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## **10 PROVOST ROAD**

—  
November 2016  
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Design and Access Statement  
—  
Application

**WEST  
ARCHITECTURE**

## Introduction

The development proposed by this application relates to a single dwelling house N0.10 Provost Road, Camden. It involves the complete refurbishment and extension of an early Victorian house in the Eton Conservation Area.

The house was built circa 1844 and is Grade II listed.

This statement is to be read in conjunction with Donald Insall Associates' Heritage Statement dated November 2016.

## Summary of Proposals

In order to make the house a viable proposition as a 21st Century family home we intend to extend the second floor and lower ground floors. These floors have no period features and do little to contribute towards the heritage of the house.

The existing house has been re-ordered, neglected, extended and repaired over a number of generations. The current house reflects a pattern of living that was far more relevant a century ago.

Our proposed interventions would be in high quality, sympathetic materials chosen to patinate and age over time alongside the best of the remaining original features. We see all elements of this scheme as robust solutions designed to last the test of time physically, functionally and socially.

The proposals take into account pre-application advice received from Camden Council in September 2016 (Ref: 2016/4287/PRE), and have been developed in accordance with this advice.



Existing Condition

Existing house viewed from Provost Road

**Historic Context**

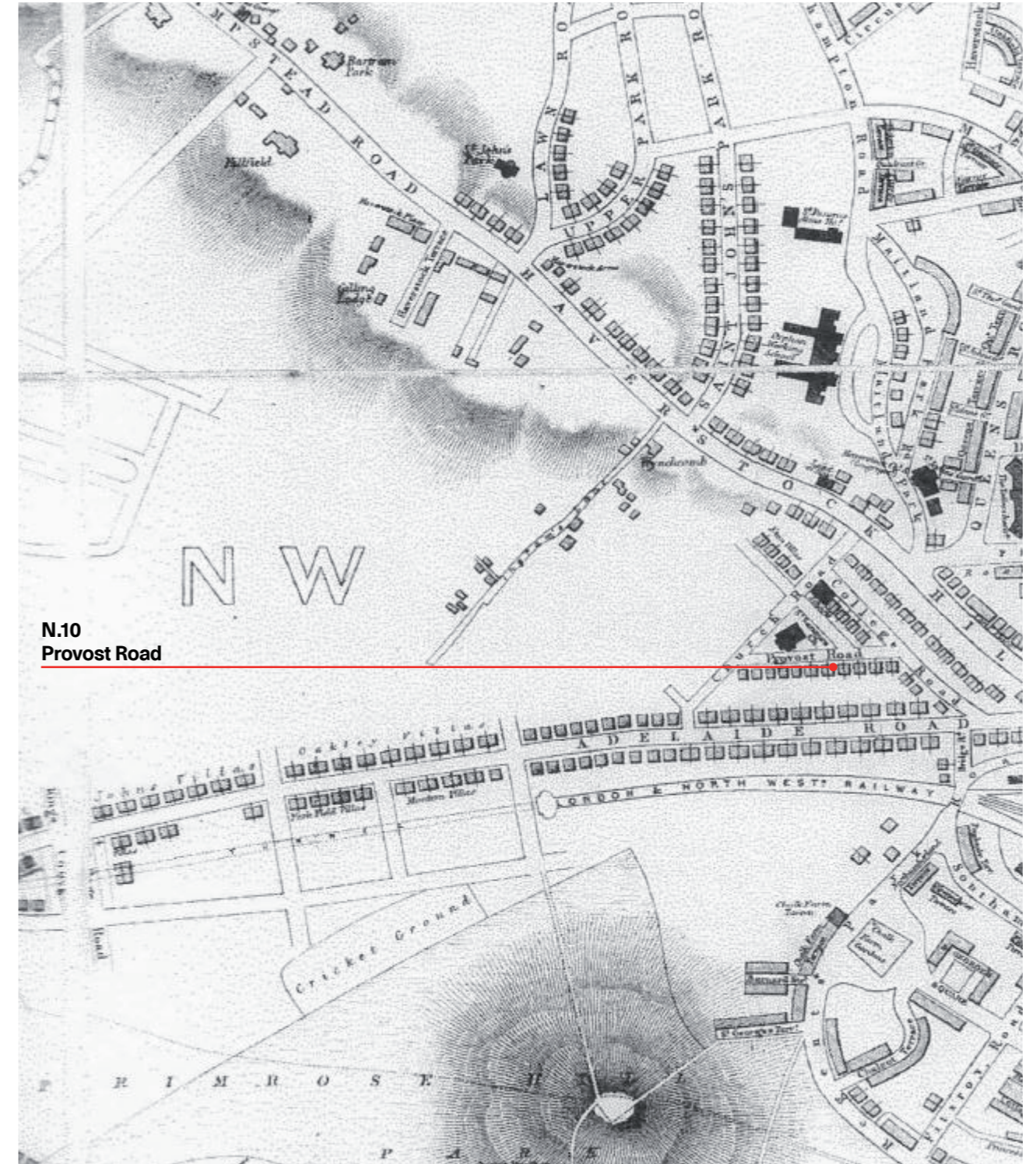
The land within the Eton Conservation Area was entirely within the ownership of Eton College from 1449 being an area of farmland associated with Chalcot Farm. The potential to build in the area was recognised at the turn of the 19th Century yet not acted upon for a number of years, primarily prompted by the completion of Nash's Regents' Park and the subsequent investigation of surrounding lands potential. Following a survey, undertaken in 1824, the area was found to be suitable for villa development. An Act of Parliament was subsequently passed in 1826 authorising the college to grant building leases. It was not until though the 1840s, that the Provost and fellows of Eton College began to realise more fully the development potential of their land holding at Chalcot. The 'Provost' is the head of Eton College's governing body, which is where the street names of the Eton Conservation Area have derived.

