Proposed view facing south*

The height of the proposal can be seen to step away from Leather Lane and Hatton Wall. This has been designed to minimise the visibility from public land and from the Listed buildings along Leather Lane.

All exhaust flues to Jewellery units will be located within the new proposal and will not be visible from the street.



*Computer render of facade renovations*

## 5.9 Materials

### Existing Materials

The front facade is yellow London stock brick with red brick detailing. It is an attractive combination and has a positive influence on the character of the Conservation Area despite the repair work required.

The existing brickwork is to be retained and repaired as described in Section 5.1 Restoration.

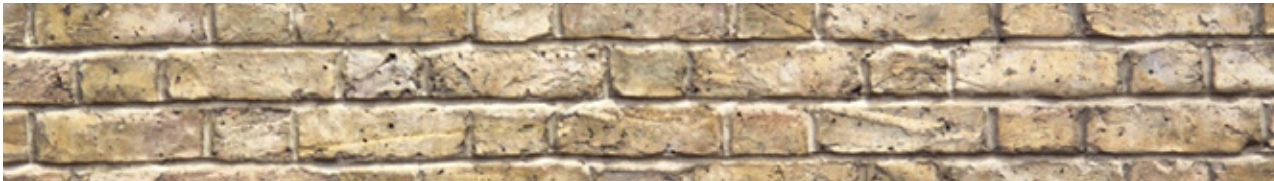
The existing roof formed of unattractive corrugated sheets, is to be carefully demolished and removed from site by specialist asbestos removal contractors.

### Proposed Materials

Zinc standing seam is the proposed cladding for the roof extension due to its traditional and industrial character. It is distinguishable from the existing brickwork however other example can be seen in the surroundings, most notable at 23 Hatton Wall (shown on the window details sheet).

Zinc is a traditional roofing material making it suitable to top the existing building and provide a backdrop to the Listed Public House.

Red pigmented zinc, shown in the examples opposite, is proposed to compliment the existing brickwork and red brick detailing.



*Primary School (Battersea)  
Studio Webb Architects*



*Monroe Studios (London Bridge)  
DSDHA*

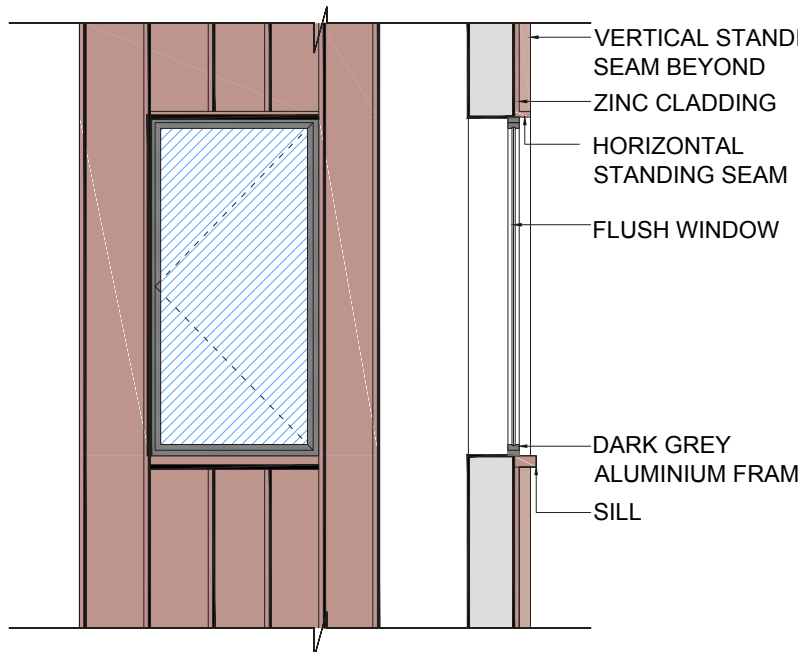


## 5.10 Window Details

Flush windows are proposed to the extensions to the rear of the building, shown on the east and south elevations.

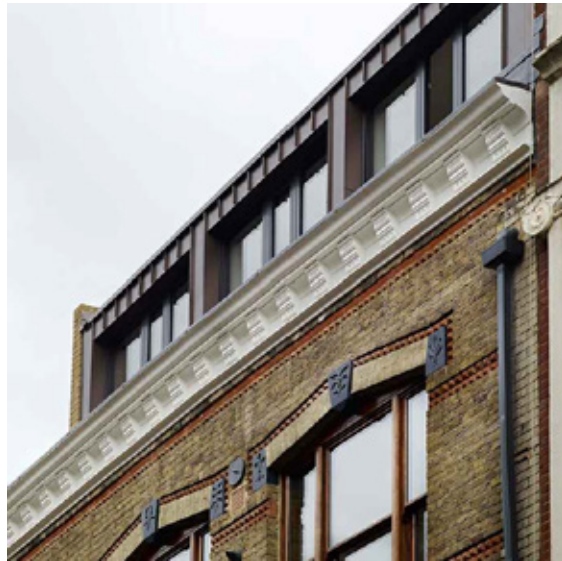
This will create a clear distinction between the character of the existing and proposed.

Slim frames, unlike the existing, are proposed for these windows.



**FLUSH WINDOWS**  
PROPOSED WINDOWS TO THE REAR





23 Hatton Wall



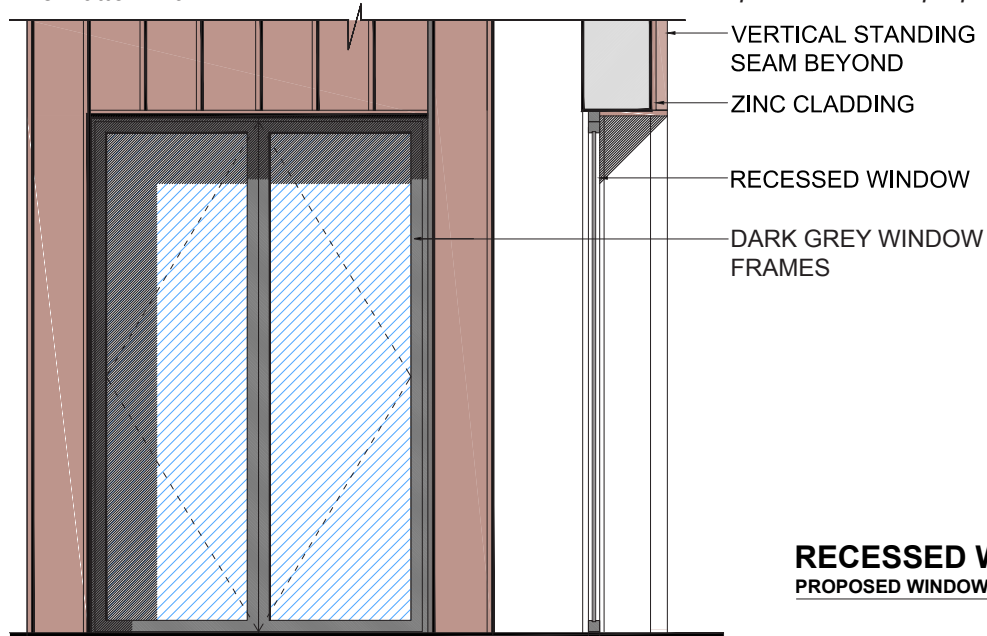
Computer render of proposal

## 5.10 Window Details (continued)

Recessed windows are proposed to the extensions to the front of the building, shown on the west and south elevations.

