

PROPOSED LOWER GROUND FLOOR PLAN

BENEFITS OF PROPOSALS TO LISTED PROPERTY AND CONSERVATION AREA :

Upgrade and refurbishment of Lower Ground Floor interiors which has suffered from very little maintenance since the modern interventions forty years ago, which is to be seen as a benefit to the listed property.

Modern window and opening between Seating Area and side passageway to be removed and reinstated with original opening dimensions, which is to be seen as a benefit to the listed property and conservation area.

Windows along side elevation on Lower Ground Floor all in poor condition and a modern inclusion. New timber frame double glazed window proposed in same sized openings.

Existing side and rear external renderwork repaired and restored with new painted finish, which is to be seen as a benefit to the listed property and conservation area.

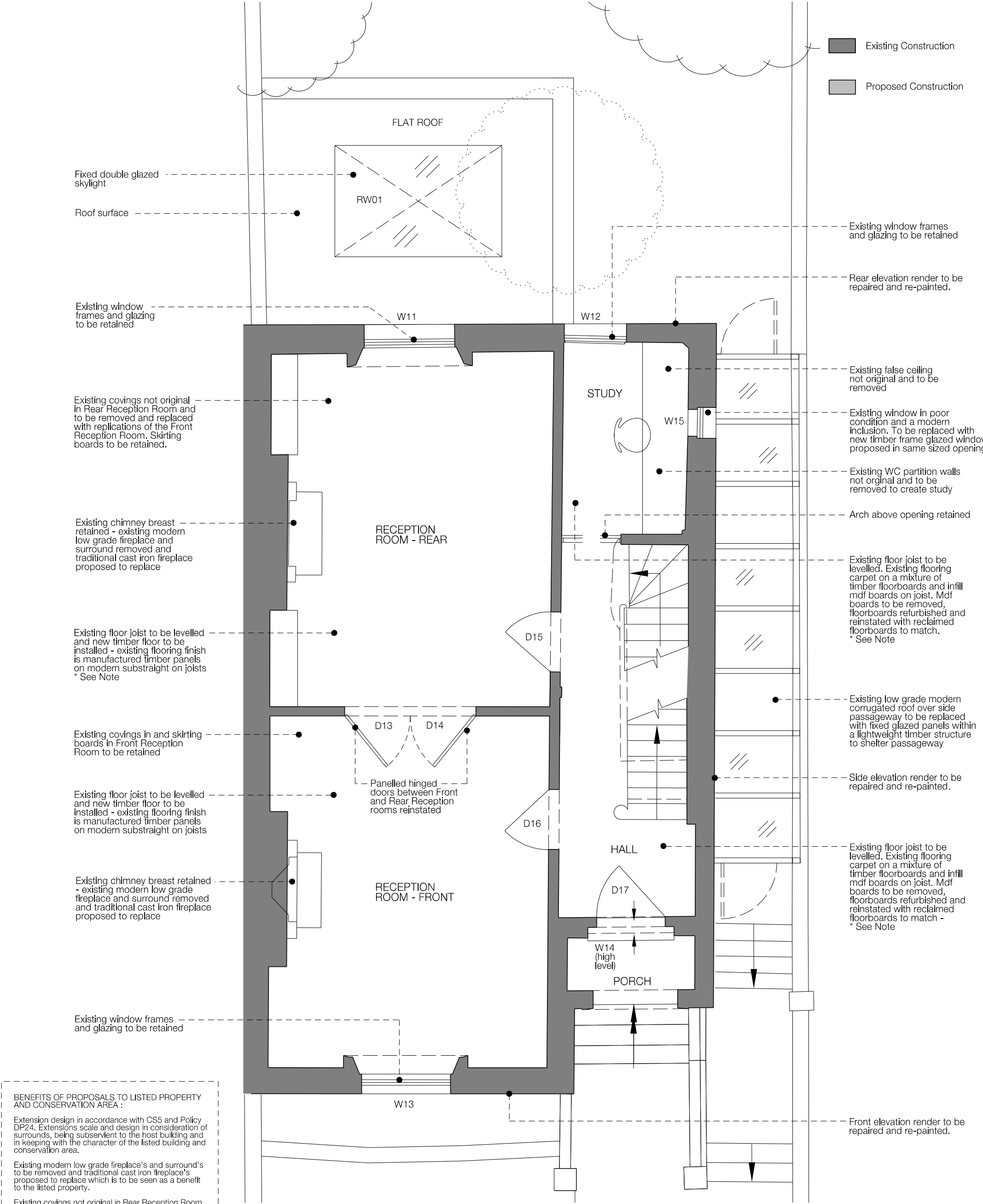
Damp problem in Utility Room to be resolved with proposed cavity drained membrane system lining walls of Utility Room internally which is the affected area.

