

Ms Helen Roach
DLG Architects
Studio 12.G.1
The Leathermarket
11-13 Weston Street
London
SE1 3ER

Application Ref: **2016/5021/L**
Please ask for: **Samir Benmbarek**
Telephone: 020 7974 **2534**

26 September 2016

Dear Sir/Madam

DECISION

Planning (Listed Building and Conservation Areas) Act 1990

Approval of Details (Listed Building) Granted

Address:
46-47 Russell Square
London
WC1B 4JP

Proposal: Details of condition 2b (details of doors) of Listed Building Consent 2015/7277/L dated 11/05/2015 (Internal works to include renovation of WC and kitchen facilities, removal of suspended ceilings and upper floor partitions, installation of new lighting and accessibility improvements to include a lift from pavement to basement level and other minor alterations)

Drawing Nos: 4054 D (99) 46 Rev03; 4054 P (32) 003 Rev05; 4054 P (32) 005 Rev03

The Council has considered your application and decided to grant Approval of Details.

Informative(s):

- 1 The proposed external door design matches the existing door at No. 49 Russell Square and is considered to acceptably preserve the special interest of the host building and terrace. The internal doors are also considered acceptable and will not cause harm to the special interest of the building. The submitted details are considered to be satisfactory to discharge the relevant part of the condition.



Special attention has been paid to the desirability of preserving the special interest of the Listed Building under s.16 of the Listed Buildings and Conservation Areas Act 1990 as amended by the Enterprise and Regulatory Reform Act (ERR) 2013.

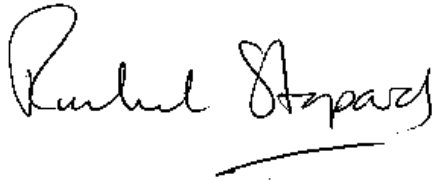
As such, the proposed development is in general accordance with policies CS5 and CS14 of the London Borough of Camden Local Development Framework Core Strategy, and policies DP24 and DP25 of the London Borough of Camden Local Development Framework Development Policies. The proposed development also accords with policies 7.4, 7.6 and 7.8 of the London Plan 2016 and paragraphs 14, 17, 56-66 and 126-141 of the National Planning Policy Framework.

- 2 You are reminded that condition 2a (details of materials of all works to front basement lightwell and platform lift) of listed building consent granted on 11/05/2016 (ref: 2015/7277/L) is outstanding and requires details to be submitted and approved

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

A handwritten signature in black ink, appearing to read 'Rachel Stopard', with a horizontal line underneath.

Rachel Stopard
Executive Director Supporting Communities