This approach is more sympathetic to the existing front facade and windows.

Frames of a similar width as the existing are appropriate here.



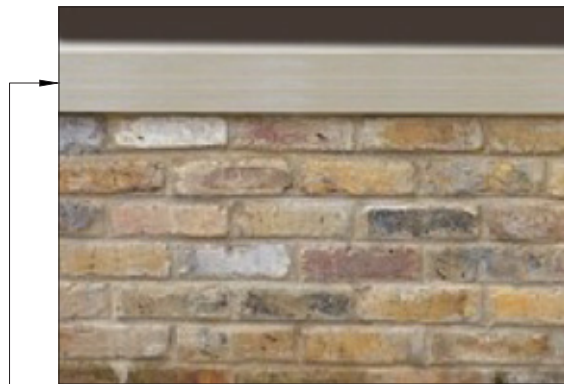
**RECESSED WINDOWS**  
PROPOSED WINDOWS ABOVE EXISTING

## 5.11 Facade Details

The coping to the top of the existing brickwork is intentionally simple. It is appropriate to the pragmatic character of the existing building.

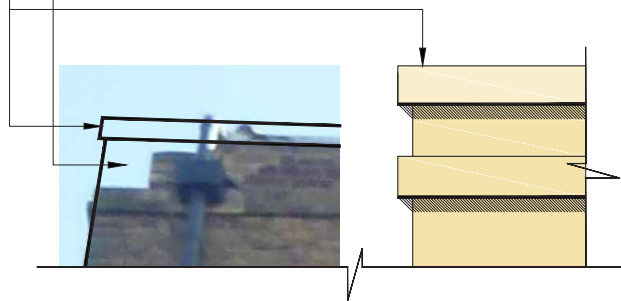
A band of red pigmented zinc is proposed to cap the existing brickwork when zinc is directly above.

A detail without a coping to the zinc facade was investigated but not implemented because it was felt the building needed a stronger termination.

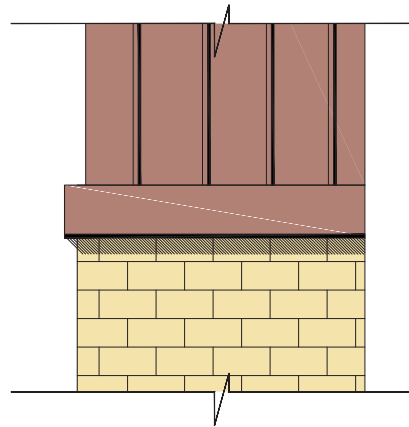
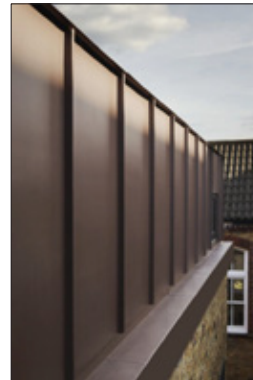