Extension design in accordance with CS5 and Policy DP24. Extensions scale and design in consideration of surrounds, being subservient to the host building and in keeping with the character of the listed building and conservation area.



SCALE 1:50





BENEFITS OF PROPOSALS TO LISTED PROPERTY AND CONSERVATION AREA :

Extension design in accordance with CS5 and Policy DP24. Extensions scale and design in consideration of surrounds, being subservient to the host building and in keeping with the character of the listed building and conservation area.

Existing modern low grade fireplace's and surround's to be removed and traditional cast iron fireplace's proposed to replace which is to be seen as a benefit to the listed property.

Existing covings not original in Rear Reception Room and to be removed and replaced with replications of the Front Reception Room to unify the rooms. The Front Reception room features are to be retained. To be seen as a benefit to the listed property.

Upgrade and refurbishment of Ground Floor interiors which has suffered from very little maintenance since the modern interventions forty years ago. Some of these former interventions such as exposed pipe runs have damaged the building both physically and visually which will be removed and repaired, which is to be seen as a benefit to the listed property.

Front, rear and side elevation's render to be repaired and re-painted, which is to be seen as a benefit to the conservation area.

PROPOSED GROUND FLOOR PLAN

*Note - Floor Levelling Method Statement:

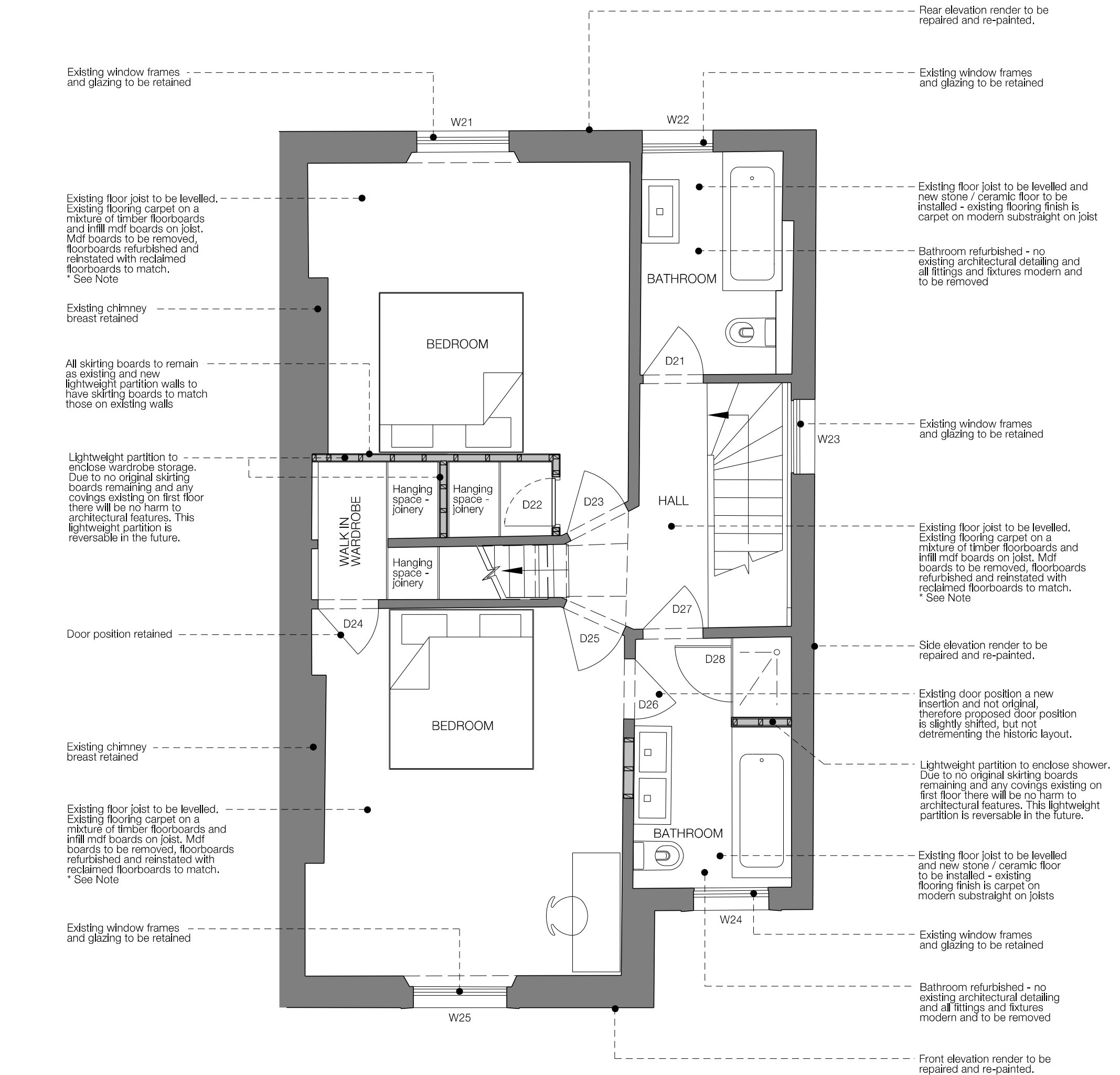
Existing floors to be levelled by carefully removing any existing floor boards which will be retained. The existing timber boards will be de-nailed, sanded and a sealant reapplied. The boards during construction will be carefully stored to avoid damage. The boards will be repositioned in the same order as existing (boarded), attached with nails through existing nail holes.