Development of the area around Provost Road and Eton Road by carpenter Samuel Cuming followed after 1844 as well as his development of Adelaide Road to the south of the Conservation Area. St Saviour's Church, the centrepiece of the development, was built in 1850. This was promoted by the Eton College surveyor as being necessary to give the new development the respectability to attract the upper middle classes. The completed development appears first in street plans dating back to 1862.



John Constable - Sir Richard Steele's Cottage, Hampstead. 1832

Looking down from Haverstock Hill immediately adjacent to the Eton development at Chalcot's Farm (Chalk Farm).



Map 1862

Map indicating the progression of the Eaton Estate towards Steele's Road.

**Present Context**

**Eton Conservation Area**

The Eton Conservation Area is accompanied by a detailed appraisal which provides an inventory and assessment of the characteristics which constitute the Area's special character. The Audit document responds to guidance from English Heritage which recommends this approach as providing a 'baseline' assessment of the Area's character which can be used to assist with decision-making.

The appraisal provides a summary of the historical development and character of the Eton Conservation Area. The following extract discusses the character of Provost Road:

"The east side of Eton Villas (south) and part of Provost Road are developed with semi-detached villas but of a different style to Eton Villas (north).

The properties are typical early to mid Victorian gable fronted stucco villas designed to be read as a single architectural unit and in common with all the surviving villas on these two roads are listed grade II. The central section of each property comprises a lower ground and two main levels of accommodation. The proportion of window to wall space (solid/void ratio) is fairly high. Windows are surrounded by a raised stucco architrave, cill and cornice. The third level of accommodation is contained within the shallow pitched slated roof, with dormers on the flank elevations. A central chimney stack protrudes from the main roof ridge.

Most of the villas in Eton Villas and Provost Road have been painted but originally the intention was to use stucco as a stone substitute and coursing lines are set into the render. However, the current mixture of paint colours and unpainted properties does not significantly detract from the group value"

**Historic England Description:**

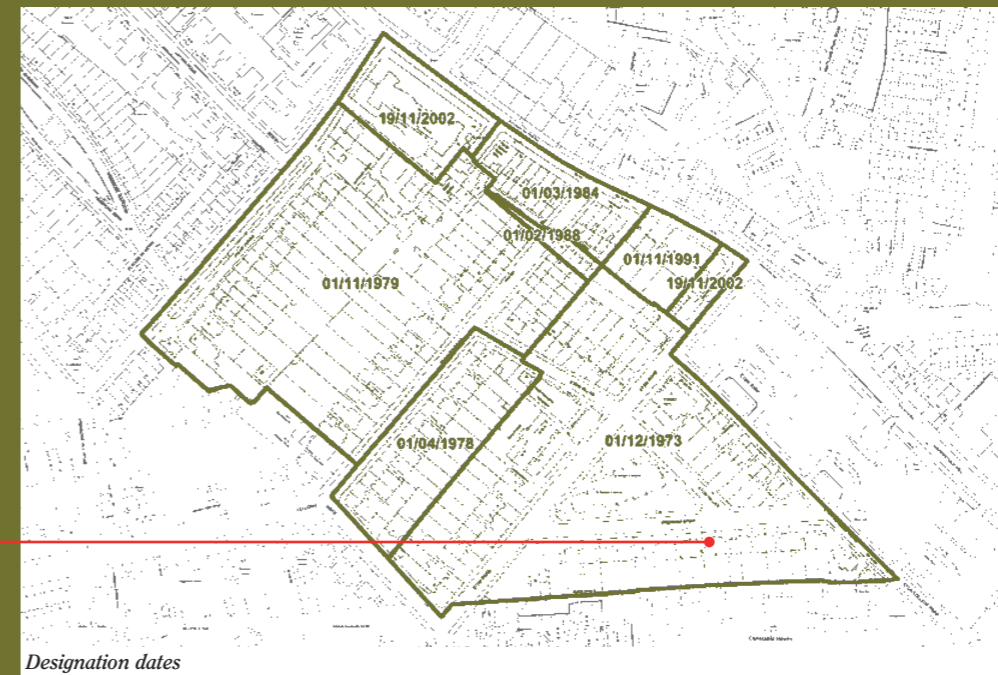
TQ2784SE PROVOST ROAD 798-1/63/1355 (South side) 14/05/74 Nos.1-14 (Consecutive) GV II

7 pairs of semi-detached villas. c1844. By John Shaw. Painted stucco. Slated gabled roofs with dormers, central long slab chimney-stacks and overhanging eaves, bracketed on angle return and having plain bargeboards to gables. 2 storeys, attics and semi-basements. 1 window each plus 1 window recessed entrance bays. Architraved entrances to recessed doorways with pilaster jambs and part-glazed doors approached by steps. Architraved sashes, ground floor windows with pilasters and cornice. Nos 3 & 4 have 3-light canted bays rising from semi-basement through 2nd floor with pilasters. All have architraved 3-light attic windows, central window blind, in apex of gable. INTERIORS: not inspected.