NEW STONE COPING

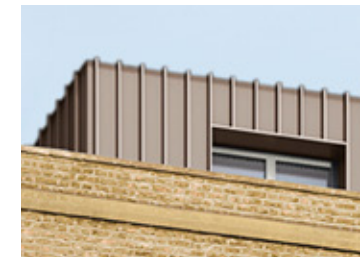
NEW SECOND HAND LONDON STOCK BRICK TO MATCH EXISTING



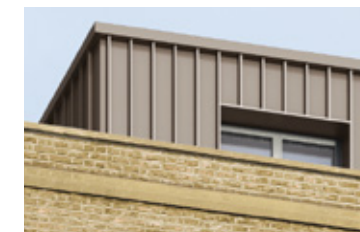
**COPING TO EXISTING SOUTH AND WEST ELEVATION - DETAIL A**



**JUNCTION BETWEEN ZINC CLADDING AND EXISTING BRICKWORK - DETAIL B**



**NO COPING TO ZINC FACADE - NOT IMPLEMENTED**



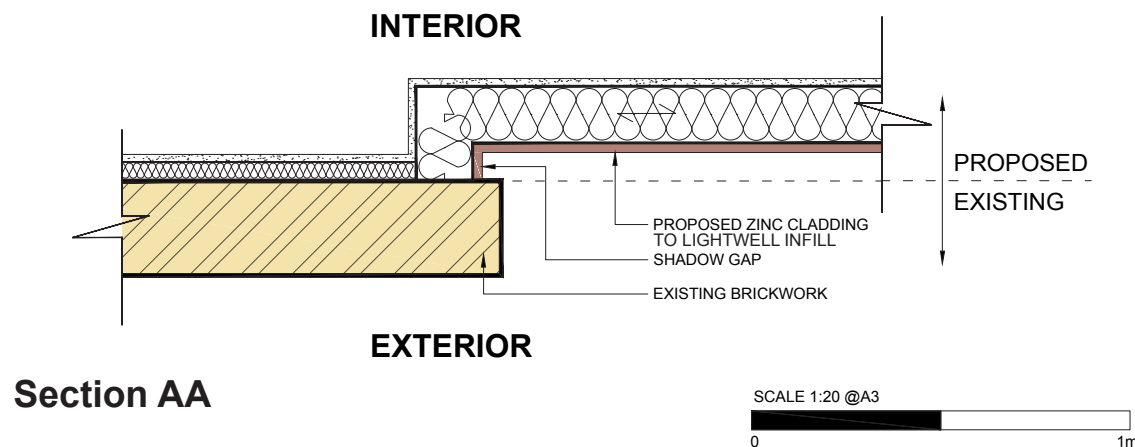
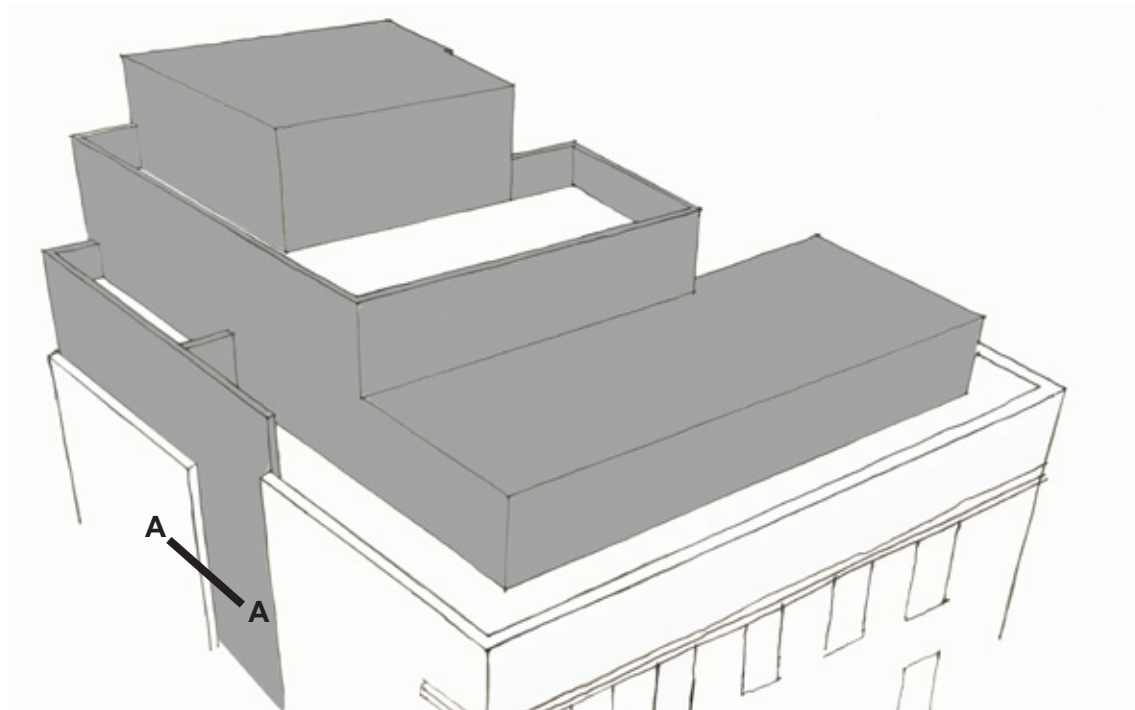
**COPING TO ZINC FACADE - STRONGER TERMINATION IMPLEMENTED**



### 5.11.1 Proposed Lightwell Infill

To clearly distinguish the new and old, we propose to set-in the zinc cladding from the existing brick line, at the lightwell infill.

The proposed cladding is to be set back by the thickness of the existing brick wall, with a shadow gap detail. The use of zinc in lieu of brick 'to match existing' results in a proposal which is honest in its intention and allows the observant to understand how the existing building has developed.



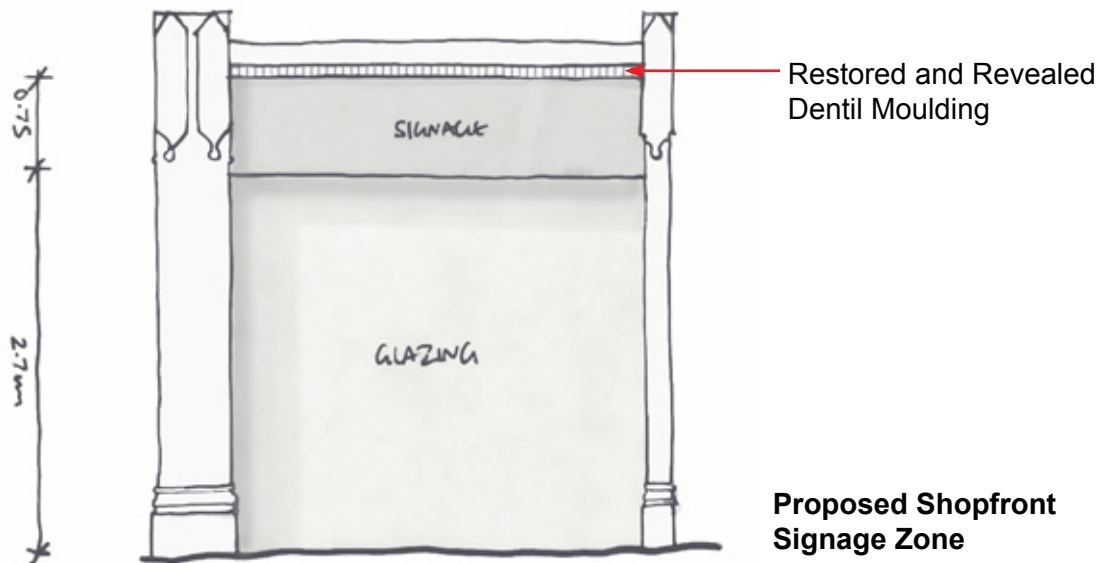
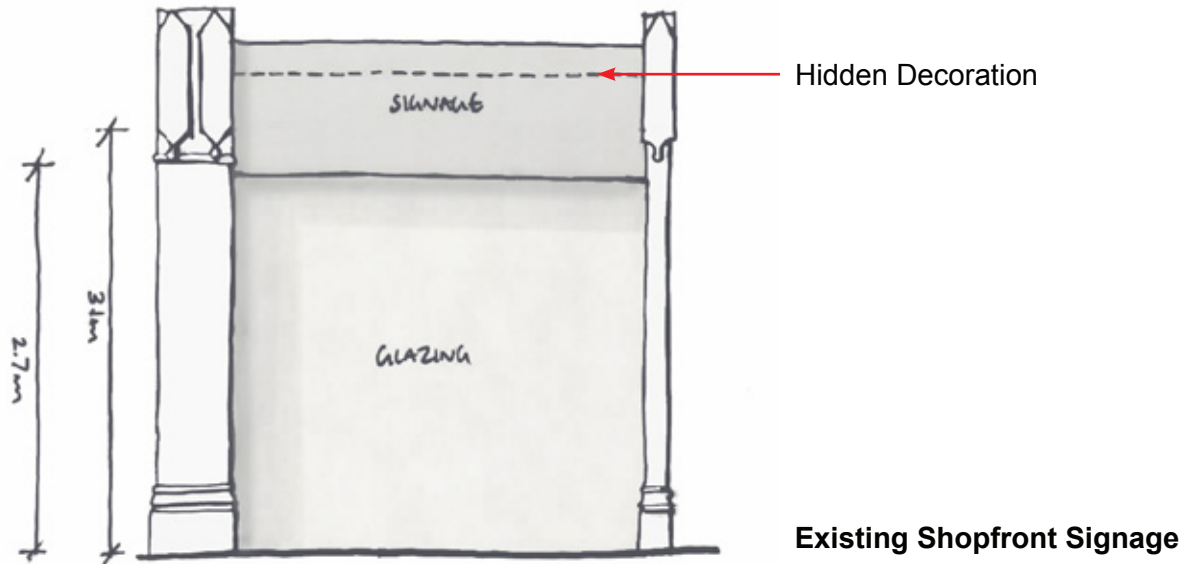
## 5.12 Shopfronts