In the process of floor levelling all the existing floor joists are to remain with the tops of the joists having furring's applied and then the retained floorboards on top. The floor levels as existing vary but not to the extent the surrounding skirting boards will be compromised. All existing skirting boards are to remain in the same position and not removed or replaced. The stairs are to remain without being removed or replaced, with the levelling not interfering with the number of treads and risers nor the riser heights at the top and bottom of the stairs.



Project 10 PROVOST ROAD - NW3 4ST		Job No 74	Drg No 74.302	Rev -
Title PROPOSED GROUND FLOOR PLAN		Scale 1:50 @ A3	Date 07.11.2016	Sheet A1
		Client	Drawn kw	Check gw

- Existing Construction
- Proposed Construction



PROPOSED FIRST FLOOR PLAN

BENEFITS OF PROPOSALS TO LISTED PROPERTY AND CONSERVATION AREA :

Upgrade and refurbishment of First Floor interiors which has suffered from very little maintenance since the modern interventions forty years ago. Some of these interventions such as exposed pipe runs have damaged the building both physically and visually which will be removed and repaired, which is to be seen as a benefit to the listed property.

Front, rear and side elevation's render to be repaired and re-painted, which is to be seen as a benefit to the conservation officer.

*Note - Floor Levelling Method Statement:

Existing floors to be levelled by carefully removing any existing floor boards which will be retained. The existing timber boards will be de-nailed, sanded and a sealant reapplied. The boards during construction will be carefully stored to avoid damage. The boards will be repositioned in the same order as existing (boarded), attached with nails through existing nail holes.

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Project 10 PROVOST ROAD - NW3 4ST		Job No 74	Drg No 74.303	Rev -
Title PROPOSED FIRST FLOOR PLAN		Scale 1:50 @ A3	Date 07.11.2016	Sheet A1
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07.11.16