**Location**



Camden and location of Conservation Area



Designation dates

**N.10  
Provost Road**

**The Building**

Drainage plans for No.10 Provost Road do not exist in the local archives. Drainage plans for Number 11 & 12 show basic outlines of the building at Upper Ground Floor level with the drainage runs along the side passageway, no internal layouts are shown. No original layout plans of development as a whole, nor original building layouts exist along Provost Road in the local archives making it difficult to fully determine the original building's intent.

**1973 Plans**

Plans from 1973 show alterations and therefore to some extent the original arrangement.

**Lower Ground Floor**

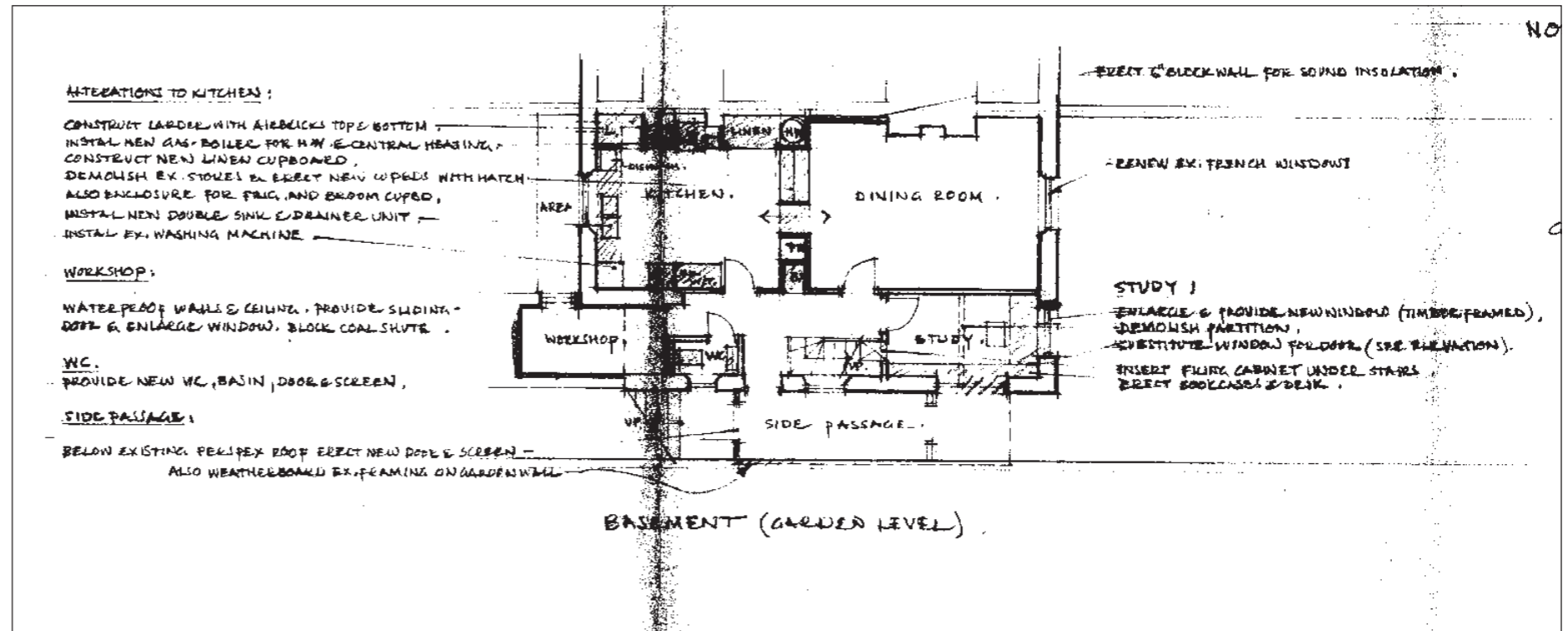
The central spine wall has been removed and replaced by fixed cupboards with a service hatch from the kitchen. The walls above are supported on a steel down-stand beam, the form of which can be seen at high level in the cupboards.

A study has been formed by removing a small internal partition to create one space. The window to the side passage is modern and replaces an existing door whilst enlarging the opening.