### 5.12.1 Signage Zone

The existing signage varies in size creating a messy appearance. A standard signage zone across of shopfronts of the building will improve the appearance through rationalisation.

Some of the existing signs conceal historic decoration along the upper edge of the shopfront, whilst others reveal it along with part of the blank rendered area below. The proposal is for signage to sit neatly below the decorative band.

Please note the shopfront proposals do not form part of this application but indicate the intended way forward.



Decoration - Visible (Left)  
Concealed (Right)



## 5.12.2 Existing Shopfronts in the Surrounding Streets

The photographs opposite show examples of shopfronts in the local area which the future shopfronts will be modelled on.

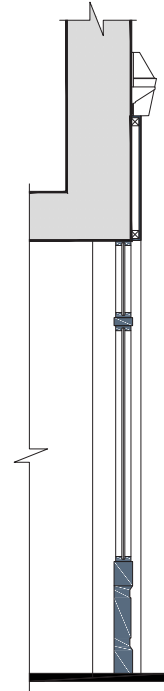
## 5.12.3 Indicative Design

The shopfronts do not form part of this application. It is expected that incoming tenants will design and install their units including the shopfront. However, as previously discussed, parameters will be set with a designated signage zone for instance.

Opposite is an example of the shopfront that will be encouraged. It is traditional in proportion and similar approaches can be seen at the north end of Leather Lane. An internal shutter would be integrated. Columns between shopfronts to be repainted a uniform and neutral colour.



*Indicative shopfront elevation*



*Indicative shopfront section*



*Existing Shopfront on Leather Lane*



*Existing Shopfront on Hatton Garden*

## 6.0 The Clockhouse Public House

A new emergency escape route is proposed for the Clockhouse Pub. The route passed through the party wall of the Pub and 72-80 Leather Lane into the existing north lightwell of 72-80. This will provide an escape route contained within the demise of a single landlord.

The proposed route is the only viable option which does not affect the internal layout of the Listed Public House.

A new opening in the wall of the Grade II Listed Pub is required. This is proposed at the second floor, in a location the heritage consultant describes as a *“blank party wall.....away from anything of architectural or historical importance”*.

The heritage assessment goes on to say, *“the new door will not compromise any important historic fabric”*. Please see the historic assessment for a more detailed assessment.

The proposal has been discussed with an Approved Inspector and Fire Consultant. Fire signage and security systems will be incorporated to prevent unwanted access from 72-80 Leather Lane into the Pub at 82 and to ensure the fire route is kept clear.



Location of proposed opening in party wall at second floor of Listed Public House



## 7.0 Existing Uses

### Retail Use

Retail Use is located at the Front of the building at Ground and Basement with direct access from the street.

### Commercial Use (B1)

There is a small office space sandwiched between residential units on the third floor.

### Jewellery Use (B1(a))

There are two floors of Jewellery Use at the rear of the building. A third unit is separated with Residential use above and below.

### Residential Use

As mentioned above residential use is interdispersed with Jewellery and Office use. It is largely located on the upper storeys.



Diagrammatic Section of Existing Uses

## 7.1 Proposed Uses

### Retail Use

Retail Use will be retained to the front of the ground floor. Each unit has direct access on to the street to continue the active frontage.

One retail unit will retain access to the basement. The basement below the southern retail units makes way for cycle storage.

### Commercial Use

The internal layout is reconfigured to group all of the commercial units together. The office unit provides a buffer between retail and residential use.

The Jewellery units are to the rear lower levels of the building when light quality is low. The users are unaffected because they rely on artificial lighting. Natural light is therefore more beneficial to Residential Use.

There is a small increase in area of Jewellery Use, proportionally it is a significant increase.

### Residential Use

Residential units are located together with shared access into the building, with the commercial units.

They are located at the top of the building to maximise sunlight levels.



Diagrammatic Section of Proposed Uses



## 7.2 Flat Layouts

All new or change of use flats meet or exceed London Plan Space Standards. They are also largely compliant with Part M4(2) standards. Exceptions are made only due to constraints of the existing building such as a lack of terraces to some units.

Please see SCH drawing No's A111-A114.

As per pre-application feedback obtained from officers, the layout of the studios have been rearranged.

It has been possible to rearrange the layout of the studio so that the bed is away from the party wall, with kitchen, dining and living room beyond.

Camden's preference for a permanent partition between living and kitchen spaces has not been proposed because 'living/kitchen' spaces are in more demand. An area large enough to allow for flexibility and a range of activities has instead been provided.

## 8.0 Access & Inclusive Design

The existing building predates the current access and inclusive design regulations and does not meet their standards. The intention of the proposals are to meet the current requirements for access where feasible within the limitations naturally set by an existing building.

Below we make reference to specific points of note:

### Lift Access

The existing lift serves all units from the ground to fifth floor to the front of the building. The units to the rear of the building, some of which are residential, are not currently accessible without using stairs. We propose to install a dual opening lift to serve the units to the rear of the building and the proposed sixth floor.

### General Access

Doors and corridors to circulation space, entrance areas, bedrooms and bathrooms within the proposed residential units will be designed to be wheelchair accessible where possible in accordance with Part M of the Building Regulations and Lifetime Homes Standards.

There is existing stepped access which cannot be modified.

## 9.0 Car Parking

There are no existing car parking spaces and the development will be car free.