kw

ISSUED FOR PLANNING APPLICATION

kw

Rev

Date

Dwn

Description

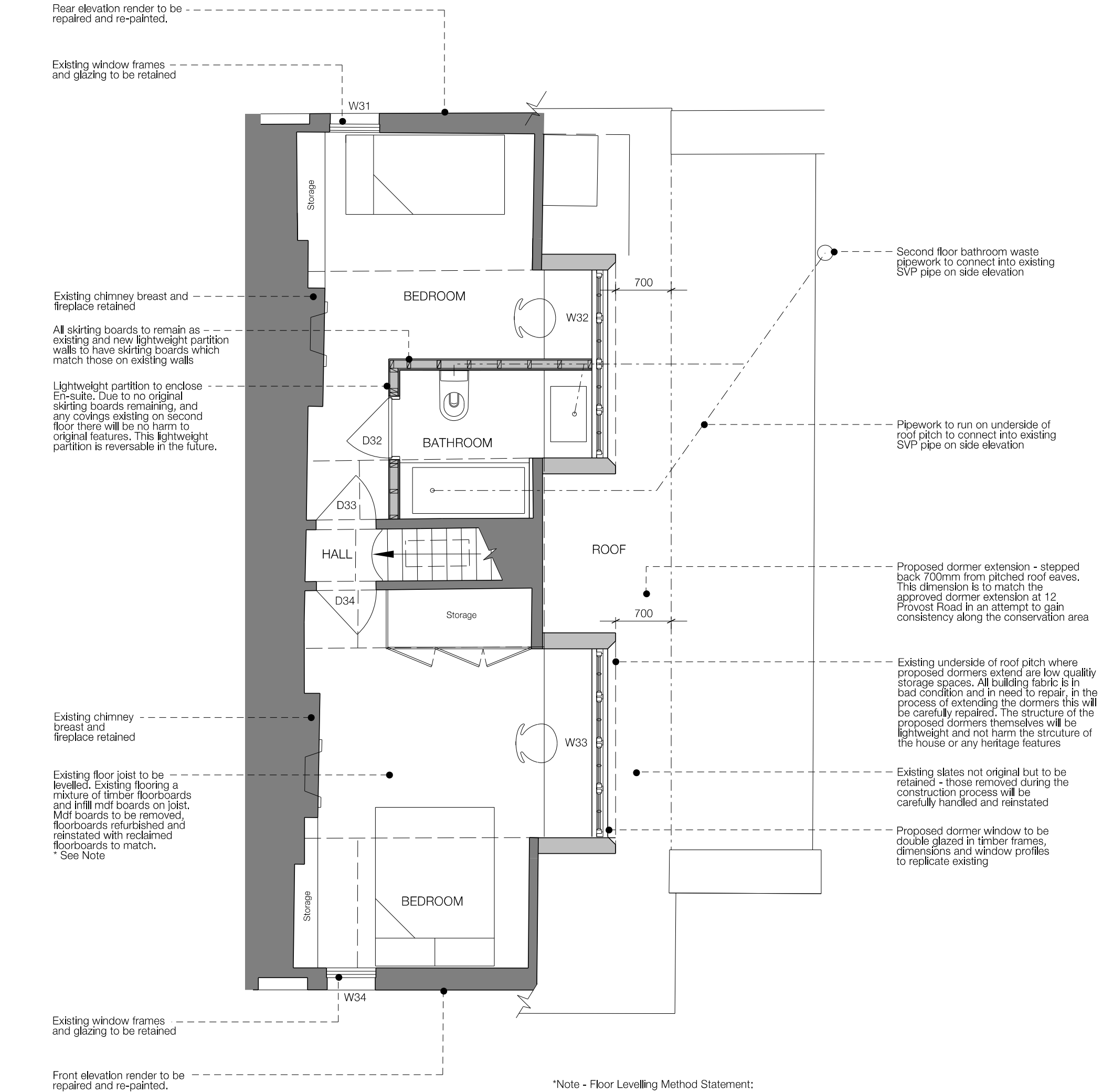
GRK

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All dimensions to be checked on site and errors to be reported to architect.

Existing Construction

Proposed Construction



PROPOSED SECOND FLOOR PLAN

BENEFITS OF PROPOSALS TO LISTED PROPERTY AND CONSERVATION AREA :

Upgrade and refurbishment of Second Floor interiors which has suffered from very little maintenance since the modern interventions forty years ago, which is to be seen as a benefit to the listed property.

Front, rear and side elevation's render to be repaired and re-painted, which is to be seen as a benefit to the conservation officer.

*Note - Floor Levelling Method Statement:

Existing floors to be levelled by carefully removing any existing floor boards which will be retained. The existing timber boards will be de-nailed, sanded and a sealant reapplied. The boards during construction will be carefully stored to avoid damage. The boards will be repositioned in the same order as existing (boarded), attached with nails through existing nail holes.