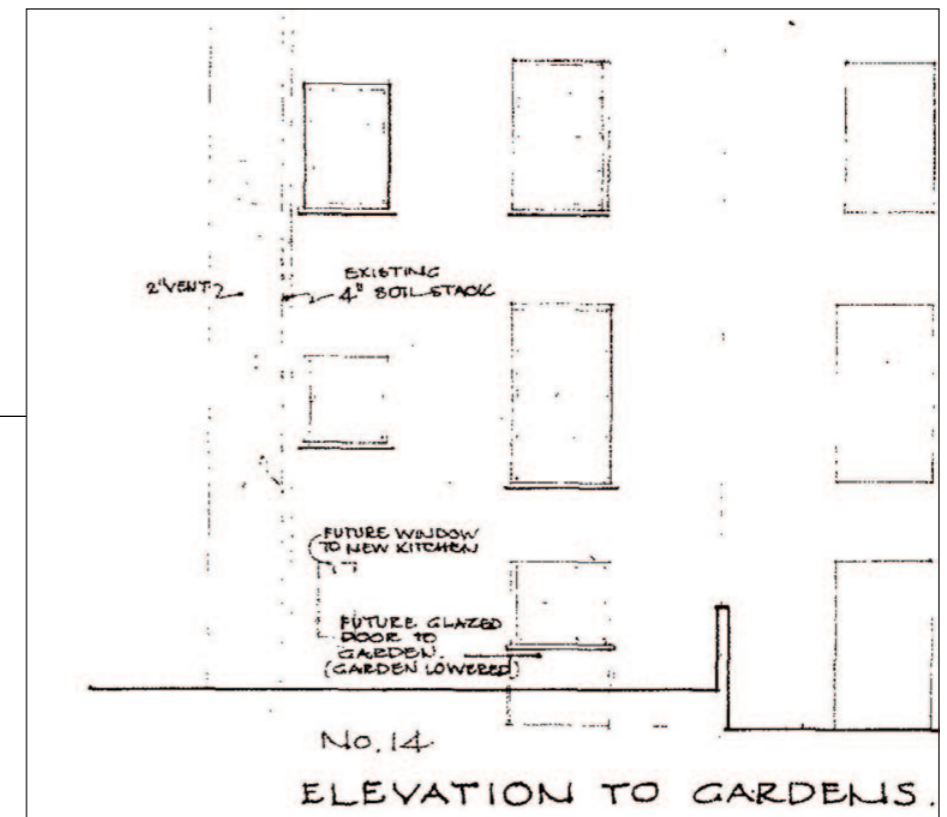
The small window to the rear of the study is also a modern enlargement of an existing window in the same location.

The poly carbonate enclosure to the side passage was already in place by 1973 and the 1973 application supplements it with new vertical screening to the perimeter.

The french windows to the main rear room were originally a window with cill and have been formed at an earlier date as established on the drawing to the right which formed part of an application in 1965 for No.14 Provost Road.



No.10 Provost Road, application drawings 1973



No.14 Provost Road, application drawings 1965

**1973 Plans**

**Ground Floor**

The plan remains unchanged. The layout of the cloakroom at the rear is unclear. Please refer to plans for No.8 Provost Road later in this section.