## 10.0 Bicycle Storage

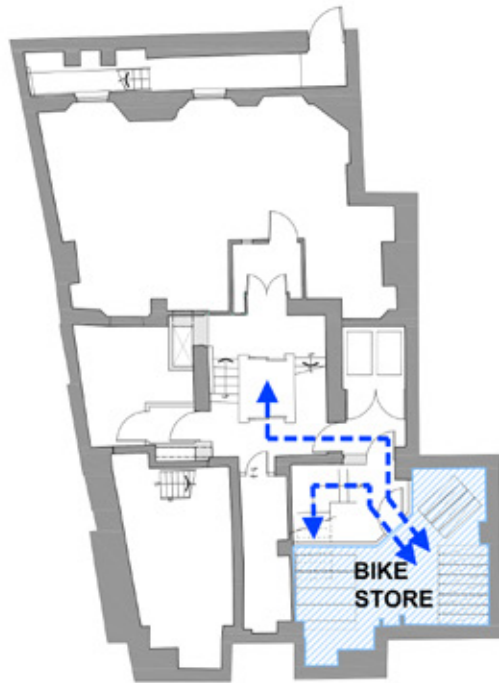
The existing building has no designated cycle storage.

Bicycle storage will be provided for residents (C3) and staff working in the offices (B1). 5 of the storage racks are located within the units, while the rest are in the basement, and are accessed off Leather Lane and down to the basement via a stair.

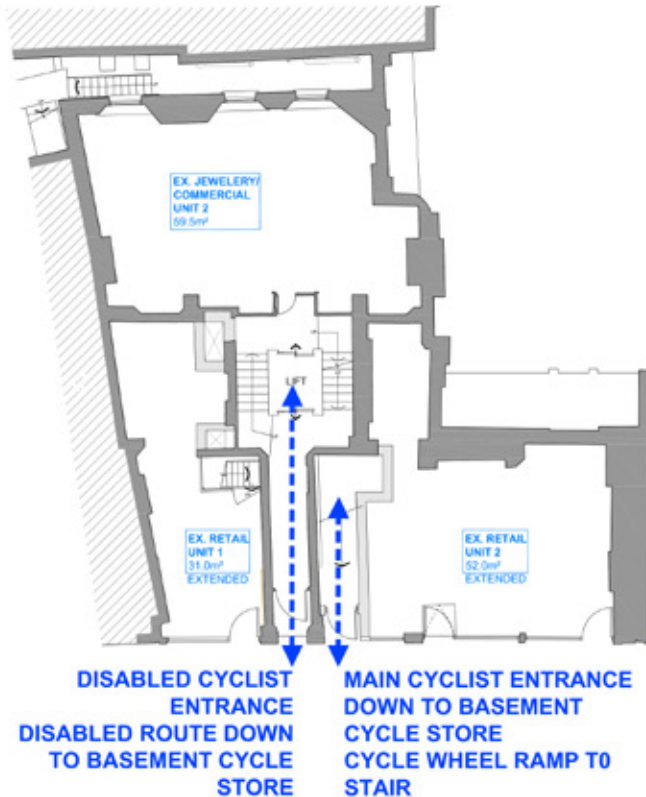
Cycle storage cannot be provided at ground floor as the proposal seeks to protect the existing retail units to the front of the site and the jewellery units to the rear. However, wheel ramps are proposed for ease of access. The lift also travels down to the basement level.

The number of bicycles has been calculated using the London Plan Standards (March 2015).

Further advice was taken from the London Borough of Camden Guidelines, and TFL's London Cycling Design Standards.



Proposed Basement Plan



Proposed Ground Floor Plan

### Proposed Cyclist Routes

#### Key:

Bike Route — — — — —  
Bike Store [Blue hatched box]

## 10 Bicycle Storage (continued)

Secure cycle storage spaces, will be provided at basement level for use by residents within the proposed development. The provision of cycle parking facilities meets the standards stated within The London Plan (March 2015).

### Residential

4 x Studio/1-Bed	x1	= 4
7 x 2-Bed	x2	= 14
1 x 3-Bed	x2	= 2
Total		20

### Proposed Provision:

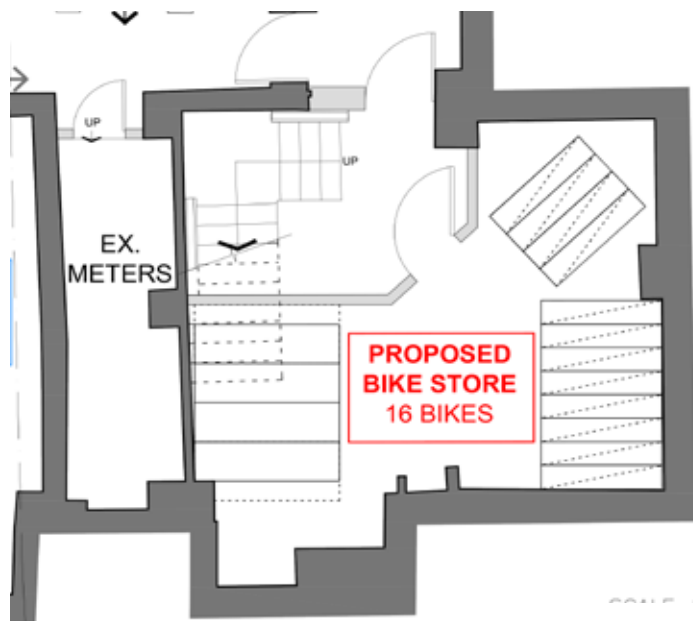
- 4 Cycle spaces to London borough of Camden standards for the 4 new units
- 12 additional semi-vertical stands for 6 of the existing flats
- another 4 cycle storage spaces are to be provided inside the 2 enlarged existing units on floors 2nd and 4th.

### Office

1 space is required for every 90m<sup>2</sup>, total area is 94m<sup>2</sup>, thus 1 cycle storage space is to be provided for office use within the office unit.

### Jewellery

1 space is required for every 250m<sup>2</sup>, total area is 170m<sup>2</sup>, thus no cycle parking spaces required.



PROPOSED PART BASEMENT PLAN

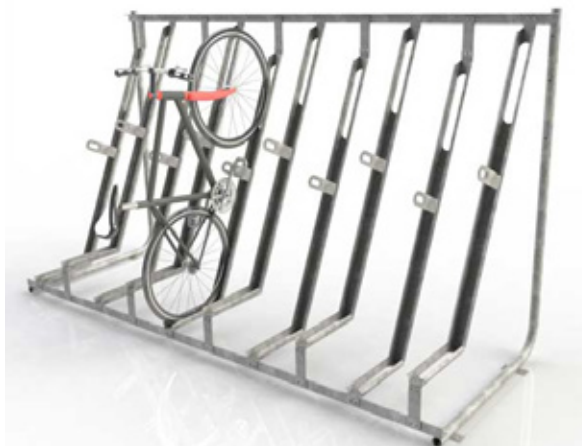
### Cycle stand key type

Semi-vertical stand 

Camden stand 



Camden stand - 4 Spaces



Semi-vertical Bicycle Racks - 12 Spaces



- external dimensions mm (HxWxD)
- ① 770L
  - ② 500L
  - ③ 240L
  - ④ 140L

## 11.0 Waste Management

There is no existing designated waste storage area in the building.