In the process of floor levelling all the existing floor joists are to remain with the tops of the joists having furring's applied and then the retained floorboards on top. The floor levels as existing vary but not to the extent the surrounding skirting boards will be compromised. All existing skirting boards are to remain in the same position and not removed or replaced. The stairs are to remain without being removed or replaced, with the levelling not interfering with the number of treads and risers nor the riser heights at the top and bottom of the stairs.



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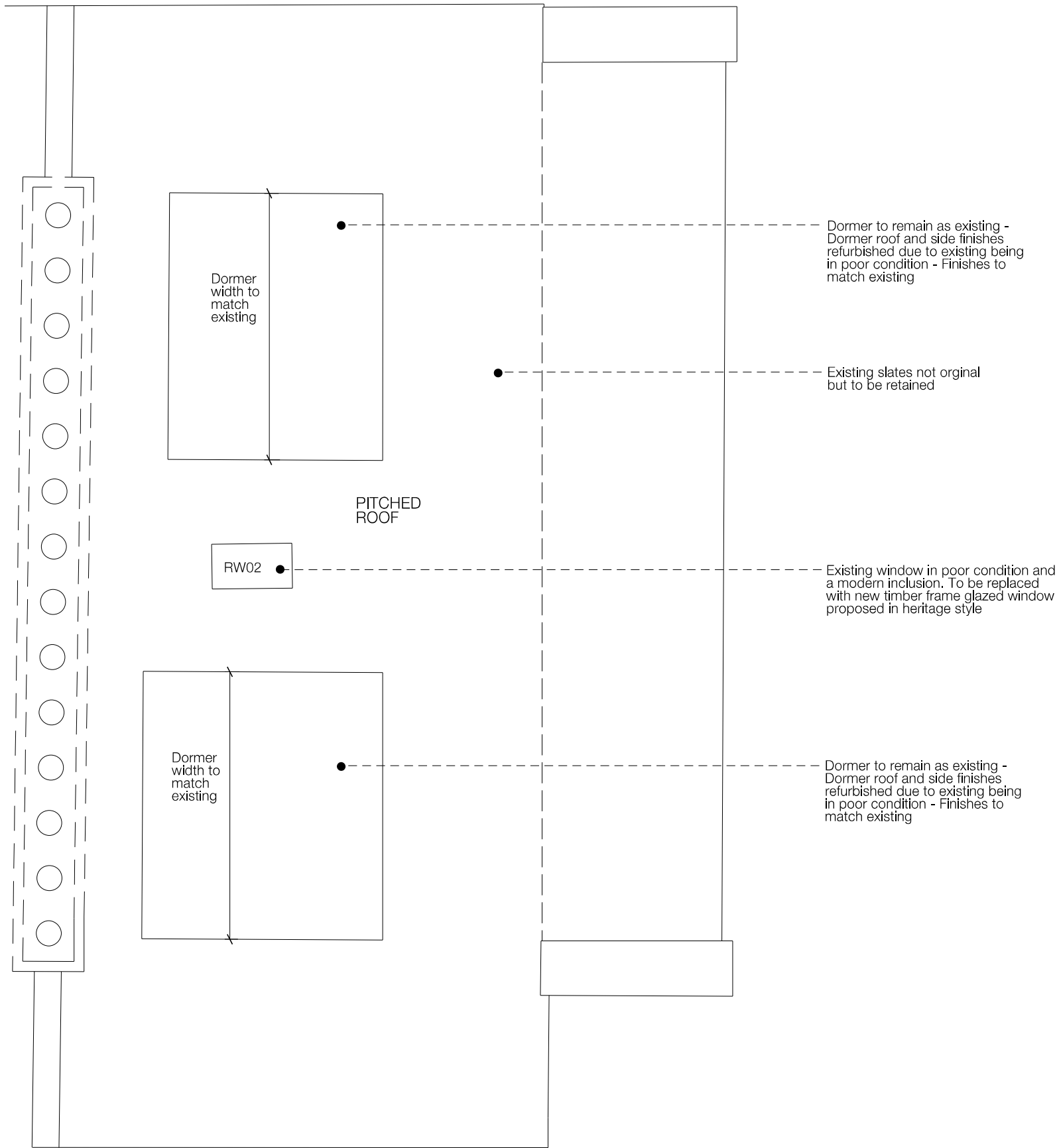
Rev	Date	Dwn	Description	CHK
-	07.11.16	KW	ISSUED FOR PLANNING APPLICATION	KW

Project	10 PROVOST ROAD - NW3 4ST
Title	PROPOSED SECOND FLOOR PLAN

Job No	74	Drg No	72.304	Rev	-
Scale	1:50 @ A3	Date	07.11.2016	Sheet	A1
Client		Drawn	kw	Check	gw

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All dimensions to be checked on site and errors to be reported to architect.