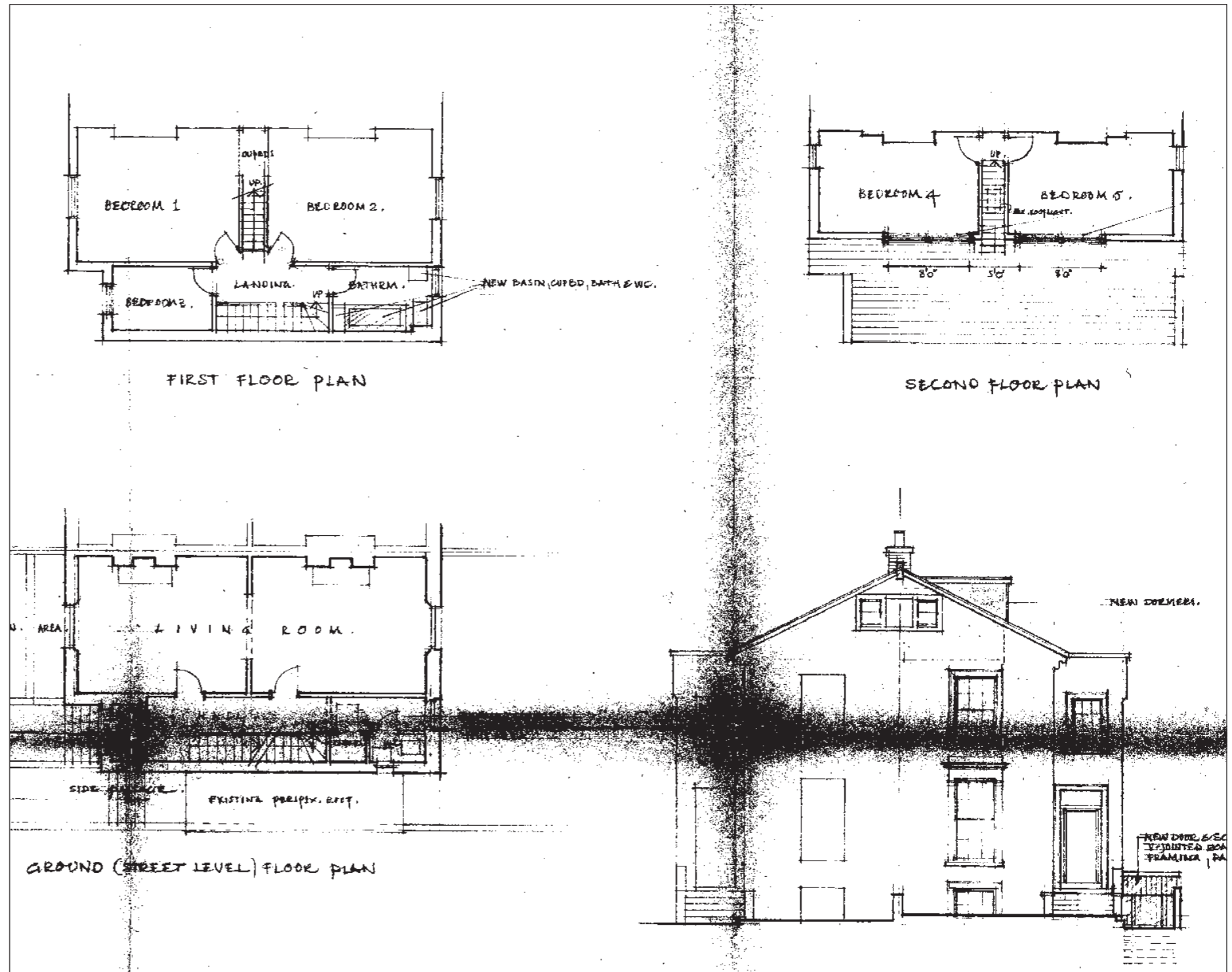
**First Floor**

Three bedrooms are shown with the smallest bedroom later being converted to an ensuite serving Bedroom 1. There is also no connecting door shown so these changes must have been made after 1973 and without formal permission.

The bathroom to the rear is the same layout as currently existing with what looks to be the same bathroom suite.

**Second Floor**

This plans shows the arrangement of the new dormers to both bedrooms and the insertion of a new roof light between them over the stair.



No.10 Provost Road, application drawings 1973

**1973 Plans**

**North Elevation**

Vertical screening to the side enclosure added.

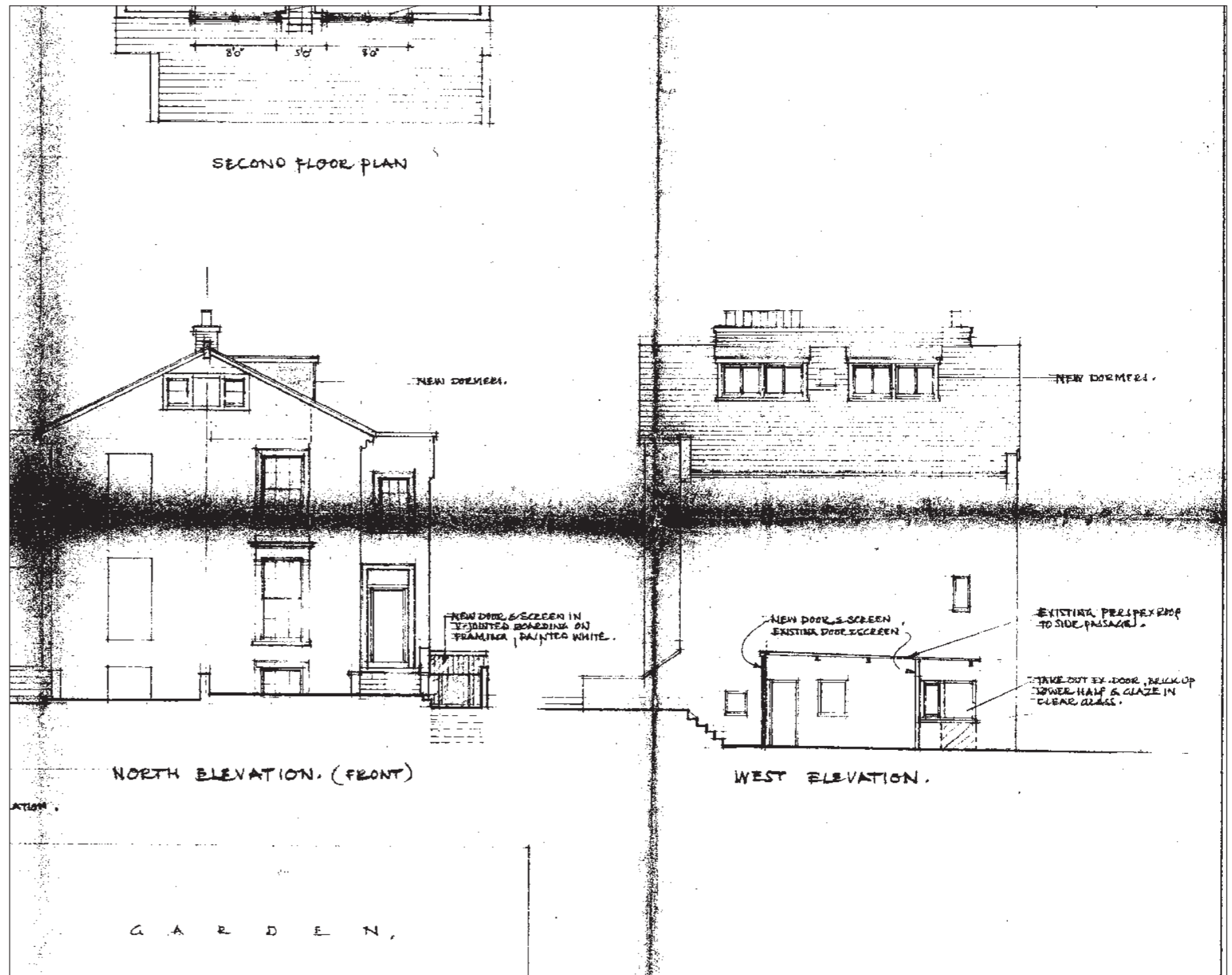
Dormers added.