The proposal provides waste storage for all residential and commercial units separately. Retail waste storage is kept as existing within each unit, therefore retail tenants will not require access to the common parts. Toxic/chemical waste from the Jewellery units will be stored separately and collected by a specialist.

Waste and recycling will be brought up to street level for collection.

The proposed refuse and waste management strategy has been agreed with Ann Bake (Principle Environmental Services Officer) at Camden Borough Council (19.09.16)

### Residential

4 x Studios/1-Bed x 100L	= 400L
7 x 2-Bed x 170L	= 1190L
1 x 3-Bed x 240L	= 240L
<b>Total</b>	<b>1830L</b>

Refuse	1x770L	= 770 L
Recycling	1x770L	= 770 L
Food waste	1x240L + 1x140L	= 380 L
<b>Total</b>		<b>1920 L</b>

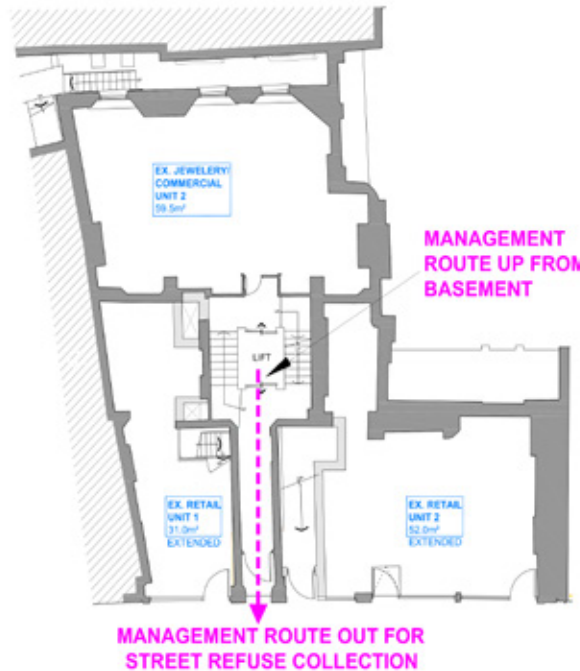
### Jewellery and Office

- 1m<sup>3</sup> of storage space is required for every 300-500m<sup>2</sup>
- equal volumes of refuse and recycling required

<b>Total area is 257m<sup>2</sup>, thus 1m<sup>3</sup></b>	<b>=</b>	<b>1000L</b>
Refuse		1x 500 L
Recycling		1x 500 L

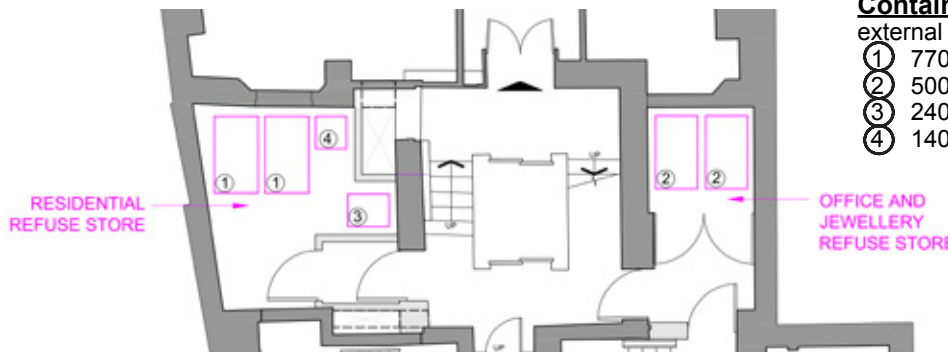


Proposed Basement Plan



Proposed Ground Floor Plan

### Proposed Refuse Routes



### Key

- ➡ Refuse Routes
- ▨ Refuse/ Recycle Store

### Container Type Key

external dimensions mm (HxWxD)

- ① 770L Eurobin 1370 x 1370 x 780
- ② 500L Wheelie bin 1145 x 1305 x 745
- ③ 240L Wheelie bin 1070 x 580 x 740
- ④ 140L Wheelie bin 1070 x 580 x 550

Proposed  
Basement Plan

## 12.0 Daylight

Residential use is grouped at the top of the building where the quality of natural light is highest. All habitable rooms have at least one window. Windows to the south, east and west elevations have been maximised as opposed to north facing to improve the level of light.

One jewellery unit has been be relocated with the other existing units at the lower levels. The quality of natural light is poorer here. However, jewellers prefer to work under direct artificial light, therefore there is more benefit in locating the residential units on the upper floors.

The condition of all other existing units remains the same or is improved with additional windows.

At Pre-Application 1 additional windows to the front elevation were not considered to worsen levels of overlooking.

Analysis has been carried out on the daylight and sunlight impact of the proposed scheme on surrounding residential units. A report by the Consultant is submitted as part of this application.

In summary, there is a typical reduction in daylight to neighbouring residential windows of 10%. This is well below the accepted reduction of 20% outlined in BRE guidelines.

For further information refer to Point2 Surveyor's report.

## 13.0 Noise & Acoustics

A background noise assessment is submitted as part of this application, along with a noise impact assessment.

The noise impact assessment sets appropriate dB ratings for noise transfer between uses within the building between the building as a whole and neighbours.

It is not possible to detail the proposed method of noise attenuation because the existing construction and build up is unknown. The building is occupied therefore an intrusive survey has not been carried out. This detail can therefore be provided through condition. We therefore expect dB ratings to be applied as Conditions by Camden Council.

The intention is to significantly improve the existing acoustic properties and exceed the Part E requirements. Based on our extensive experience of working with existing buildings we do not believe there will be any problem achieving the required sound level reduction figures.

The noise assessment advises that an alternative method of ventilation be provide for a number of the residential units. This will be address at a later date when suitable methods of venting have been investigated.

For further information refer to Cole Jarman's report.

## 14.0 Contamination

A contamination survey has been carried out including a desktop study and site visit.

There were concerns about possible contamination caused by the existing jewellery units.

The report describes a small number of possible concerns however they are all low risk.

These concerns have been include in a risk register and will be passed on to all contractors before any work commences.

For further information refer to RM Cameron Environmental Service's report.

## 15.0 Archaeology

- A desktop archaeology survey has been carried out to determine if there is likely to be any significant remains.