- Existing Construction
- Proposed Construction



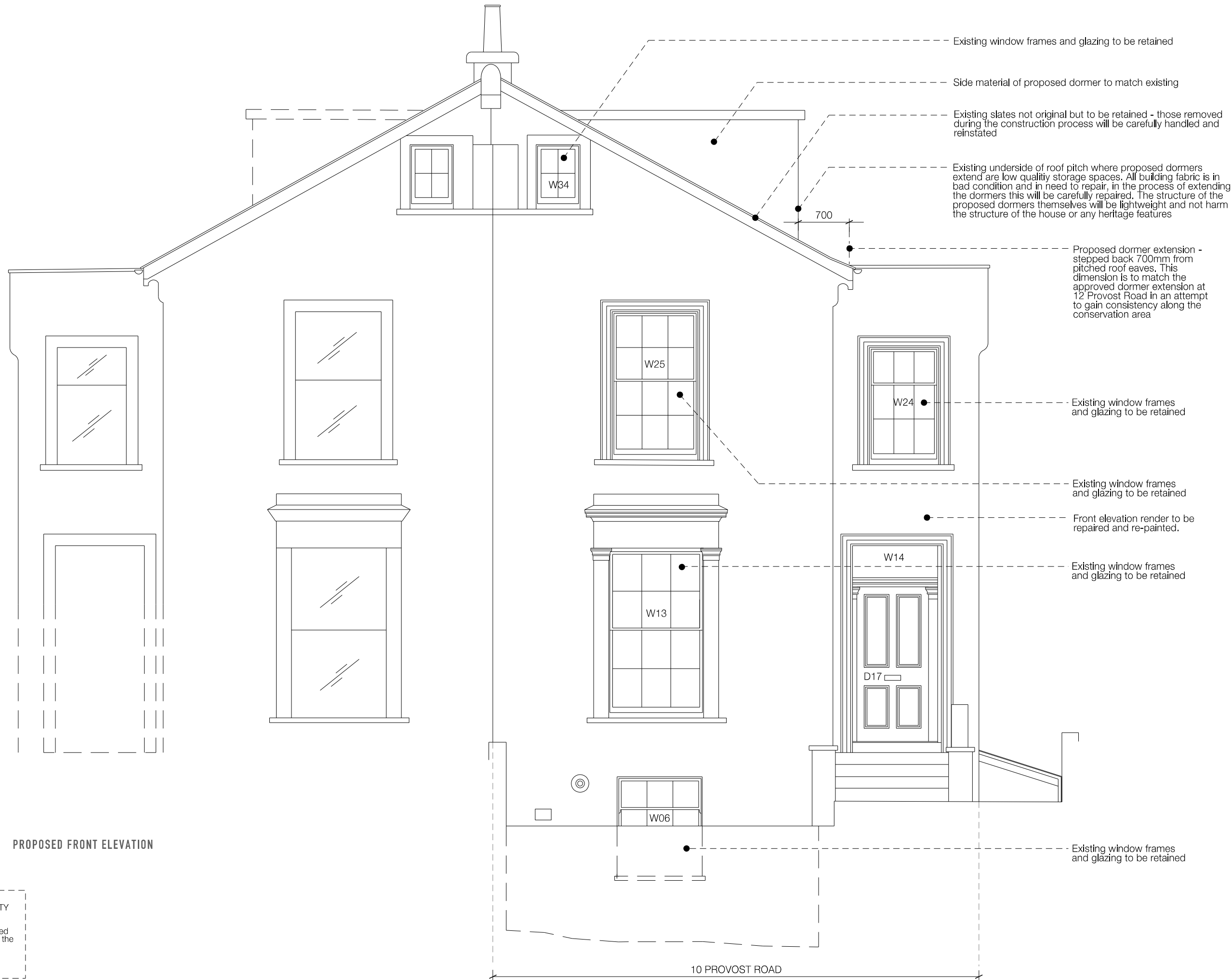
PROPOSED ROOF PLAN



A	07.12.16	KW	ISSUED FOR PLANNING APPLICATION	KW
-	07.11.16	KW	ISSUED FOR PLANNING APPLICATION	KW
Rev	Date	Dwn	Description	CHK