**West Elevation**

Dormers are added to the main roof pitch with a new roof-light positioned between them.

New doors and vertical screens are added to the side enclosure.

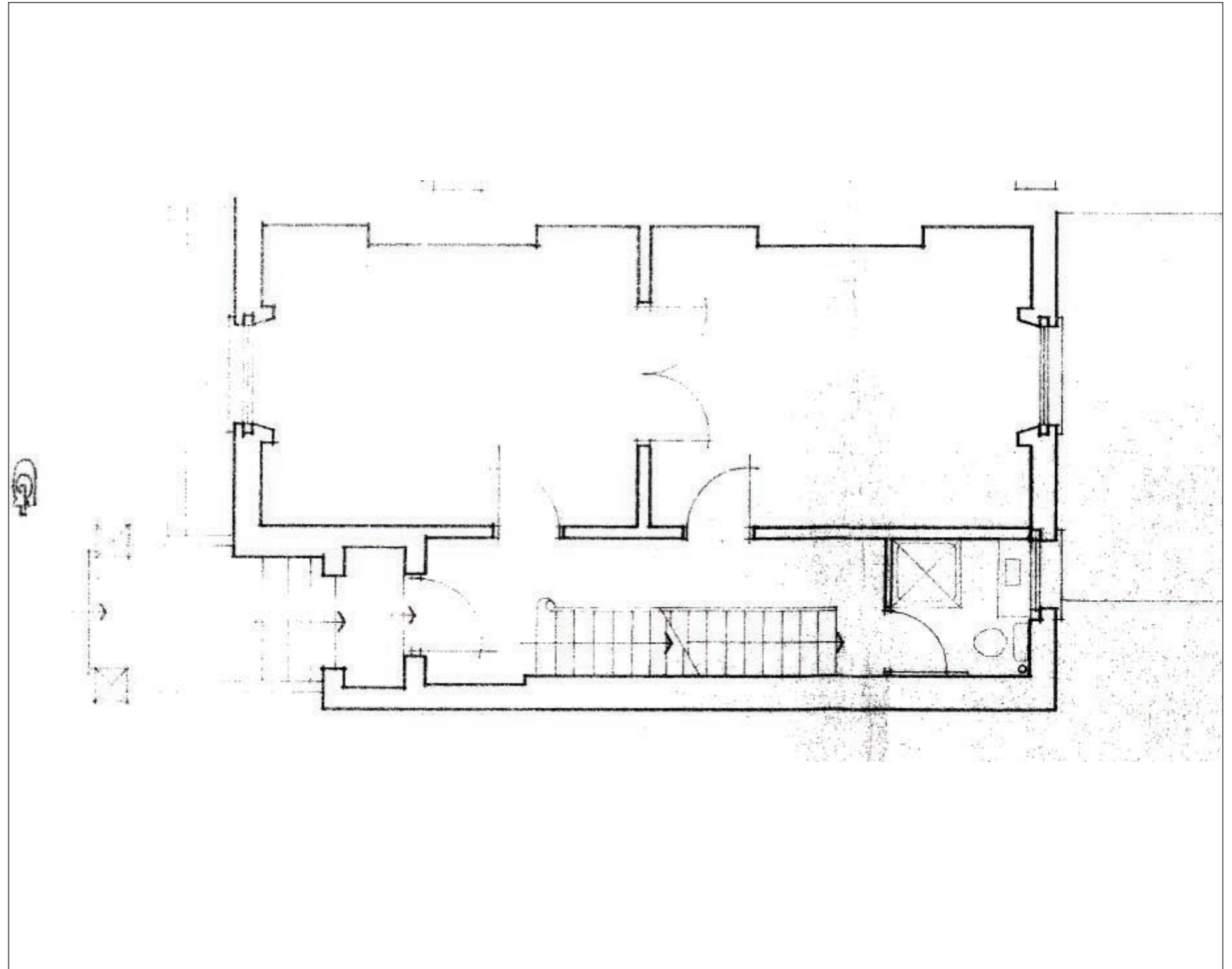
The original side doorway arrangement can be seen showing the lower half blocked up and a new casement window with modern proportions and arrangement added.



No.10 Provost Road, application drawings 1973

**1979 Plan - No.8 Provost Road**

In lieu of no historic layout for the Ground floor of No.10, this plan shows the existing layout of the WC and cloak room in 1979 for No.8 Provost Road.



No. 8 Provost Road, application drawing  
1979.



**Existing Condition**

The house has undergone a number of add-hoc changes to the fabric over time. These changes appear to have ceased approximately 30 years ago at which point all that remained has effectively been preserved. It is fair to say the house been maintained to the barest minimum without actually neglecting it.

The fabric of the house suffers from insensitive integration of services and repetitive poor quality decorating. Significant changes include the removal of the load-bearing spine wall at lower ground level.

The house suffers from damp, particularly to the rear of the lower ground floor and in the vault to the underside of the front steps.