### Findings

- The site has a high potential for late 17th Century and later remains, of low significance
- There is a moderate potential for remains of the late 16th century Hatton Garden boundary wall, of medium significance and garden features of low significance.
- There is also low to moderate potential to contain remains dating to the Roman period or low or medium significance.
- It is noted that the proposed below ground works are to a small area within the site and not of any great depth. The locations are shown on the sketch opposite.

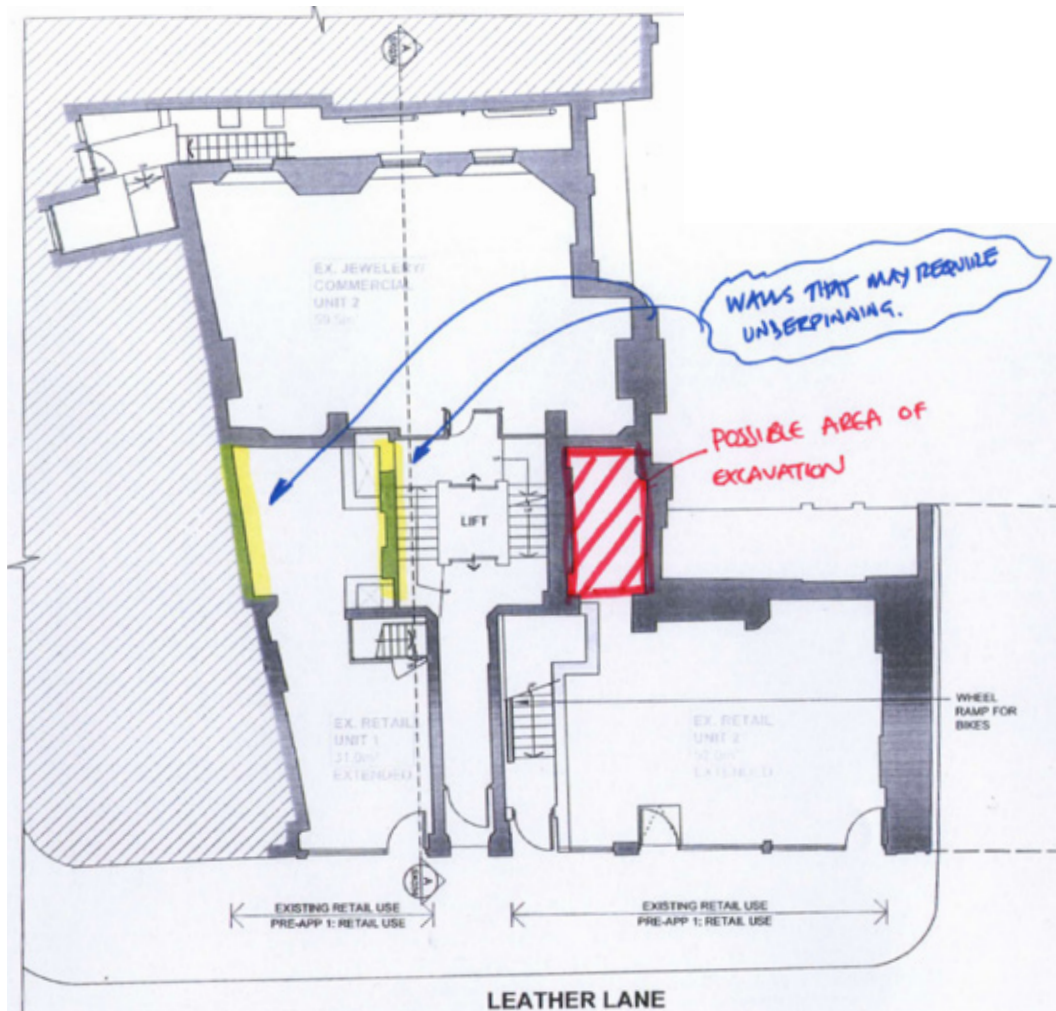
### Proposal

- Underpinning may be required to the walls to ensure the structural stability.
- Excavation of the small area hatched red is required to create a level and usable area.

### Strategy

- It is thought to be unlikely that preliminary archaeological field evaluation of the site is required.
- It is understood that an archaeological watching brief may be required during basement excavation and underpinning works.

For further information refer to MOLA's report.



*Proposed below ground works*



## 16.0 Neighbour Consultation

A letter has been delivered to neighbours who may be affected by the proposal. Informing them that at application is being submitted in case they miss the planning application notices.

The letter was delivered prior to the submittal of this application allowing time for comments and questions to be received by the Architects and Planning Consultants.

No comments were received at the time of submission.

## 17.0 Secured by Design

A meeting was held with ALO, Detective Inspector Martin Brown, of the Metropolitan Police on the 11th October to discuss potential security issues with the proposal.

The main concern for the potential for free movement of people between all floor and across the various uses. It was agreed however that there was no solution to this due to the restrictive dimensions in the, existing and retained, common parts.

To mitigate this a number of options were suggested and will be implemented, these include;

- CCTV at the two entrances off Leather Lane
- CCTV at the entrance to each Jewellery Unit
- Fob access to the cycle store for residential users only.

A secondary door to the main entrance has also been proposed to deter 'tailgates'.

Lighting will be provided to the main entrance and entrance to the basement off Leather Lane.

## 18.0 Sustainability

SAP calculations have been carried out on the new and change of use residential units. These are recorded in the Energy Statement submitted with this application.

Carbon saving of 21.9% above the Part L (2013) baseline will be achieved through 'Be Lean' strategies.

A BREEAM pre-assessment of proposed residential units within the existing fabric achieved 'Very Good'.

Please note this application does not include any plant for office or jewellery units. Any plant required will be fitted and planning sought later by Tenants. Riser and plant areas are included to support future plant.

