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Dear Sirs

**29 New End – Application for Planning Consent for the Removal and Reinstatement of Buttresses and Lightwell**

**FAO David Fowler**

I write on behalf of our client, to submit a Planning Application for works to two buttresses attached to the boundary wall which runs between 29 New End and Lawn House and the removal and reinstatement of a lightwell. The description of development is as follows:

*“Removal of two buttresses on boundary wall between 29 New End and Lawn House and their replacement with new buttresses and associated re-rendering of boundary wall, temporary removal of lightwell and its like for like reinstatement following construction works.”*

We have submitted the following documentation via the planning portal:

Existing, approved and proposed plans  
Structural Statement  
Heritage Statement  
Application Form

This letter forms the Design and Access Statement.

An application for Listed Building consent for the same proposals was submitted in August 2016. It was advised by the Case Officer, David Fowler that a Planning Application should be submitted for the works as the proposals would not fall within Permitted Development Rights (email dated 03 November 2016) and therefore Listed Building permission alone would be insufficient to commence the works. It was confirmed within this correspondence that a duplicate application to that of the Listed Building submission would be sufficient to validate this Application.

***Design and Access Statement***

**Background**

As you will be aware, there is a significant planning history to this site. In particular, planning permission was granted on appeal for the demolition of the existing building and the creation of 17 residential (C3 units) over lower ground, ground, first, second, third, fourth and fifth floor levels; creation of a new vehicular access and

access to basement parking, works to boundary wall; works to hard and soft landscaping; and other incidental works.

The applicant discharged all of the pre-commencement conditions and satisfied the relevant requirements of the S106 agreement and has now commenced demolition on site as part of this approval.

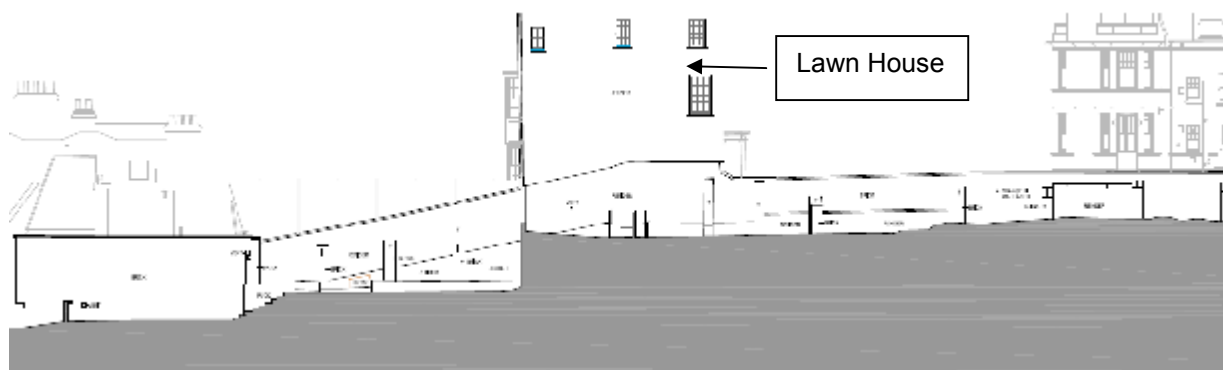
**The proposal**

It is proposed to remove two buttresses attached the western boundary wall of the site and to replace them with two smaller buttresses. The two buttresses to be removed and replaced are located halfway along the western boundary wall. The proposal also includes the temporary removal of a lightwell (around a window in the side elevation of Lawn House) and its reinstatement at a later date.

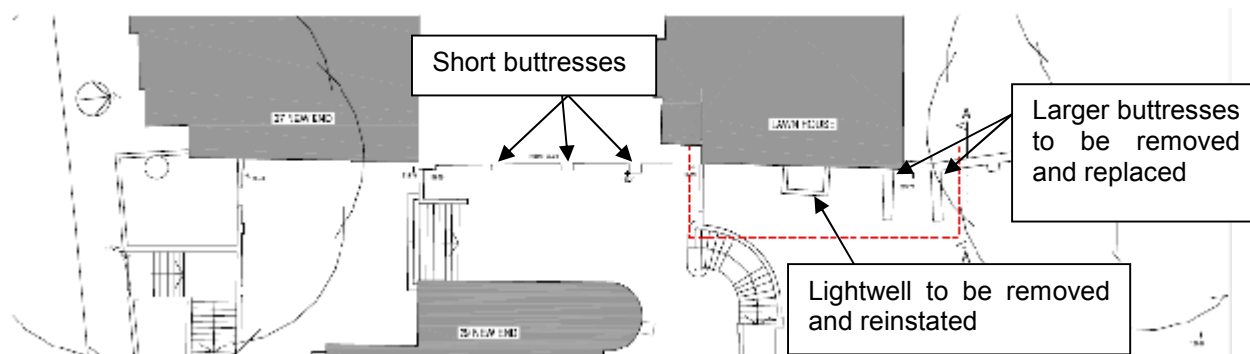
**Considerations**

As can be seen in the extract from the architect’s drawings above and below, there are buttresses located intermittently all along the boundary wall, most of which project only a very short distance from it. However, there are two buttresses that project further into the site than all the others.

