

Mr Thaddaeus Jackson-Browne
Lambert Smith Hampton
United Kingdom House
180 Oxford Street
W1D 1NN

Application Ref: **2016/3936/A**
Please ask for: **Samir Benmbarek**
Telephone: 020 7974 **2534**

18 August 2016

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990

Advertisement Consent Granted

Address:
225-226 Tottenham Court Road
London
W1T 7QF

Proposal:
Installation of 2x internally illuminated fascia signs and 2x internally illuminated hanging signs to ground floor A2 unit
Drawing Nos: NGL892742 (OS Extract); TO46-802.2; PA_11_RevB; PA_12_RevA; PA_13_RevA; Proposed Branch Illustration (Unnumbered)

The Council has considered your application and decided to grant consent subject to the following condition(s):

Conditions and Reasons:

- 1 No advertisement is to be displayed without the permission of the owner of the site or any other person with an interest in the site entitled to grant permission.

Reason: - As required by regulation 2(1) and Schedule 2 of the Town & Country Planning (Control of Advertisements) (England) Regulations 2007.

- 2 No advertisement shall be sited or displayed so as to



- (a) endanger persons using any highway, railway, waterway, dock, harbour or aerodrome (civil or military);
- (b) obscure, or hinder the ready interpretation of any traffic sign, railway signal or aid to navigation by water or air; or
- (c) hinder the operation of any device used for the purpose of security or surveillance or for measuring the speed of any vehicle

Reason: - As required by regulation 2(1) and Schedule 2 of the Town & Country Planning (Control of Advertisements) (England) Regulations 2007.

- 3 Any advertisement displayed and any site used for the display of advertisements, shall be maintained in a condition that does not impair the visual amenity of the site.

Reason: - As required by regulation 2(1) and Schedule 2 of the Town & Country Planning (Control of Advertisements) (England) Regulations 2007.

- 4 Any structure or hoarding erected or used principally for the purpose of displaying advertisements shall be maintained in a safe condition.

Reason: - As required by regulation 2(1) and Schedule 2 of the Town & Country Planning (Control of Advertisements) (England) Regulations 2007.

- 5 Where an advertisement is required under these Regulations to be removed, the site shall be left in a condition that does not endanger the public or impair visual amenity.

Reason: - As required by regulation 2(1) and Schedule 2 of the Town & Country Planning (Control of Advertisements) (England) Regulations 2007.

Informative(s):

- 1 Reasons for granting permission:

The 4x proposed internally illuminated fascia signs would measure 0.23m in height and will have a width of 1.8m and will project from the façade by 0.02m. The lettering will be constructed of acrylic and will be placed upon a stone fascia board (approved in application 2016/3712/P). 2x of the fascia signs will be located on the Tottenham Court Road elevation and 2x will be located on the Store Street elevation.

The 2x proposed hanging signs will be internally illuminated will measure 0.7m in height with a depth of 0.01m and will project at 0.72m maximum from the façade. The base of the sign is measured at 3.8m from the street level. 1x sign will be located at the Tottenham Court Road elevation and 1x will be located at the Store Street elevation.

The application site is located within the Bloomsbury Conservation Area. The signage is considered to be acceptable in terms of its scale, size, design, method

of illumination and location. It would not adversely impact on neighbouring residential amenity or be harmful to either pedestrian or vehicular safety and would preserve and enhance the character and appearance of the area.

The applicant site's planning history and relevant appeal decisions were taken into account when coming to this decision.

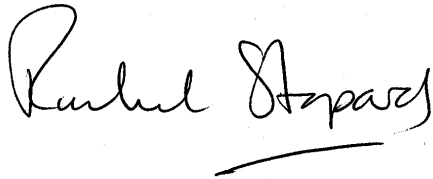
As such, the proposed development is in general accordance with policies CS5 and CS14 of the London Borough of Camden Local Development Framework Core Strategy, policies DP24, DP25, DP26 and DP30 of the London Borough of Camden Local Development Framework Policies. The proposed development also accords with the London Plan 2016 and the National Planning Policy Framework.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

You can find advice in regard to your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

A handwritten signature in black ink, appearing to read 'Rachel Stopard', with a horizontal line underneath.

Rachel Stopard
Executive Director Supporting Communities