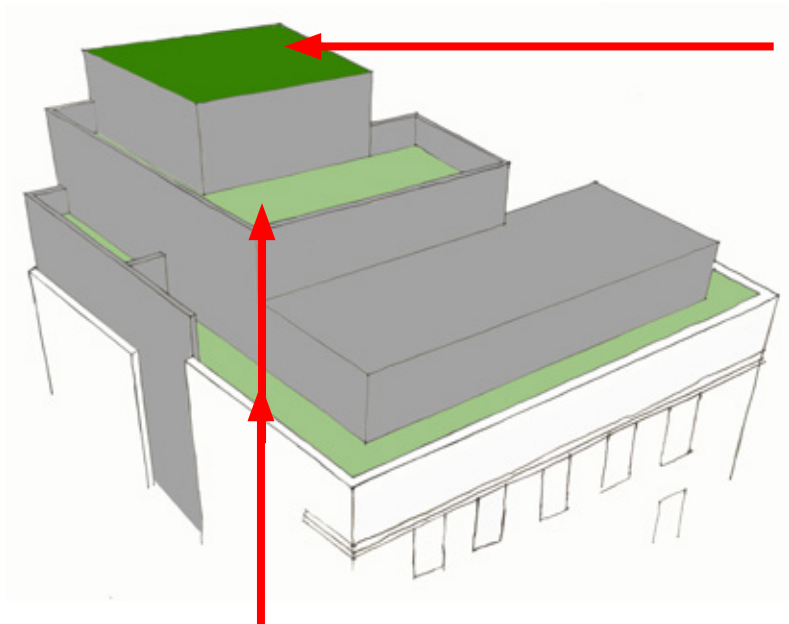
For further information refer to Verte's report.

## 19.0 Landscaping

It is possible to provide terraces for 3 residential units, with space for planters as shown opposite.

External lighting will be provided for the entrances off Leather Lane.

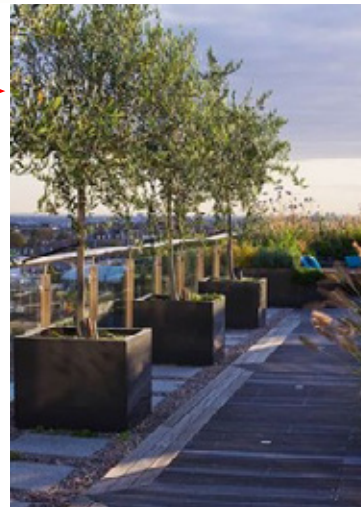
Biodiverse roofs will provide visual interest for flats which overlook the building.



Planters on  
Residential  
Terraces



Biodiverse Roof



## 20.0 Area Schedule

E+P

### EXISTING + PROPOSED REV. A

#### APPROXIMATE EXISTING AND PROPOSED GIA

Based on SCH drawing numbers 723- A001 Rev.A- A007 Rev. A,  
A101 Rev. A- A109 Rev. A

	RETAIL (A1)				COMMERCIAL (B1)				COMMERCIAL (JEWELLERY)				RESIDENTIAL (C3)			
	EXISTING		PROPOSED		EXISTING		PROPOSED		EXISTING		PROPOSED		EXISTING		PROPOSED	
	(sq m)	(sq ft)	(sq m)	(sq ft)	(sq m)	(sq ft)	(sq m)	(sq ft)	(sq m)	(sq ft)	(sq m)	(sq ft)	(sq m)	(sq ft)	(sq m)	(sq ft)
Basement	48	517	19	205			2	22	44	474	63	678			34.5	371
Ground	73.5	791	84.5	910					58.5	630	60	646				
First							96	1033			62.5	673	134	1442		
Second													135	1453	145	1561
Third					85	915			60.5	651					155.5	1674
Fourth													144	1550	158.5	1706
Fifth													128	1378	145.5	1566
Sixth													78	840	109.5	1179
Seventh															36	388
<b>TOTAL</b>	<b>121.5</b>	<b>1308</b>	<b>103.5</b>	<b>1114</b>	<b>85.0</b>	<b>915</b>	<b>98.0</b>	<b>1054.9</b>	<b>163.0</b>	<b>1755</b>	<b>185.5</b>	<b>1997</b>	<b>619.0</b>	<b>6663</b>	<b>784.5</b>	<b>8444</b>
<b>TOTAL (INC. COMMON PARTS)</b>	<b>149.0</b>	<b>1604</b>	<b>124.5</b>	<b>1340</b>	<b>104.0</b>	<b>1119</b>	<b>116.5</b>	<b>1254</b>	<b>200.0</b>	<b>2153</b>	<b>221.5</b>	<b>2384</b>	<b>758.5</b>	<b>8164</b>	<b>948.5</b>	<b>10210</b>

DIFFERENCE (inc. COMMON PARTS)	A1	-24.5	-264	B1	+ 12.5	+ 135	JEWELLERY	+ 21.5	+ 231	C3	+ 190.0	+ 2045
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	TOTAL GIA			
	EXISTING		PROPOSED	
	(sq m)	(sq ft)	(sq m)	(sq ft)
Basement	145	1561	161	1733
Ground	166	1787	179	1927
First	161	1733	180	1938
Second	165	1776	178.5	1921
Third	172	1851	184.5	1986
Fourth	170	1830	183	1970
Fifth	154.5	1663	174.5	1878
Sixth	78	840	134.5	1448
Seventh			36	388
<b>TOTAL</b>	<b>1211.5</b>	<b>13040</b>	<b>1411</b>	<b>15188</b>



## 20.1 Accommodation Schedule

The number of larger units, 2 bed +, remains as existing to support the need for such units in the area.

### RESIDENTIAL ACCOMMODATION SCHEDULE

Floor	Existing		Proposed				Difference to Existing
	2 Bed		Studio	1 Bed	2 Bed	3 Bed	
Ground							
1st	2						-2
2nd	2				2		0
3rd			1	1	1		3
4th	2				2		0
5th	1	1	1	1	1		2
6th					1	1	-1
7th							1
<b>Total of Each Dwelling Type</b>	<b>8</b>		<b>2</b>	<b>2</b>	<b>7</b>	<b>1</b>	
<b>Overall Total</b>	<b>8</b>		<b>12</b>				<b>4</b>

## 21.0 Summary

The proposed scheme for 72-80 Leather Lane reorganises the uses within this mixed use building and expands the residential portion. The proposed extensions resolve the matter of the unsafe roof and external stair and help fund the overall renovation of this substantial Victorian building.

- Recyclable and non-recyclable waste and cycle storage provided to all uses.
- The bulk and mass of roof extensions is away from Leather Lane and Hatton Wall.
- The roof extensions reflect the historic industrial use of the building whilst being distinct to the existing.

The Central London Area of Camden is included as an Area for Intensification. The area is therefore expected to deliver new homes and jobs. Furthermore we believe the proposal provides an ideal facility for this agenda.

Two pre-application meetings have been held along with telephone conversations and dialogue via email to develop a scheme that both the Client and Planning Officers are happy with.

- Retail Use retained and area increased at ground floor.
- Office use retained and moved to first floor and area increased.
- Jewellery Use grouped together and area increased.
- New internal extract duct for Jewellery Use incorporated.
- Number of two beds and larger units have been retained.
- Natural daylight is maximised for Residential Use.
- Flat layouts have been developed to meet with relevant policies and standards.

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