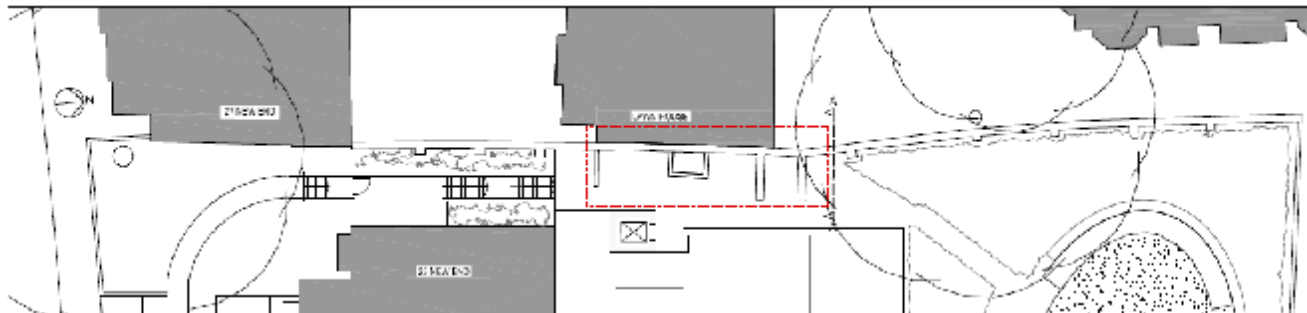
Below: Elevation of western boundary of 29 New End



Below: Plan of western boundary wall



The approved plans for the development (below) show that these buttresses sit adjacent to a pathway which runs alongside the proposed new building.



The removal of these larger buttresses and their reinstatement with smaller buttresses facilitates the construction of the approved development allowing more working space where the piling and foundations would be located. It would also result in an improved landscaping scheme by providing smaller buttresses that do not protrude so far into the site. The smaller buttresses would be in keeping with the remainder of the buttresses along the boundary wall, all of which project only a very short distance from the wall itself. The wall would be re-rendered once the works had been undertaken to reflect its existing appearance.

The lightwell that is to be removed is shallow, at approximately two brick courses deep. Its removal and reinstatement would not cause visual harm.

#### Heritage

A Heritage Statement has been prepared by KM Heritage to accompany this application which has assessed the buttresses in terms of their architectural and historic significance. The Heritage Statement concludes that;

*“the buttresses to the boundary wall with Lawn House have nothing to do with the special architectural or historic interest of Lawn House, and the fact that they are technically listed by virtue of their attachment to the listed building does not alter this. The buttresses are modern in construction and materials, and were probably erected sometime after the Second World War in connection with the development at 29 New End. They have no connection to what caused Lawn House to be listed or what is now of special interest at the house, nor can their design, purpose or materiality be linked to anything that can now be analysed as comprising that special interest”.*

On this basis, the report concludes that the proposal is fully in accordance with national planning policy as it does not result in any harm or loss of significance of a designated heritage asset. With regard to Camden’s Local Development Framework, the report confirms that the works will certainly be ‘of the highest standard of design that respects local context and character’ as required by Policy CS14, and it will undoubtedly preserve ‘Camden’s rich and diverse heritage assets and their settings, including conservation areas, listed buildings...’.

In respect of Policy DP25, the proposal clearly ‘preserves and enhances the character and appearance of the area and would not ‘cause harm to the setting of a listed building’.

As the lightwell is to be removed on a temporary basis only and would be re-instated like for like, these works would not have a harmful impact on the listed building.

We are therefore of the view that the proposals are acceptable in heritage terms.

### *Structural*

We are mindful of the fact that the buttresses are providing support to the boundary wall and have therefore considered very carefully how these works should be undertaken to ensure no harm to either the boundary wall or Lawn House, itself. A method statement has been prepared by Fluid to accompany this application. This confirms that all the necessary preparation work will be undertaken before removing the buttresses:

“The principle is to form a new permanent footing of RC on minipiled foundations, prop the wall with temporary steel posts, remove the old buttresses, then form the new pair of buttresses” once construction works are completed.

The propping of the boundary wall will ensure that it remains stable whilst the works are being undertaken.

In the long term, the proposed works will inherently provide greater support to the existing wall given that the new buttresses will be supported by new foundations that will be installed using modern technology.

### **Timing of the works**

The existing buttresses would be removed and replacements installed before the ground works are commenced and the piling operation begins. Demolition on the site has begun as part of the previous planning permission. The removal of the buttress forms part of this work and it is anticipated that the installation of the proposed new supporting foundations and buttressed walls would take a period of 8 to 12 weeks to complete. The works associated with the lightwell will be carried out during the same period.

### **Summary**

The proposed works are entirely in accordance with national and local planning policies relating to heritage assets and listed buildings, and would bring benefits by improving the landscaped area of the approved development at 29 New End and providing greater support to the existing boundary wall. By undertaking the necessary preparatory works set out in the method statement, we can ensure that no harm results to the boundary wall whilst the works are being undertaken. The removal and like for like reinstatement of the lightwell would not harm the architectural or historical significance of the listed building.

Please call Charlotte Orrell on the telephone number at the top of this letter to discuss further.

Yours faithfully

A handwritten signature in dark ink that reads "Savills". The signature is written in a cursive, flowing style.

Charlotte Orrell  
Savills