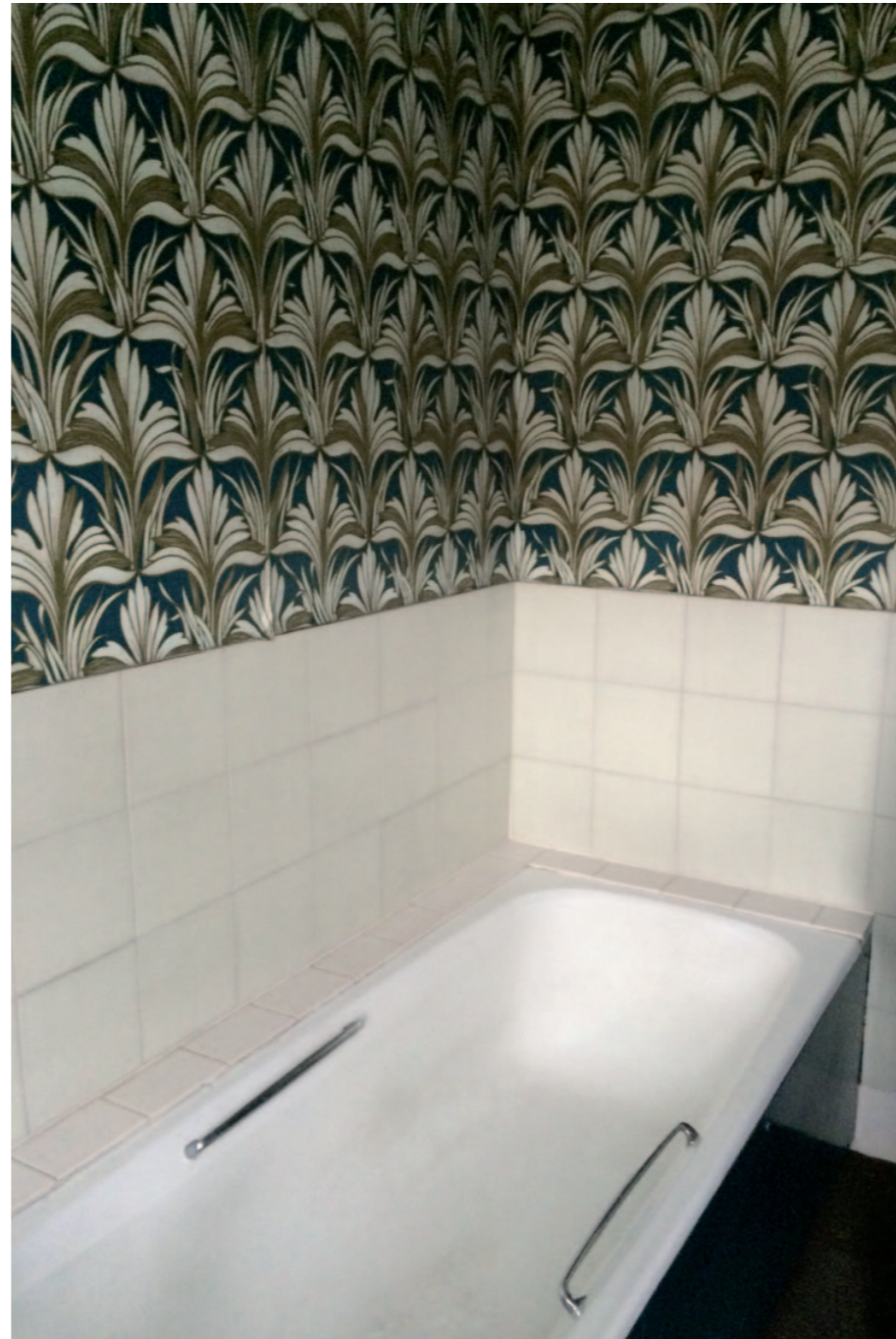
Existing enclosure to the side of the house at lower-ground floor



Services penetrating existing features and over painted cornices.



Some original features remain however items such as picture rails vary in period from room to room.



First floor bathroom with fittings from 1973 alterations



First floor fireplaces boarded over non-original skirtings and out of date services

## Design Rationale

The application aims to achieve the following:

- **Preserve and restore the best of the existing original features internally and externally**
- 
- **Reverse insensitive modern finishes internally and externally.**
- 
- **Improve the visual presence of the house as a heritage asset in the street and within the wider conservation area.**
- 
- **Refurbish and plant the front and back gardens to the house.**
- 
- **Extend the house to the rear to make it more viable and suitable for modern living.**

## Design Approach

### Lower Ground

The lower ground floor is enlarged through the addition of a metal clad rear extension, enabling a robust, family oriented space with direct access to the garden whilst taking pressure off the more formal entertaining rooms above. The rear extension stops short of the neighboring property on the detached side of the house. It is the same depth as the existing extension to number 9.

The existing enclosure to the side of the house is upgraded to provide a water-tight fully enclosed usable space and day to day entrance area serving the lower ground floor. The intention is that the structure for this element is a lightweight timber and glass structure, taking support from the party garden wall.

Since the existing spine wall has already been removed on the between the front and rear rooms we are taking the opportunity to relocate this wall further to the front of the house. This permits a more generous family kitchen in proportion with the scale of the adjacent rooms at this level and the floor above.

### Upper Ground

The best preserved floors in the house are the upper ground and first floors. Our intention here is to restore and refurbish original elements that have become worn or damaged and to work with the existing plan. Windows and shutters will be refurbished and repaired.

The existing WC to the rear of the ground floor is replaced by a small study and an existing modern ceiling void in this area is opened up.