Project	10 PROVOST ROAD - NW3 4ST
Title	PROPOSED ROOF PLAN

Job No	74	Drg No	74.305	Rev	A
Scale	1:50 @ A3	Date	07.12.2016	Sheet	A1
Client		Drawn	KW	Check	KW



PROPOSED FRONT ELEVATION

BENEFITS OF PROPOSALS TO LISTED PROPERTY AND CONSERVATION AREA :

Front, rear and side elevation's render to be repaired and re-painted, which is to be seen as a benefit to the conservation area.

Side material of proposed dormer to match existing

Existing slates not original but to be retained - those removed during the construction process will be carefully handled and reinstated

Existing underside of roof pitch where proposed dormers extend are low quality storage spaces. All building fabric is in bad condition and in need to repair, in the process of extending the dormers this will be carefully repaired. The structure of the proposed dormers themselves will be lightweight and not harm the structure of the house or any heritage features

Proposed dormer extension - stepped back 700mm from pitched roof eaves. This dimension is to match the approved dormer extension at 12 Provost Road in an attempt to gain consistency along the conservation area

Existing window frames and glazing to be retained

Existing window frames and glazing to be retained

Rear elevation render to be repaired and re-painted.

Existing window frames and glazing to be retained

Existing corrugated-roof over side passage way to be replaced with fixed glazed panels within a lightweight timber structure to shelter passageway

Existing window in poor condition and a modern inclusion. New timber frame double glazed window proposed in same sized opening

Proposed external door to replace existing

Existing window frames and glazing to be retained

Existing window frames and glazing to be retained

Kitchen extract through wall, above extension roof but hidden behind parapet

Proposed metal clad extension

Proposed bi fold glazed doors with metal frames

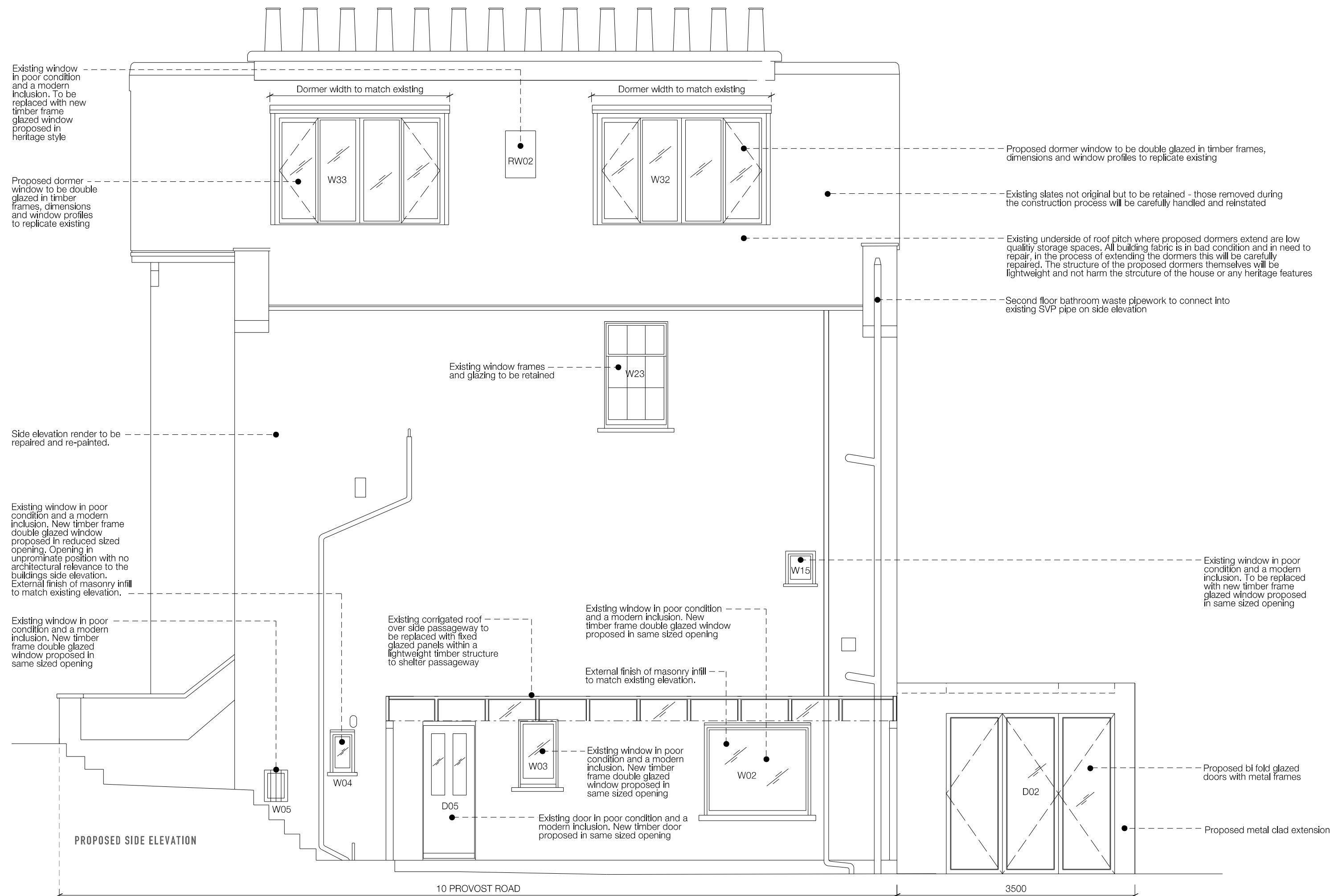
New extension size considers neighbouring extensions and does not project further than any other rear extensions along Provost Road. The proposed is in accordance with CS5 and Policy DP24.