### First Floor

Bathrooms are upgraded in line with modern standards and of a quality befitting this location and house.

Existing under-stair storage is added, accessed via an existing opening in the separating wall. This wall will be treated as a separate element and will read as a new joinery element inserted into the established rooms.

**Design Approach**



The metal clad extension viewed from the back garden.

**Design Approach**



Comparative drawing showing the proposals for No.10 Provost Road at the same scale as existing adjacent extensions the consented scheme to extend the roof dormers at No.12

**Design Approach**

Second Floor

Planning

The attic will be enlarged to provide usable bedrooms sharing a new shower room. Whilst we are aware of recent dialogue along the street regarding dormers sizes we have aimed to keep ours within acceptable proportions for the host building and the terrace in general. The dormers will sit 700mm back from the eaves of the roof.

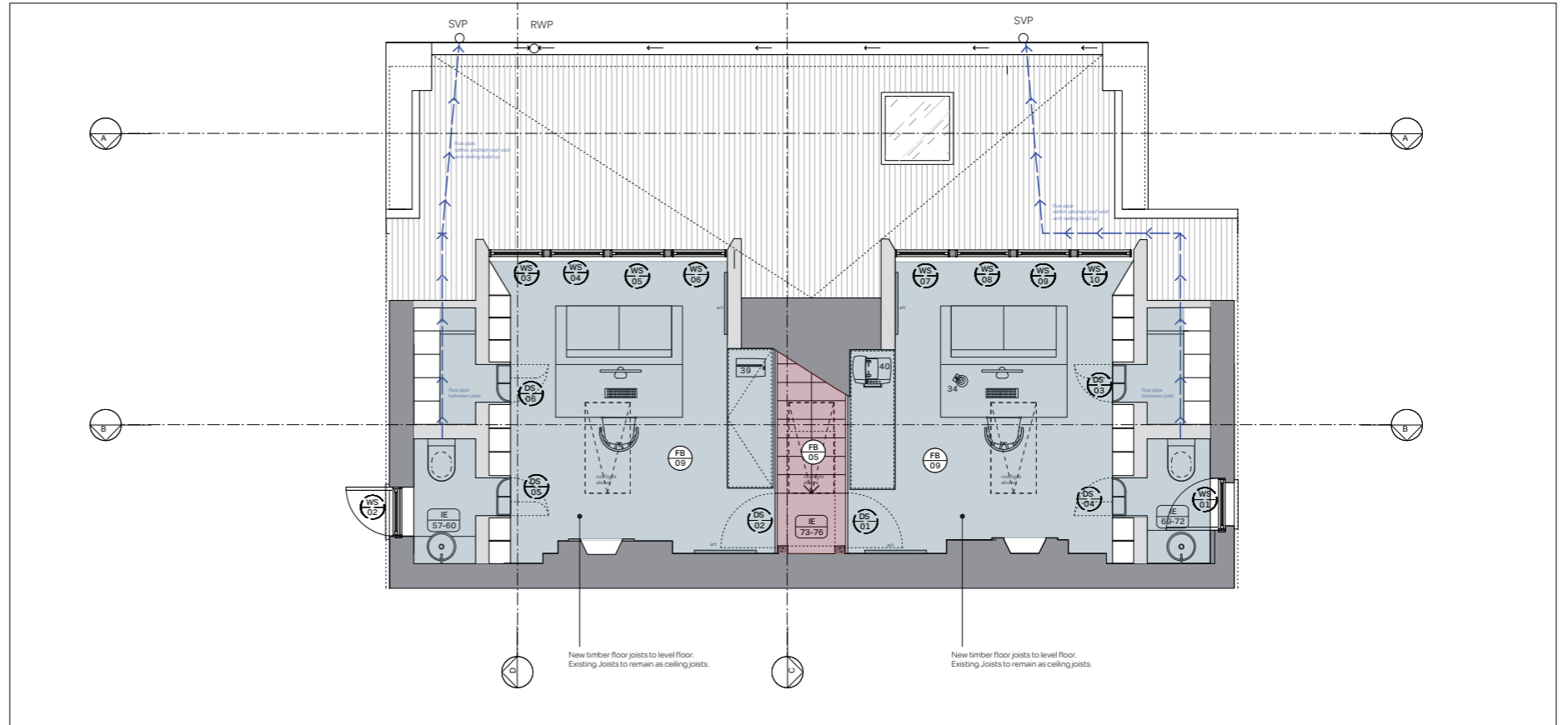
The proposed dormers are to the same depth as the consented scheme for No.12 Provost Road which was granted permission in 2013: 2012/3933/P

The proposed dormer width is unchanged from the current dimensions meaning the dormers will remain visually subservient to the main roof.

Heritage

Since we are not proposing to widen the dormers, we are not altering or removing any existing roof rafters which were not already altered as part of the 1973 works, when the dormers were originally added. The historic lathe and plaster linings to the roof space in these areas have degraded beyond repair and as such could not be retained, regardless of the proposed extension works.

Please refer to proposed and existing drawings for more information.



No. 12 Provost Road  
Consented scheme for No.12 Provost  
Road: 2012/3933/P



Existing condition of roof structure and fabric viewed inside the eaves storage showing degraded lathe and plaster linings..