PROPOSED REAR ELEVATION

BENEFITS OF PROPOSALS TO LISTED PROPERTY AND CONSERVATION AREA :

Existing side and rear external renderwork repaired and restored with new painted finish, which is to be seen as a benefit to the listed property and conservation area.

Extension design in accordance with CS5 and Policy DP24. Extensions scale and design in consideration of surrounds, being subservient to the host building and in keeping with the character of the listed building and conservation area.



- Existing Construction
- Proposed Construction
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Floor to Ceiling height



PROPOSED REAR ELEVATION

*Note - Floor Levelling Method Statement:

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Proposed dormer window to be double glazed in timber frames, dimensions and window profiles to replicate existing

Existing underside of roof pitch where proposed dormers extend are low quality storage spaces. All building fabric is in bad condition and in need to repair, in the process of extending the dormers this will be carefully repaired. The structure of the proposed dormers themselves will be lightweight and not harm the strcuture of the house or any heritage features

Existing window frames and glazing to be retained

Existing floor joist to be levelled, Existing flooring carpert on a mixture of timber floorboards and infill mdf boards on joist. Mdf boards to be removed, floorboards refurbished and reinstated with reclaimed floorboards to match.
* See Note

Front elevation render to be repaired and re-painted.

Existing window frames and glazing to be retained and refurbished

Existing floor joist to be levelled and new timber floor to be installed - existing flooring finish is manufactured timber panels on modern substraight on joists.
* See Note

High level downstand depth to match the underside of the rear opening to unify the two heights. The downstand along former internal wall line is to reference previous room layout and function.

Fixed glazed skylights

Proposed metal clad extension

Proposed bi fold glazed doors with metal frames

REAR GARDEN

PROPOSED SECTION AA

Existing Construction

Proposed Construction

Proposed dormer window to be double glazed in timber frames, dimensions and window profiles to replicate existing

Existing floor joist to be levelled. Existing flooring a mixture of timber floorboards and infill mdf boards on joist. Mdf boards to be removed, floorboards refurbished and reinstated with reclaimed floorboards to match.
* See Note

Existing window frames and glazing to be retained

Front elevation render to be repaired and re-painted.

Existing floor joist to be levelled and new timber floor to be installed - existing flooring finish is manufactured timber panels on modern substraight on joists.
* See Note

Existing window frames and glazing to be retained

PROVOST ROAD

